

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

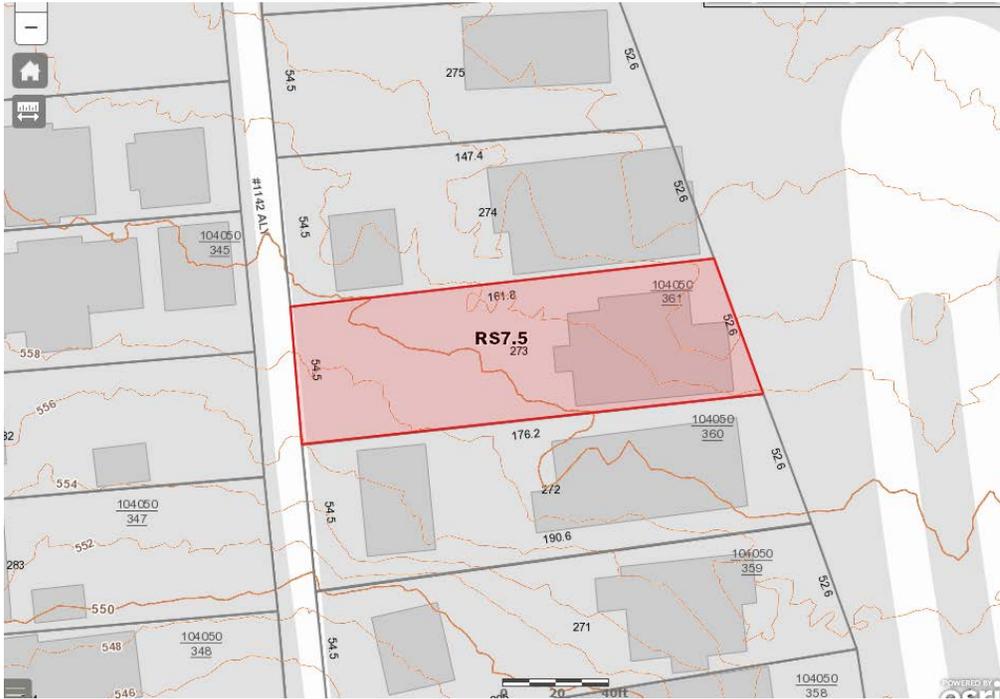
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
311 West End Place
July 20, 2016

Application: New construction – outbuilding; Setback determination
District: Richland-West End Neighborhood Conservation Zoning Overlay
Council District: 24
Map and Parcel Number: 10405036100
Applicant: Van Pond, Jr.
Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

<p>Description of Project: Application is to construct an outbuilding at the rear of the lot. (It is not proposed to include a detached accessory dwelling unit.) The structure requires a rear setback determination from twenty feet (20') to three feet (3') and a left side setback determination from five feet (5') to three feet (3').</p> <p>Recommendation Summary: Staff recommends approval of the proposed outbuilding with the following conditions:</p> <ol style="list-style-type: none">1. Staff approve the final details, dimensions and materials of windows, doors, garage door, roof color, and driveway material prior to purchase and installation; and2. The average eave height of the outbuilding shall not exceed the average eave height of the historic house. <p>With these conditions, staff finds that the outbuilding meets Section II.B.1. of the <i>Richland – West End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p> <p>The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.</p>	<p>Attachments A: Site Plan B: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
 - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

Background: The house located at 311 West End Place was built c. 1930 and contributes to the historic character of the Richland – West End Neighborhood Conservation Zoning Overlay (Figure 1). An outbuilding was approved administratively on August 15, 2013, but it was not constructed.



Analysis and Findings: Application is to construct an outbuilding at the rear of the lot. (It is not proposed to include a detached accessory dwelling unit.) The structure requires a rear setback determination from twenty feet (20') to three feet (3') and a left side setback determination from five feet (5') to three feet (3').

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Cross-gable	X
Primary roof slope	6/12	X
Porch form	n/a	n/a
Porch slope	n/a	n/a

Since the form and slopes are similar to historic outbuildings, the project meets Section II.B.1.h.1 of the design guidelines and section 17.16.030.G.8 of the ordinance.

Design Standards:

The accessory structure has a simple, utilitarian design that is appropriate for outbuildings. Its roof form, detailing, and form do not contrast greatly with the primary structure. The fenestration is of a more modern layout and is atypical of the neighborhood context, but fits the characteristics of the recent rear addition to the house. It is also in a minimally-visible location at the side and rear of the building. The design meets section II.B.1.h.1 of the design guidelines and Section 17.16.030.G.8 of the ordinance.

Material:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Split-face CMU	Natural color	X
Cladding	Cement-fiber	Smooth with 5" reveal	X
Secondary Cladding	n/a	n/a	n/a
Roofing	Architectural fiberglass shingles	Needs final review	X
Trim	Cement fiber	smooth	X
Chimney	n/a	n/a	n/a
Porch floor	n/a	n/a	n/a
Porch Posts	Wood brackets	Smooth, painted	X
Porch Railing	Wood	Smooth, painted	X
Porch Roof	n/a	n/a	n/a
Driveway	Needs final approval	n/a	
Fencing	n/a	n/a	n/a
Windows	Clad wood window with SDF	Cladding material not indicated	
Pedestrian Door	Fiberglass with SDL and steel	Needs final approval	
Vehicular Door	steel	Needs final approval	

With the staff's final approval of the windows, doors, garage door, roof color, and driveway material, staff finds that the known materials meet Section II.B.1.h.1. of the design guidelines.

Setbacks: The new outbuilding does require rear and left side setback determinations. Since the footprint of the outbuilding exceeds seven hundred square feet (700 sq. ft.), the base zoning requires that the structure meet the full rear and side setbacks, which are twenty feet (20') for the rear and five feet (5') for the sides. The applicant proposes to locate the outbuilding just three feet (3') from the rear property line and three feet (3') from the left side property line. Staff finds that the proposed rear and left side setbacks are appropriate since outbuildings were located historically at the rear of the property, close to or even on the rear and side property lines. An analysis of existing outbuildings in the immediate vicinity shows that there are several outbuildings that are located just a few feet or even on the rear and side property lines. Also, while the outbuilding is

accessed from the rear alley, the garage door will face the right side property line rather than the alley. Staff recommends approval of the rear and side setback determinations. The project meets Section II.B.1.h.2 of the design guidelines and 17.16.030.G. 4 of the ordinance.

Appurtenances & Utilities: No changes to the site’s appurtenances were indicated on the drawings. The project meets section II.B.1.h.1 of the design guidelines.

Site Planning:

	MINIMUM	PROPOSED
Space between principal building and DADU/Garage	20’	48’
Rear setback	20’	3’
L side setback	5’	3’
R side setback	5’	24’
How is the building accessed?	From the alley or existing curb cut	Alley

The project meets section II.B.1.h.2 of the design guidelines.

Massing Planning:

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the left)
Ridge Height	26’-9”	25’	21’
Eave Height	13’-3”	2 story 17’	14’-6”

One-story building:

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	1106 sq. ft.	749 sq. ft.

The proposed detached garage is two stories and does not exceed the maximum footprint or ridge height per the design guidelines. However, the outbuilding is a two-story accessory for a one and one-half story house and does exceed the

maximum average eave height of the house by one foot, three inches (1'-3"). As an accessory structure, the outbuilding should be subordinate to the house not only with regard to footprint and overall height but also with respect to eave height. Staff recommends a condition that the average eave heights of the outbuilding not exceed the average eave height of the historic house. With this condition, staff finds that the project meets Section II.B.1.h.1 of the design guidelines.

General requirements:

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	Yes	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2'?		No
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

The outbuilding includes a wall dormer on the rear façade. The design guidelines require that dormers set in at least two feet (2') from the wall below, and this requirement is also included in the Zoning Code requirements for detached accessory dwelling units. However, the proposed outbuilding is not a DADU, so staff finds that the proposed wall dormer could be appropriate in this case as it faces the alley and the use is not subject to the DADU requirements. The project meets section II.B.h.1 of the design guidelines.

Recommendation Summary: Staff recommends approval of the proposed outbuilding with the following conditions:

1. Staff approve the final details, dimensions and materials of windows, doors, garage door, roof color, and driveway material prior to purchase and installation; and
2. The average eave height of the outbuilding shall not exceed the average eave height of the historic house.

With these conditions, staff finds that the outbuilding meets Section II.B.1. of the *Richland – West End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

OUTBUILDING/DADU WORK SHEET

The following worksheet serves as a guide to facilitate the approval process for construction of outbuildings and DADUs. Completing the following tables will help determine if your proposed project meets the basic requirements defined by the design guidelines. After completion of the worksheet, reference the specific zoning overlay’s design guidelines for additional design requirements.

Section I: General requirements for DADUs and Outbuildings

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES or N/A	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane? (Dormer width is measured from side wall to side wall and roof plane is measured from edge to edge.)	Yes	
If dormers are used, do they sit back from the wall below by at least 2’?		No (on rear, not DADU)
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	Yes	
Is the building located towards the rear of the lot?	Yes	

Section II: General Requirements for DADU only

If the accessory building does not include a dwelling unit skip this section and go to Section III. If the accessory building is to include a dwelling unit (full bathroom and/or kitchen), the answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn’t zoned two-family or doesn’t have adequate square footage to be a legally conforming lot.)		
Has the lot been subdivided since 8/15/1984? (If so, the property is not allowed 2 units, even if zoned for 2 units.)		
Are there other accessory buildings on the lot that exceed 200 square feet?		
Is the property zoned single-family?		
Are there already two units on the property?		
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		
Is the planned conditioned living space more than 700 square feet?		

*Note: A restrictive covenant must be filed for DADUs before the permit may be issued. For more information, visit <http://www.nashville.gov/Codes-Administration/Land-Use-and-Zoning-Information/Zoning-Examinations/Restrictive-Covenants.aspx>

Section III: Site Planning for Outbuildings or DADUs

To determine the appropriate location of the outbuilding or DADU, complete the information below for “proposed” and compare to the minimums allowed.

	PROPOSED	MINIMUM
Space between principle building and DADU/Garage	48’	20’
Rear setback	3’	20’
L side setback**	3’	5’
R side setback**	24’	5’
How is the building accessed?	Alley	From the alley or existing curb cut

**If the lot is a corner lot, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback shall be a minimum of 10’.

Section IV: Massing Planning for Outbuildings or DADUs

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

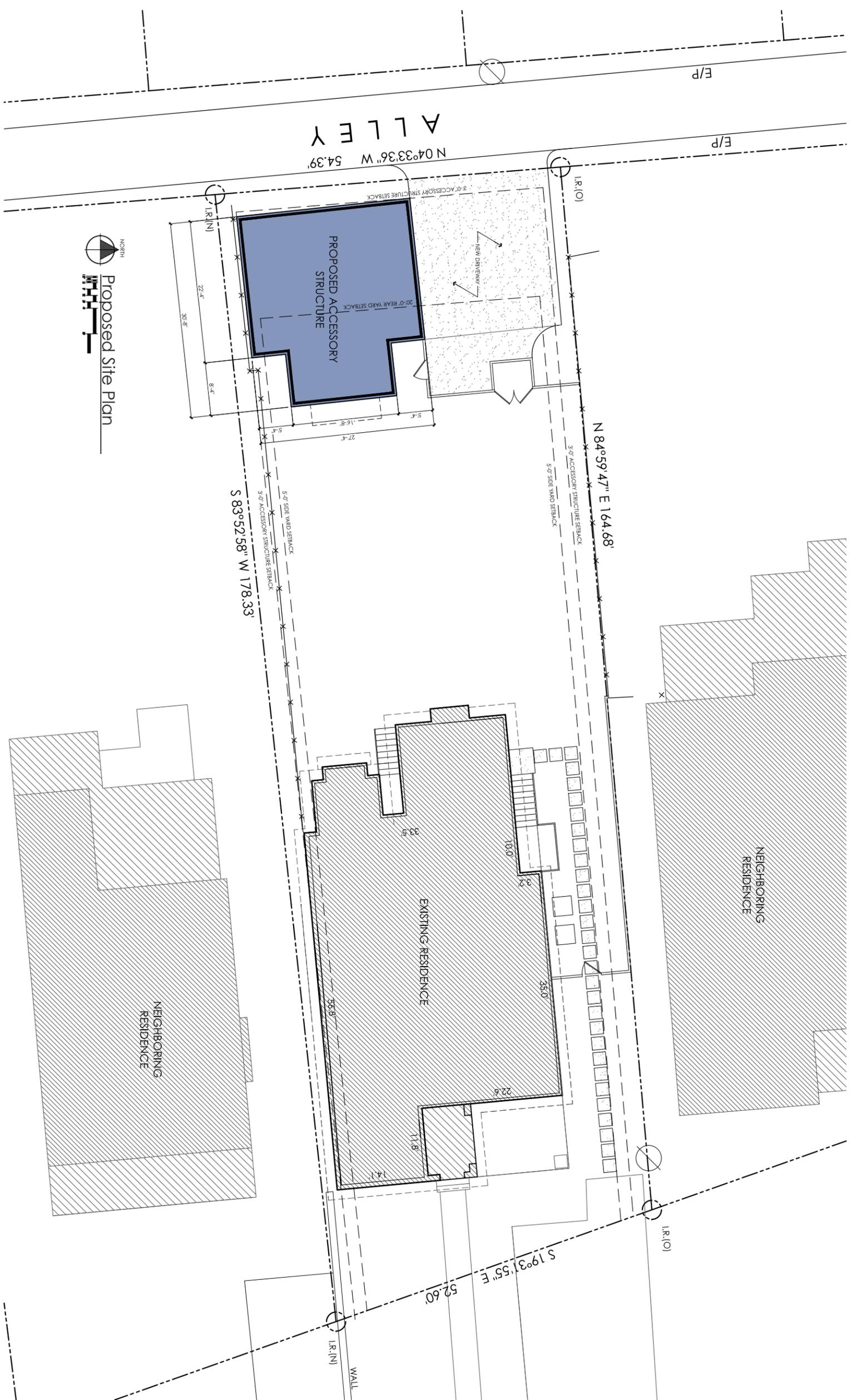
	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)
Ridge Height	26’ -9”	25’
Eave Height	13’ 3”	1 story 10’ or 2 story 17’
Width of house	36’	

To determine the maximum allowed square footage of the accessory building, complete the table below and choose the lesser number in the blue boxes.

Proposed	Proposed	50% of first floor area of principle structure	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet
Maximum Square Footage	749 sq. ft.	1106 sq. ft.	750 sq. ft. (including porches)	1,000 sq. ft. (including porches)

Please ask staff about any unusual lot conditions that do not allow an outbuilding to meet any of these requirements.

Please see design guidelines for information about materials and detailing.



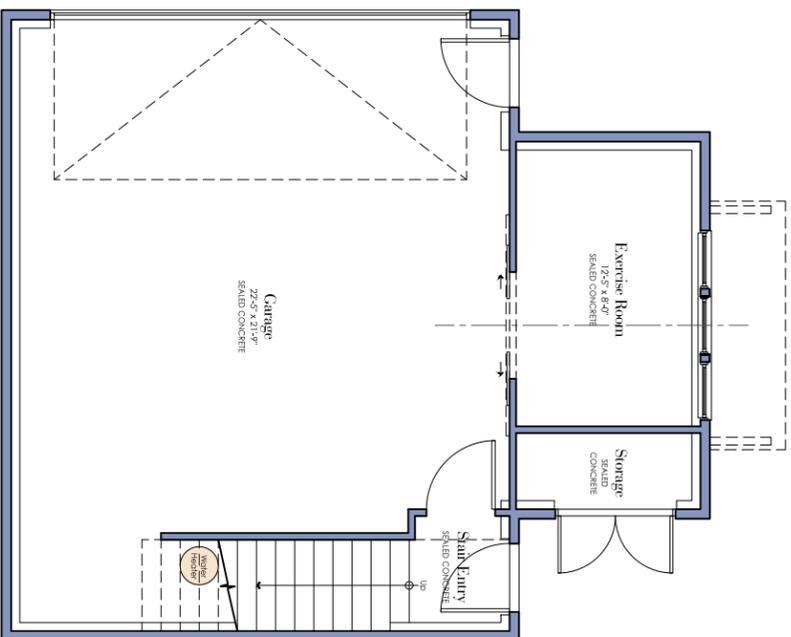
A NEW GARAGE + STUDIO LOFT FOR:

Daniel & Kristen Linton

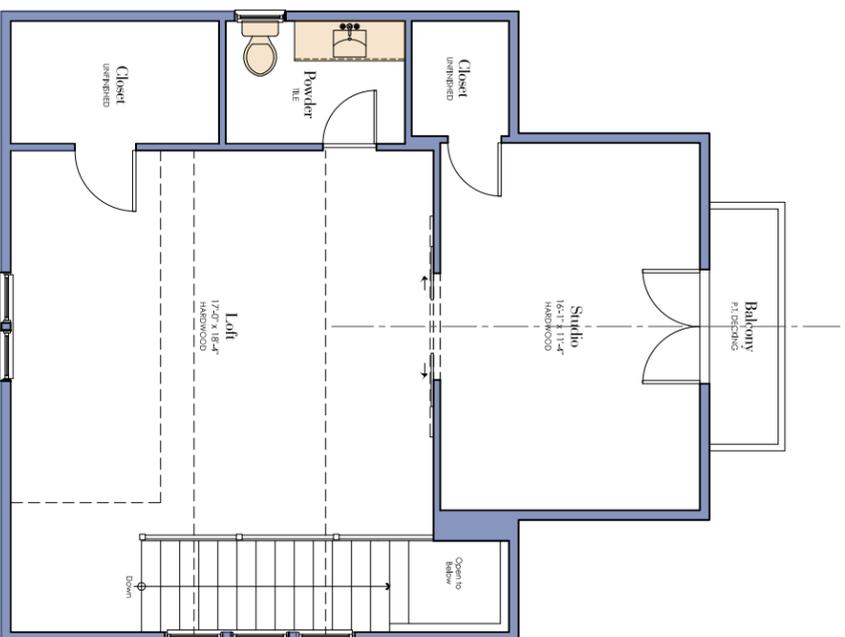
311 West End Place
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METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL DRAWINGS

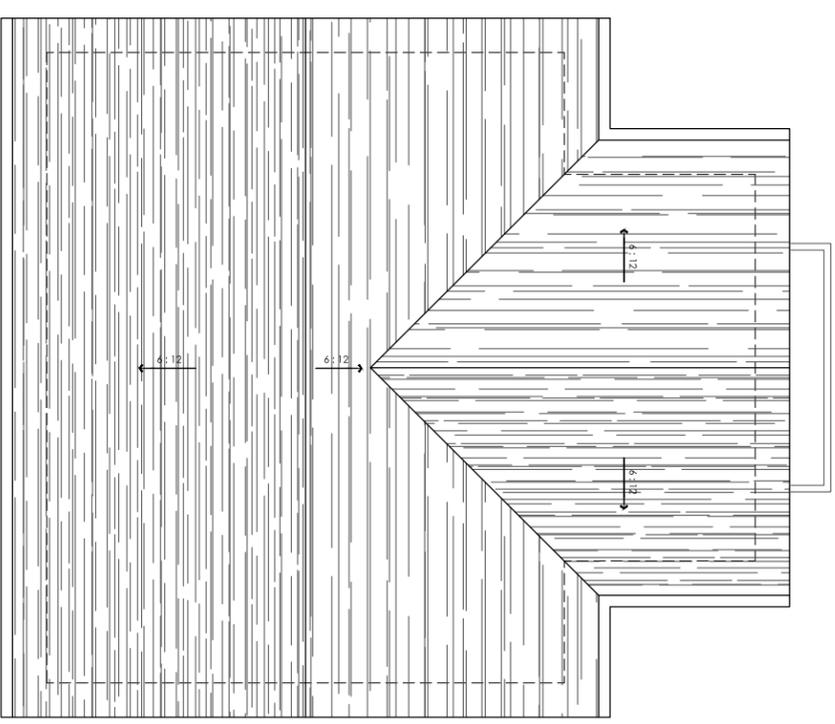
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NORTH
Garage Floor Plan



NORTH
Loft Floor Plan



NORTH
Roof Plan

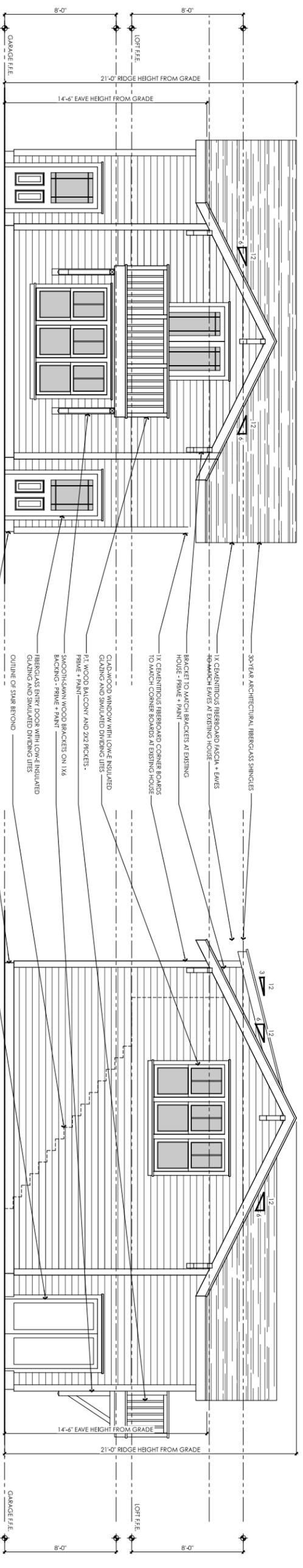
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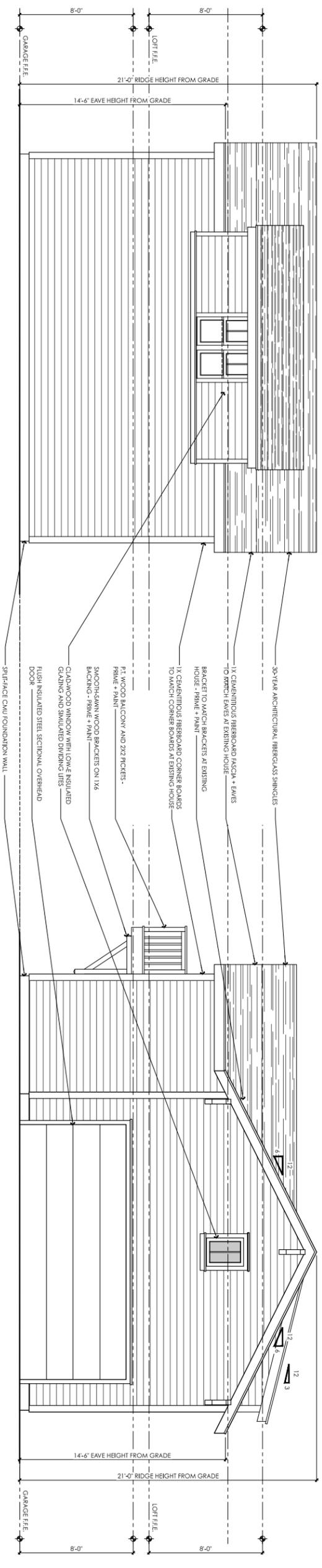
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METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL DRAWINGS

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East Elevation (Facing House)



West Elevation (Facing Alley)



North Elevation



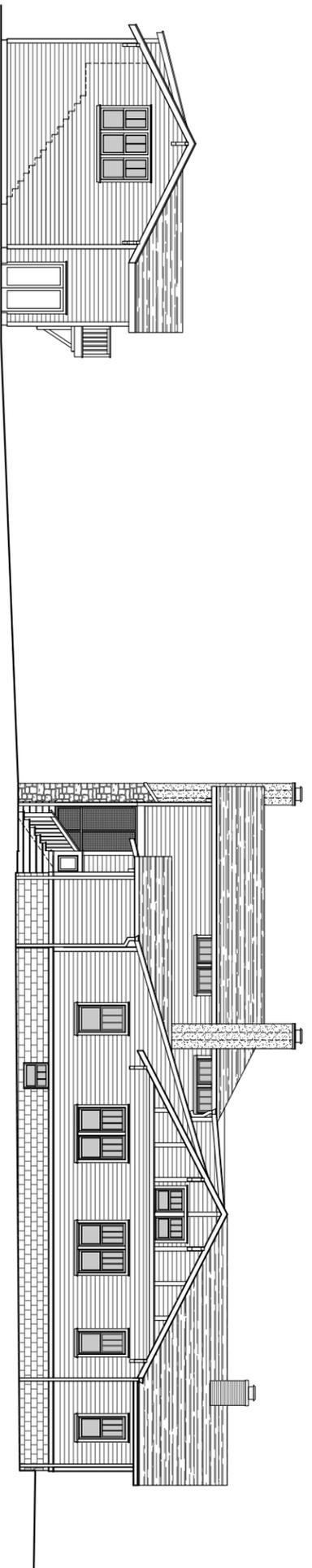
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METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL DRAWINGS

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South Site Elevation



North Site Elevation

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METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL DRAWINGS

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