

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 3609 Katherine Street June 15, 2016

Application: New construction—infill

District: Inglewood Place Neighborhood Conservation Zoning Overlay

Council District: 7

Map and Parcel Number: 07203039300

Applicant: Jason Quiram

Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct infill on a vacant lot that was subdivided from 1132 A McChesney prior to the establishment of the overlay.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. Staff approve a roof shingle sample;
4. Column caps be added to the front porch columns;
5. Staff approve the porch column base material;
6. Staff approve the dimensions and material of the side deck;
7. The driveway extend to the rear of the house, and staff approve the driveway material;
8. A walkway be added from the street to the front porch, and staff approve the walkway material;
9. Paired windows on the front dormer and right side elevation have a four inch to six inch (4"-6") mullion between or be pushed further apart;
10. Trim boards be added around the front entrance; and
11. The HVAC be located on the rear façade, or on a side façade, beyond the midpoint of the house.

With these conditions, staff finds that the project meets Section III of the *Inglewood Place Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Attachments

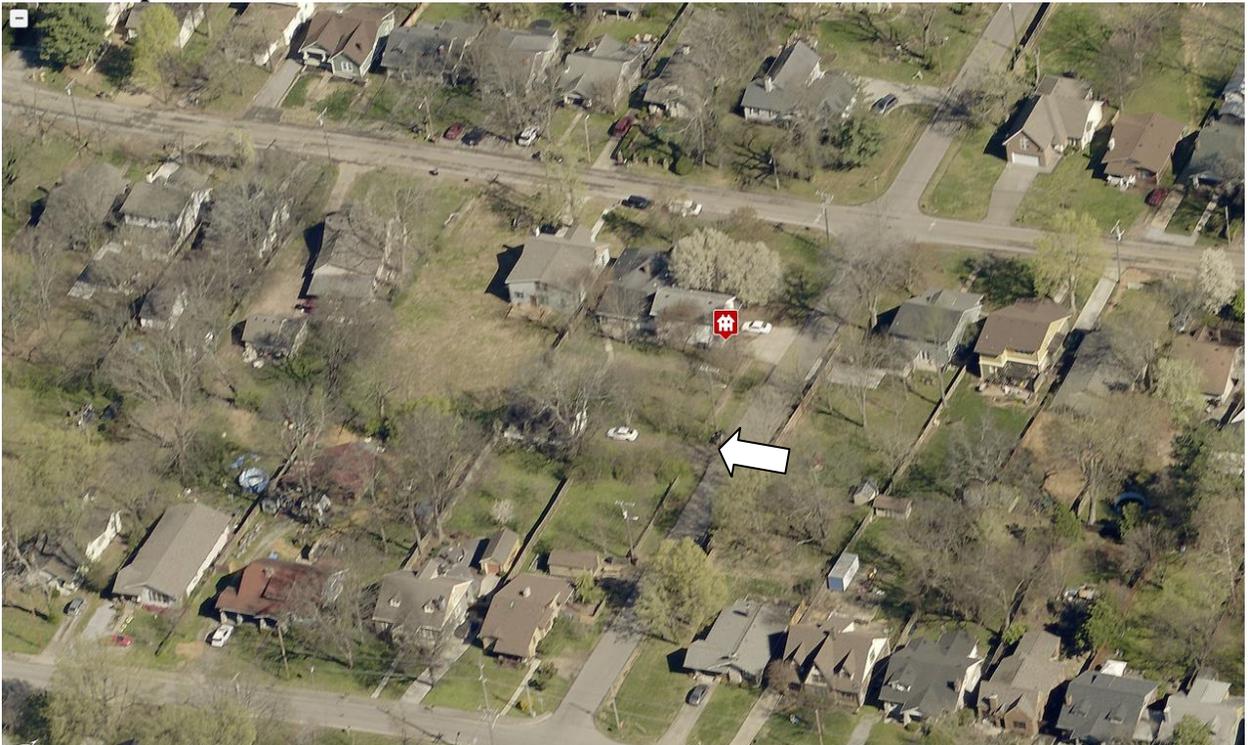
- A: Photographs
- B: Site Plan
- C: Elevations

Vicinity Map:



Note that the 3609 Katherine was recently divided off from the highlighted lot.

Aerial Map:



Applicable Design Guidelines:

III. NEW CONSTRUCTION

A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. The majority of historic buildings in the neighborhood are one and one-half stories tall. Generally, a building should not exceed one and one-half stories, except in those areas where historic two-story buildings are found.

B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

3. In most cases, an infill duplex for property that is zoned for duplexes, should be one building, in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings.

2. The majority of historic buildings are sided in brick, lap siding, stone or a combination of masonry and lap siding. Shingle siding should be minimally used for infill construction but is appropriate for additions and outbuildings.
 - a. Inappropriate materials include vinyl and aluminum, T-1-11-type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
 - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard lap siding, smooth-finished fiberglass doors.
 - Lap siding, should be smooth and not stamped or embossed and have a reveal of between 5" and 10", depending on the immediate historic context.
 - Four inch (4") nominal corner boards are required at the face of each exposed corner unless the lap siding is mitered.
 - Stone or brick foundations should be of a compatible color and texture to historic foundations.
 - When different materials are used, it is most appropriate to have the change happen at floor lines.
 - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
 - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Faux leaded glass is inappropriate.
3. Asphalt shingle is an appropriate roof material for most buildings. Metal and tile are not appropriate; however, terra cotta ridge tiles are found throughout the district.

Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. The most common roof forms in the neighborhoods are side gable, cross gable, hipped, and cross gable and hipped. Pitches range from the low slope of the ranch style homes to steeper pitch of the earlier homes.
2. Small roof dormers are typical throughout the district. The most common form is gabled and a few have a hipped or shed roof. Wall dormers are only appropriate on the rear, as historic examples in the neighborhood are rare.

F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include gabled, hipped and shed roof partial-or full-width porches, stoops, enclosed or "vestibule" type entrances, and decorative door surrounds. Infill duplexes should have one primary entrance facing the street. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

3. Generally, lots should not have more than 1 curb cut. Shared driveways should be a single lane. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. Generally, new driveways should be no more than 12' wide from the street to the rear of the home. Front yard parking areas or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

3. Double-hung and casement windows should generally exhibit a height to width ratio of at least 2:1. Picture windows and fixed windows (and in some cases double-hung windows) may be square or have a horizontal orientation if the principle building follows a post-1955 form, such as a ranch house.

4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

I. Utilities

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

2. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

J. Public Spaces

1. Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Background: 3609 Katherine Street is a vacant lot that until recently was part of the lot at 1132A McChesney Avenue. (Figures 1 & 2). The new lot was created prior to the creation of the Inglewood Place Neighborhood Conservation Zoning Overlay. It is seventy-five feet (75') wide along Katherine Street and one hundred feet (100') deep.



Figure 1. The vacant lot at 3609 Katherine Street.

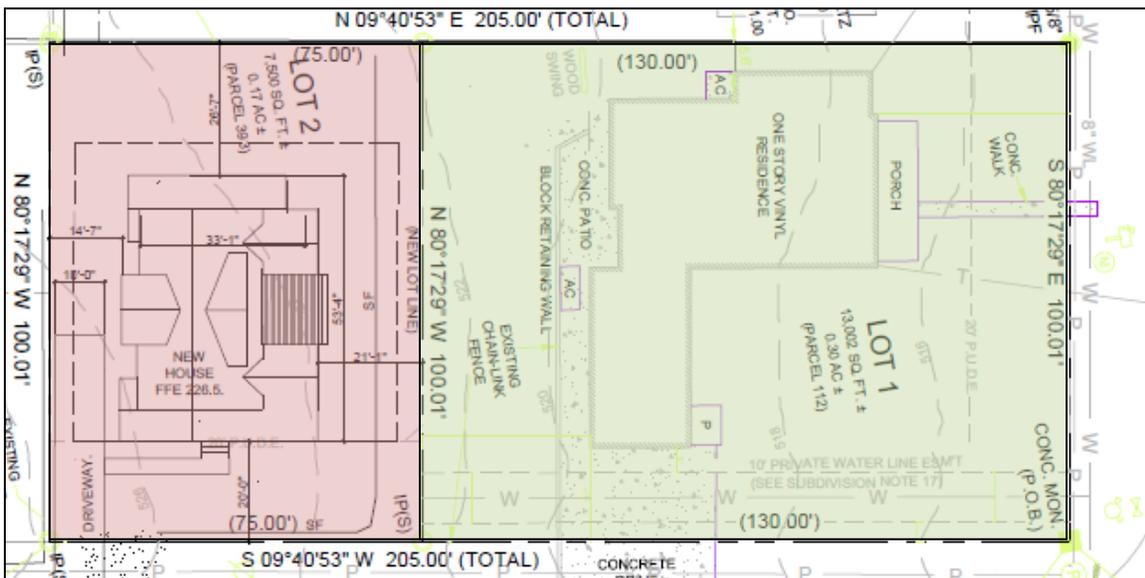


Figure 2. The pink/left portion of the lot is the new lot that was created for 3609 Katherine Street. The green/right portion of the lot is the current lot for 1132A McChesney Avenue.

Analysis and Findings: Application is to construct infill on a vacant lot that was subdivided from 1132 A McChesney prior to the establishment of the overlay.

Height & Scale:

Height:

	# of Stories	Foundation	Eave	Ridge
Proposed at front	1.5	1'	10'6"	25'
Range of historic block face	1-1.5	1' – 2'6"	8' – 13'	15' -32'

Width:

	Width
Proposed	39'9"
Range of historic block face on lots of similar width	28' – 54'

The dimensions and materials of the side deck are not shown on the plans. Staff recommends that it be added to the plans and be approved by Staff prior to issuance of a permit.

Staff finds that the proposed height and scale are similar to historic buildings in the neighborhood. The left side elevation does have a two-story bay element, with twenty-foot (20') tall eaves. Staff finds this element to be appropriate because it is setback at about the midpoint of the structure, approximately eighteen feet, six inches (18'6") from the front wall of the house. It is no wider than the front of the house, and it extends only eighteen inches (18") beyond the main wall of the house. It is fifteen feet (15') deep. Staff finds that this two-story bay is scaled so as to minimize its impact on the historic neighborhood.

Staff recommends that staff verify the construction height of the foundation and floor systems in the field to ensure that the finished floor line of the new construction is compatible with the historic context. With this condition, staff finds that the project's height and scale meet Sections III.A. and III.B. of the Inglewood Place design guidelines.

Setback & Rhythm of Spacing:

	Front Setback	Left Setback	Right Setback	Rear Setback
Bulk Standards	~20'	5'	5'	20'
Proposed	20'	14'7"	21'1"	26'7"
Range of historic block face	15' – 48'	5' – 50'	5' - 41'	11' – 70'

The proposed setbacks meet all base zoning setbacks. This lot is relatively unusual in that it faces Katherine Street, a north-south street, versus the other houses in the immediate vicinity that face their respective east-west streets. For setback comparisons, staff looked at other houses within three blocks that also face Katherine Street. The front setbacks of these houses vary greatly from fifteen feet (15') to forty-eight feet (48'). The proposed twenty-foot (20') front setback falls within this range, and will approximately line up with the side wall of the two-story (non-historic) side and rear addition to the house at 1132A McChesney. It will be set back approximately ten feet (10') from the side façade of the house on its left side, at 1143 Howard Street. Staff finds the proposed front setback to meet the historic context and Section III.C. of the Inglewood Place design guidelines.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete Block	Split Face	Yes
Cladding	5" cement fiberboard lap siding	Smooth	Yes
Secondary Cladding	Board-and-batten	Smooth face	Yes
Roofing	Architectural Shingles	Unknown; Needs final approval	Yes
Porch Roof	Architectural Shingles	Unknown; Needs final approval	Yes
Trim	Cement Fiberboard	Smooth faced	Yes
Porch floor	Concrete	Natural Color	Yes
Porch Posts	Wood (pedestals were not indicated)	Smooth wood (pedestal material needs final approval)	Yes
Porch Railing	N/A	N/A	N/A
Side Deck	Not indicated	Needs final approval	Unknown
Windows	Not indicated	Needs final approval	Unknown
Doors	Full light with side lights	Needs final approval	Yes
Driveway	Not indicated	Needs final approval	Unknown
Walkway	Not indicated	Needs final approval	Unknown

Staff notes that the front porch columns lack a cap and base and that the pedestal material is not indicated. Staff recommends that a column cap and base be required, as it has in the past. With the addition of column caps, and with staff's final approval of the windows and doors, porch pedestal material, driveway and walkway materials, side deck

materials and dimensions, and the roof shingle sample, staff finds that the known materials meet Section III.D. of the Inglewood Place design guidelines.

Roof form:

Proposed Element	Proposed Form	Typical of district?
Primary massing	Multi-gable forms	Yes
Primary roof slope	8/12	Yes
Dormer	3/12 Gable	Yes
Porch Roof	Shed, 3/12	Yes

Staff notes that the proposed side dormer on the right elevation is not inset two feet (2') from the wall below. However, staff finds it to be appropriate because its wall is inset eleven feet (11') from the wall at the front of the house, reducing its visibility and keeping its discernable scale reasonable. Staff finds the proposed roof forms to meet Section III.E. of the Inglewood Place design guidelines.

Orientation:

Orientation elements	Proposed?
Principle entrance facing Street	Yes
Front porch/stoop or hood	Yes
Walkway leading to street	No
Parking in Rear	No

This site does not have alley access. The applicant is proposing ten foot (10') wide, single-lane driveway in the location of an existing curb cut. The driveway extends to approximately the midpoint of the house, and staff recommends that the driveway extend to the rear of the house, to prevent "front-yard" parking. In addition, a walkway is shown to connect the driveway to the front porch. Staff recommends that a walkway from the road to the front porch be added. With these conditions, staff finds that the project's orientation is similar to the immediate historic context and meets Section III.F. of the Inglewood Place design guidelines.

Proportion and Rhythm of Openings: The windows on the infill are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. On the right side are two windows close together and on the front dormer are two square windows close together. Staff recommends each pair have a four inch to six inch (4"-6") mullion between them rather than small strips of lap siding or that they be pushed further apart. Staff recommends that trim boards be added around the front entrance. Staff finds that the project's proportion and rhythm of openings meet Section III.G. of the Inglewood Place design guidelines.

Appurtenances & Utilities:

	Material/design	Location	Typical of District?
Driveway	Concrete	Front/side	If extended to rear
Walkway	Concrete	Driveway to Front Porch	If add walkway from street to front porch
Fencing	N/A	N/A	N/A
HVAC	N/A	Unknown	Unknown

Staff recommends that the HVAC and other utilities be placed at the rear, or on a side façade beyond the midpoint of the house. With this condition, staff finds that the known appurtenances and utilities meet Section III.I. of the Inglewood Place design guidelines.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
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With these conditions, staff finds that the project meets Section III of the *Inglewood Place Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Context Photos:



The house at 1132 B McChesney Avenue



Katherine Street façade of 1132 B McChesney



View down Katherine Street, with the side of 1132 B McChesney in the foreground and 3609 Katherine St in the background



Northwest corner of Katherine Street and McChesney



Northeast corner of Katherine Street and McChesney



Southeast corner of Katherine Street and McChesney



Northwest corner of Howard Street and Katherine Street. The house on the right's rear façade faces the side property line of 3609 Katherine Street.



Northeast corner of Howard Street and Katherine Street.



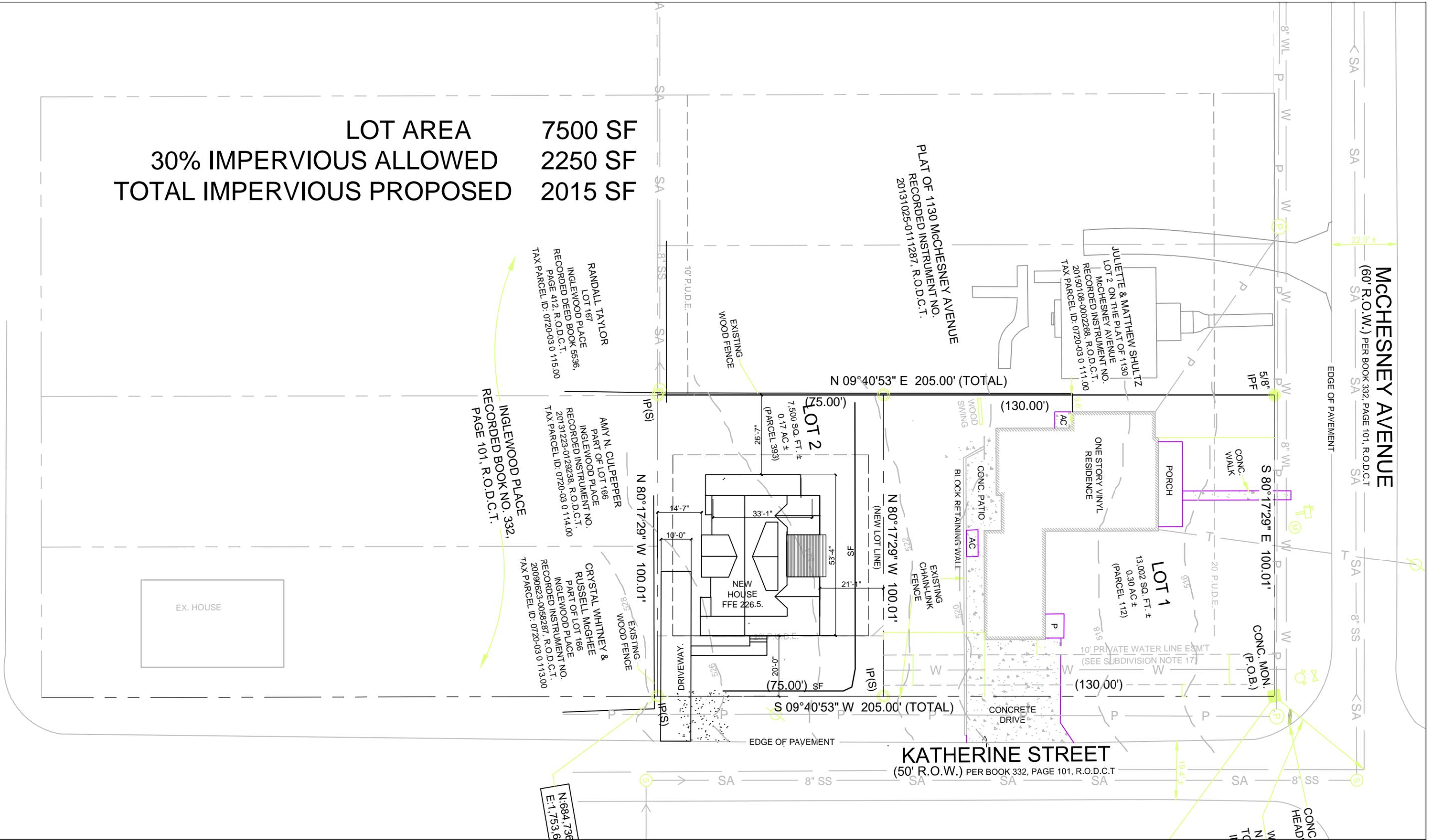
1200 Howard Avenue, at the southeast corner of Howard and Katherine Street.



1140 Howard Avenue, at the southwest corner of Howard and Katherine Street.

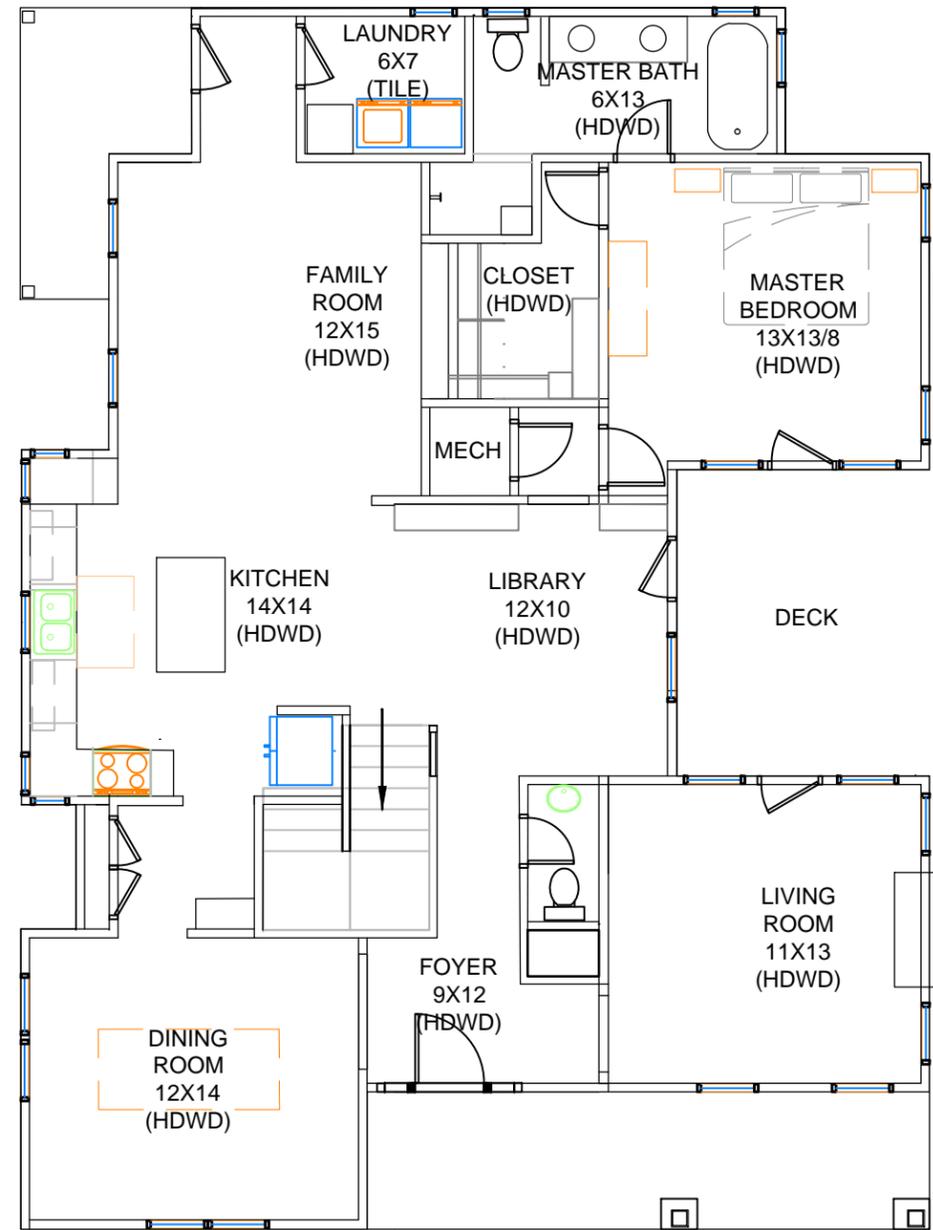
LOT AREA 7500 SF
 30% IMPERVIOUS ALLOWED 2250 SF
 TOTAL IMPERVIOUS PROPOSED 2015 SF

HOWARD AVENUE

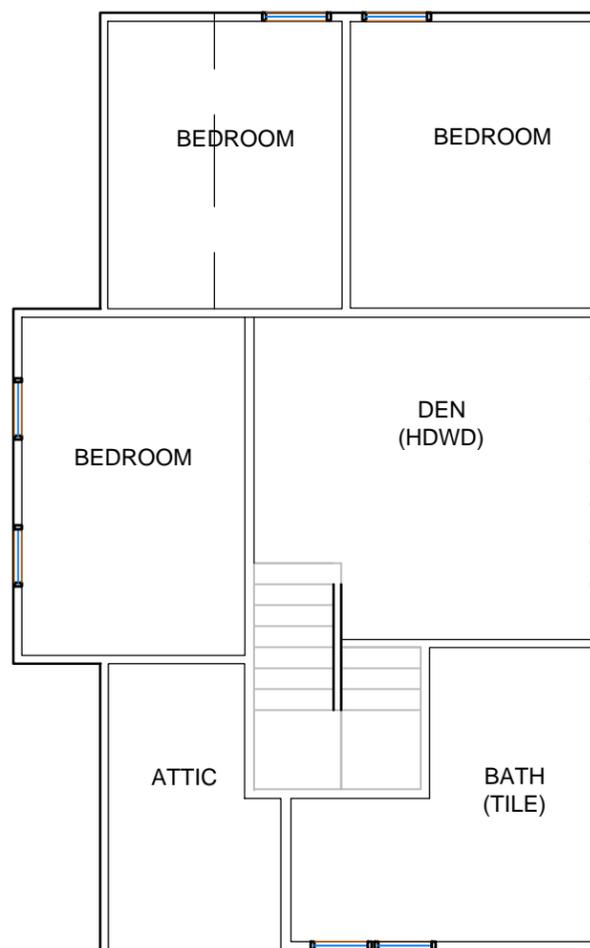


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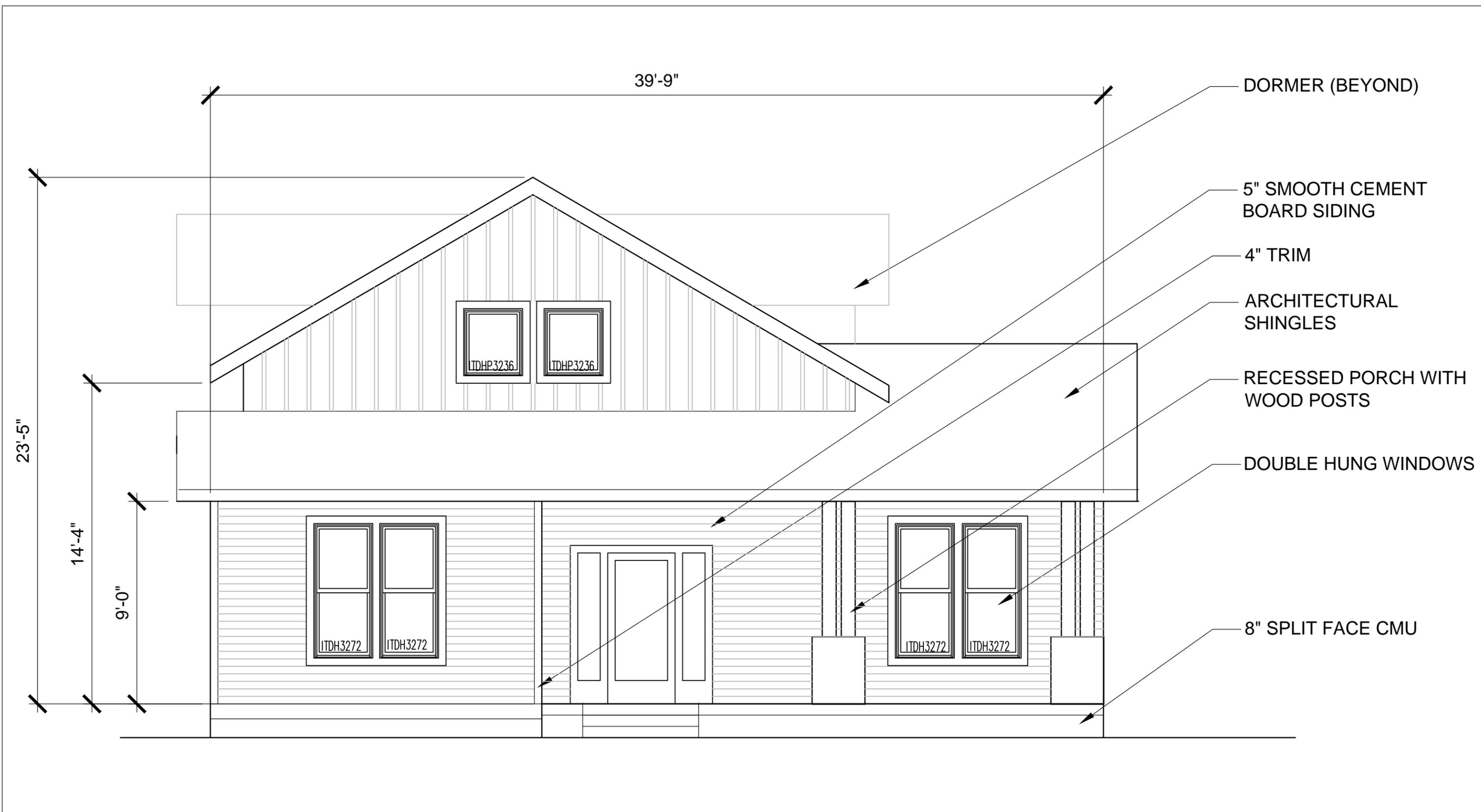
KATHERINE STREET
 SCALE 1"=30'
 06.01.16



FIRST FLOOR



SECOND FLOOR



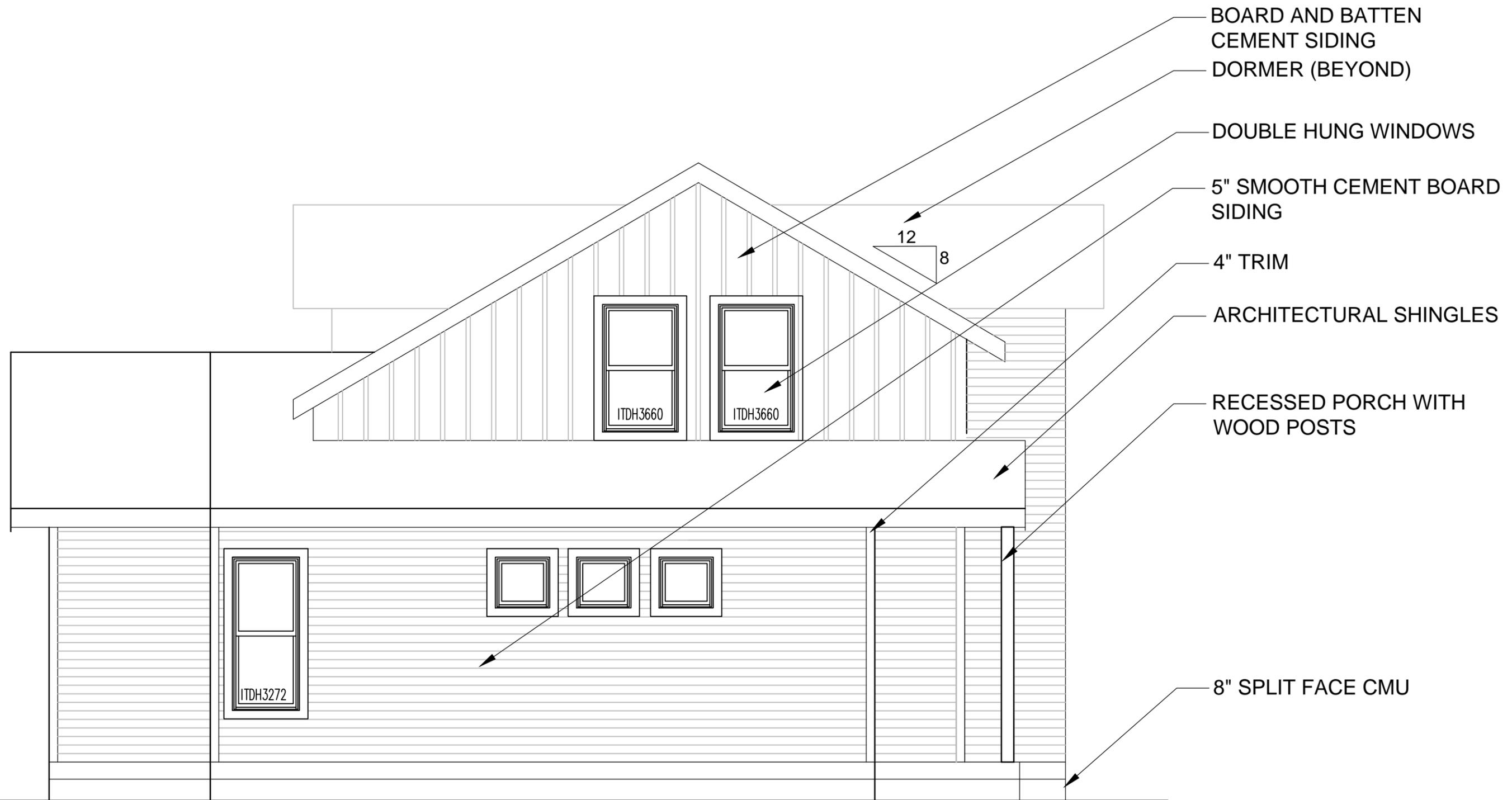
KATHERINE STREET
 SCALE 1/4"=1'
 06.01.16



14'-4"

LEFT SIDE ELEVATION

KATHERINE STREET
SCALE 1/4"=1'
06.01.16



- BOARD AND BATTEN CEMENT SIDING
- DORMER (BEYOND)
- DOUBLE HUNG WINDOWS
- 5" SMOOTH CEMENT BOARD SIDING
- 4" TRIM
- ARCHITECTURAL SHINGLES
- RECESSED PORCH WITH WOOD POSTS
- 8" SPLIT FACE CMU

REAR ELEVATION

KATHERINE STREET
 SCALE 1/4"=1'
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BOARD AND BATTEN
CEMENT SIDING

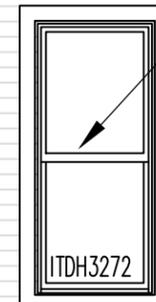
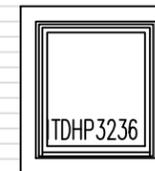
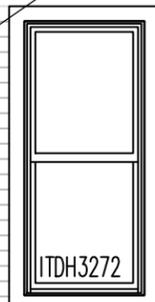
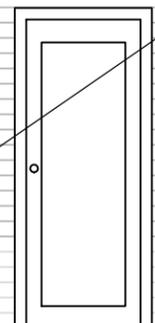
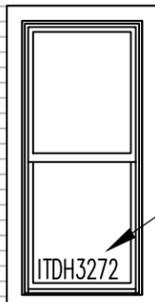
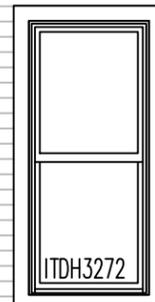
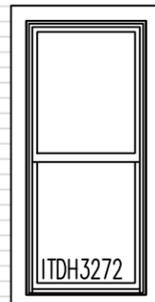
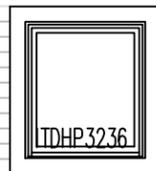
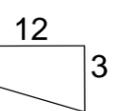
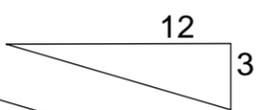
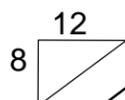
ARCHITECTURAL
SHINGLES

5" SMOOTH CEMENT
BOARD SIDING

4" TRIM

DOUBLE HUNG
WINDOWS

8" SPLIT FACE CMU



KATHERINE STREET
SCALE 1/4"=1'
06.01.16