

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1214, 1216, and 1220 Rosa L. Parks Boulevard
August 17, 2016

Application: New construction - infill
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Numbers: 08209025300, 08213014500, 08213014400
Applicant: George Israel, Architect, Nick Dryden, Architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The current proposal includes the construction of two new buildings on the lots: a two-story flat roofed mixed-use building at the northern half of the property and a two-story front-gabled building to the south.</p> <p>Recommendation Summary: Staff recommends approval of the demolition and new construction of two commercial buildings with the conditions that:</p> <ol style="list-style-type: none">1. The projecting balcony is removed from the front façade of the northern building;2. Additional information is provided for the rooftop utility screens;3. Concrete band not be approved until a final signage plan has been approved;4. The applicant return to the Commission with additional details regarding materials as well as a consideration of simplifying materials, textures and color to meet section 3 for walls and materials;5. The terrace “window” openings not be enclosed later, either with windows, plastic or any other type of covering, without a Preservation Permit or a revision of the existing permit; and,6. The applicant return to the Commission with additional information on signage, lighting, fences, and other appurtenances. <p>Meeting those conditions, Staff finds that the project will meet the design guidelines for the Germantown Historic Preservation Zoning Overlay.</p>	<p>Attachments A: Minutes B: Photographs C: Site Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

3.0 New Construction - where there is minimal historic context or historic context no longer exists

Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*

3.2.5 Height

1. New buildings shall be constructed to a height that is compatible with adjacent context.
2. In the absence of adjacent context with taller heights the following heights are permitted.

Building along Commercial Corridors (Jefferson Street and Rosa L. Parks Boulevard) are permitted to be 4-6 stories.

The intent is to provide visual interest and permit light, air, and visual openness to the sky plane and modulation of height and massing at the street wall. To signify a unique feature, a corner or important element portions of a structure are not required to set back at the street wall. It is not intended to permit a majority of the project nor an entire block length of six stories unbroken at the street wall.

Within the interior of the District structures are permitted to be 35' in height. Special features of increased height such as towers or turrets may be acceptable. Corner buildings offer unique opportunities because of their visibility and access from two streets and are locations for special activities, uses or indicators of neighborhood centers taller heights up to 45' may be appropriate for corner buildings of limited street frontage.

The intent is to provide visual interest and allow modulation of heights to signify something unique or important at the corner. The term "limited street frontage" is intended to allow reasonable lengths of building frontage to have an increased height. It is not intended to permit a majority of the project nor an entire block length of increased height.

Within the District in the absence of adjacent historical context structures are permitted to be 3 stories or 45' in height.

3.3 Walls/Exterior Materials

- 3.3.1 Exterior materials will be reviewed for characteristics of scale, design, finish, texture, durability and detailing. Materials must demonstrate adherence to The Secretary of Interior's Standards.
- 3.3.2 Large expanses of featureless wall surface are not appropriate
- 3.3.3 Material change between the foundation and the first floor is encouraged.
- 3.3.4 Exterior Insulation Finish System (EFIS) and vinyl siding are not appropriate exterior materials.
- 3.3.5 The painting of wood and metal surfaces is not reviewed by the MHZC.

3.5 Windows

- 3.5.1. Window profiles will be reviewed for dimensional depth of rails, stiles, mullions, muntins, divided lites, sills, casing and or trim.

3.6 Roof

- 3.6.1 Rooftop equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*

3.7 Utilities / Mechanical

- 3.7.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their impact and visibility at the public street. Exterior utilities and mechanical equipment shall be screened from visibility from the building's street facades. Building utilities shall be planned, sited and screened to minimize their impact on the pedestrian environment.

7.0 Demolition

7.2 Guidelines

- 7.2.1 Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
- 7.2.2 Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.
- 7.2.3 Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
- 7.2.4 Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.
- 7.2.5 Where demolition has been allowed, MHZC may require historic structures to be documented through photographs, a site plan and floor plans, and those significant architectural components of a building are salvaged.

8.0 Signage

8.6 Canopies & Awnings

- 8.6.1 Canopies may be appropriate at ground-floor level provided they complement a building's architectural style and do not conceal significant architectural features.
- 8.6.2 Canopies should be constructed of materials compatible with the storefront of the building, such as metal and wood.
- 8.6.3 Historically, awnings were used on commercial buildings for both storefronts and upper façade windows. Occasionally, awnings were found on residential structures.
- 8.6.4 Awnings should be placed in locations historically used for awnings (within existing window and storefront openings) and should not obstruct transoms, columns, cornices or other architectural features.
- 8.6.5 Awnings may be fixed or retractable.
- 8.6.6 Storefront awnings should project no more than seven feet from the building and should cover no more than one-third of a storefront window display height.
- 8.6.7 The most appropriate design for awnings is a shed form. The use of shed awnings for upper façade windows is also appropriate. Curved forms are not appropriate, unless there is historical evidence for their use on a building.
- 8.6.8 Opaque canvas, cotton duck, or similar woven materials are appropriate for awnings. Plastic sheet or vinyl awnings are not appropriate.
- 8.6.9 Lighting and signage on canopies and awnings shall be consistent with guidelines for signage and lighting.

Background: In February of 2016 the Commission approved the setbacks, orientation, mass, scale, height and roof form for two commercial buildings: a four story building and a one story building, requiring the applicant to return for approval of all details such as walls, windows, doors, signage, site features, appurtenances, and lighting



In returning with additional detail information the applicant has revised the first building, reducing it from four-stories to two-stories. The scale of the second or southern building has not been changed.

Analysis and Findings: The current proposal includes the construction of two new two-story buildings on the lots: a flat roofed mixed-use building at the northern half of the property and a front-gabled building to the south.

Demolition: Although the existing building likely dates to the 1930s, its style, form, and veneered concrete block construction are not significant to the historic context of neighborhood. Staff finds its demolition to be appropriate under section 7.2.2 of the design guidelines.

North building:



This building has been approved for setbacks, orientation, mass, scale, and roof form. It was also reviewed for height, but the height has changed since the first submittal.

Height: The revised northern building will have two stories rather than four, and will be thirty-four feet (34') tall to the top of the primary walls. This is consistent with the surrounding context which includes one, two, and four story buildings ranging from fourteen feet (14') to forty-two feet (42') tall, and meets guideline 3.2.5.2, which states that buildings along Rosa L. Parks Boulevard may be up to six stories tall.

At the February meeting there was concern from the neighborhood about the design and materials of the rear of the building, which will have a greater impact on the

neighborhood than the front of the building and the overall massing and scale. Now that the building is only two-stories, its visual impact on the neighborhood is greatly reduced.

Staff finds the revised height of this building to be compatible with the surrounding context and to meet sections 3.2.4.1 and 3.2.4.2 of the design guidelines.

Walls/Exterior Materials: The primary exterior materials on the north and west elevations of this building will include brick, sheet metal trim (sometimes called brake or break metal), and horizontal metal panels. More information is needed about the horizontal aluminum panels to assure that it does not mimic the type of aluminum siding that is inappropriate in Nashville's historic districts.

Secondary materials include: a tubular aluminum screen on the rooftop, a concrete band, smooth steel troweled stucco to mimic limestone, cast concrete and metal canopy. The step-back of the tubular aluminum screen is unknown. Staff finds that the material itself is inappropriate as it is not seen on historic buildings, but may be appropriate depending on its visibility which is dictated by how far it sits back on the rooftop. The concrete band is for signage; however, Staff is unable to review overall signage for the building. A final review of signage may reveal that it does not contribute to the overall plan. Staff recommends that the concreted band only be conditionally approved based on the final approved signage plan.

Trim materials include limestone or cast stone, concrete/stuccos, miratec and metal.

Although the majority of materials appear to be appropriate, more information is needed, Staff has concerns over the number of different materials. Historically buildings typically had one or two primary materials with one or two secondary materials.

Windows include aluminum/glass storefronts on the first story and center sections of the upperstory, with industrial steel windows at the corners of the upper three stories.

On the upper story of the building to the right side of the front façade, the plans show a cantilevered metal balcony. Neither front balconies, nor upper level balconies are typical for buildings of this scale and type in the Germantown neighborhood. Staff recommends that this feature be eliminated.

The primary materials on the rear of the building are brick, white metal wall panels, and steel troweled smooth stucco. White metal is inappropriate as industrial metal materials were typically more muted shades of gray, silver and black.

Although the majority of materials appear to be appropriate, more information is needed, Staff has concerns over the number of different materials, colors and textures. Historically buildings typically had one or two primary materials with one or two secondary materials.

Staff recommends that the front balcony be removed and that the applicant return to the Commission with additional details regarding materials as well as a consideration of simplifying materials, textures and color to meet section 3 for walls and materials.

Windows & Doors: The front and side walls of the building will be punctuated with large sections of vertically oriented glass windows and doors. The rear elevation will also have large windows across the upperstory, but only a few small solid doors on the rear. The rear area will be primarily used for parking, loading, and services, and will be screened underneath a projecting second story wall. Staff finds the rhythm and proportion of windows and doors on the proposed new building to be compatible with comparable historic buildings and to meet guideline 3.3.

Utilities/Mechanical: The location of utilities and mechanicals are shown on the roof behind an ornamental metal screen. This location is appropriate and meets section 3.7.1 of the design guidelines.

South (Gabled) Building:

This building has been approved for setbacks, orientation, mass, scale, height and roof form.



Walls/Exterior Materials: The primary exterior materials on the south building will include brick, vertical wood siding, corrugated metal siding. Secondary materials include hardipanel, horizontal wood siding, and metal louvers. Trim includes limestone or cast stone, steel and metal louvers. The roof is standing seam metal.

Staff finds that these materials are common throughout Germantown, where there is a mixed historical and architectural context that often includes residential, civic, commercial, and industrial buildings juxtaposed in close or adjacent proximity. Although the majority of materials appear to be appropriate, more information is needed, Staff has concerns over the number of different materials, colors and textures. Historically buildings typically had one or two primary materials with one or two secondary materials.

Staff recommends that the applicant return to the Commission with additional details regarding materials as well as a consideration of simplifying materials, textures and color to meet section 3 for walls and materials.

Windows & Doors: The building will have two stories with similar window and door proportions, but only the first story will actually have windows and doors. The

upperstory will be an open-air terrace. Staff recommends that if approved, these openings should not be enclosed later, either with windows, plastic or any other type of covering, without a Preservation Permit or a revision of the existing permit. The first story windows will include aluminum storefront systems and multi-light steel industrial windows. All of the openings on both stories will be vertically oriented and regularly spaced, as is typical of historic commercial buildings.

Staff finds the rhythm and proportion of windows and doors on the proposed new building to be compatible with comparable historic buildings and to meet guideline 3.3.

Utilities/Mechanical: The location of utilities and mechanicals will be located on the roof of the single-story section of building at the rear. This is an appropriate location for mechanicals and meets section 3.7.1 of the design guidelines.

Full Project:

Signage, Lighting:

Future signage and lighting locations are depicted on the elevations for both buildings, but without specific information on the size, materials, and design. No determination can be made as to whether or not it would meet section 8.0 of the design guidelines based on the information provided, however, these items can be reviewed separately later and approved administratively if it is appropriate.

Recommendation Summary: Staff recommends approval of the demolition and new construction of two commercial buildings with the conditions that:

1. The projecting balcony is removed from the front façade of the northern building;
2. Additional information is provided for the rooftop utility screens;
3. Concrete band not be approved until a final signage plan has been approved;
4. The applicant return to the Commission with additional details regarding materials as well as a consideration of simplifying materials, textures and color to meet section 3 for walls and materials;
5. The terrace “window” openings not be enclosed later, either with windows, plastic or any other type of covering, without a Preservation Permit or a revision of the existing permit; and,
6. The applicant return to the Commission with additional information on signage, lighting, fences, and other appurtenances.

Meeting those conditions, Staff finds that the project will meet the design guidelines for the Germantown Historic Preservation Zoning Overlay.

Notes:

- The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.
- Any projections over the sidewalk or other public right-of-ways would require approval of Metro Council.

Summary Minutes from February, 2017

a. 1216 ROSA PARKS BLVD

Application: New construction - infill

Council District: 19

Overlay: Germantown Historic Preservation Zoning Overlay

Project Lead: SEAN ALEXANDER

Permit ID #: 2100300

Commissioner Gee recused himself and left the room at 3:51 p.m.

Staff member, Sean Alexander, presented the proposal to construct two new buildings on the lots: a four story mixed-use building at the northern half of the property and a two-story commercial building to the south.

The building will be built up to the Monroe Street sidewalk, and eleven feet (11') off the Rosa Parks sidewalk. Staff finds this location to meet the guidelines for infill on the Rosa Parks corridor, and has received feedback from the Planning and Public Works departments that they are compatible with the planned right-of-way expansion.

The walls of the building will be fifty-five feet tall. The primary elevations will be broken up horizontally and vertically, with pedestrian-oriented storefronts on the ground level and mixed uses above.

The materials will include brick, concrete, stone and steel, aluminum storefronts and windows, with industrial steel windows at the corners of the upper three stories.

The material and architectural makeup of the surrounding context is very diverse, and Staff finds that the materials of the proposed infill are all generally compatible. While the materials themselves are appropriate, more information about the details and finishes is needed, so staff recommends that the applicant return to the commission with more detailed drawings providing a fuller explanation of the design of the project.

The building will sit in line with the non-contributing adjacent building to the south. This setback is appropriate because it helps maintain a consistent building edge, transitions to the new building at the corner, and it is compatible with planned right-of-way expansion.

The building will be two-stories divided in three bays, with a front-oriented gable. The gable will be shifted from the center of the building, and extend out about the width of a bay to the left. A stair tower will extend the width to the left, at about the midpoint of the building. The building may be primarily accessed by an entrance on the left side facing the parking lot, but the façade that addresses Rosa Parks Boulevard will have the appearance of a primary façade. Staff finds the orientation to meet the design guidelines.

The materials will include brick, concrete, stone and steel, aluminum storefronts and windows, with industrial steel windows.

The material and architectural makeup of the surrounding context is very diverse, and Staff finds that the materials of the proposed infill are all generally compatible. While the materials themselves are appropriate, more information about the details and finishes is needed, and staff recommends that the applicant return to the commission with more detailed drawings, providing a fuller explanation of the design of the project

Nick Dryden, architect for the project, explained that they are in preliminary schematic design but the primary materials are brick, metal and glass. They have had good feedback from the neighborhood.

Commissioner Mosley noted that there have been discussions in the neighborhood and social media comments but he has not been a part of those discussions and does not believe that it will affect his decision.

Mr. Dryden acknowledged that this a gateway site for the entrance into historic Germantown and they were cognizant of that when designing the project.

Brit DePriest owns property in the neighborhood. He was at the neighborhood meeting the previous night, where one of the concerns voiced was the rear elevation, which will be seen from the interior of the neighborhood. Mr. Dryden explained that the material was meant to be different from the front and that establishing a dialogue with the neighborhood would be helpful.

Commissioner Mosley agreed that it is a dynamic site and that this proposal is the most sensitive proposal presented for this site, in terms of addressing the interior of the neighborhood as well as the commercial area across the street. Commissioner Bell agreed and noted that Werthan Bag is in the next block and the proposal is respectful of that historic site.

Mr. Dryden was invited back to address Commissioner Bell's question about the neighborhood's support of massing and scale. Mr. Dryden noted that there were some questions about the stair/elevator tower because of its proximity to Monroe and because it will be the highest point. They will consider breaking up that mass with a lighter material so it doesn't feel as heavy, or possibly continuing the brick up.

Commissioner Fletcher asked if there was a possibility of replacing parking with green space. Mr. Dryden said that an increase of green space is under consideration and that a portion of the parking may be a plaza used for events.

Motion:

Commissioner Mosley moved to approve the setbacks, orientations, mass, scale, height and roof form of this project and that the applicant return for approval of details including walls, windows, doors, signage, site features, appurtenances, and lighting. Commissioner Bell seconded and the motion passed unanimously.

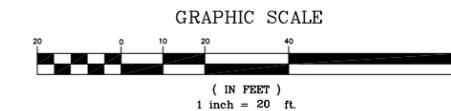


VICINITY MAP
(N.T.S.)

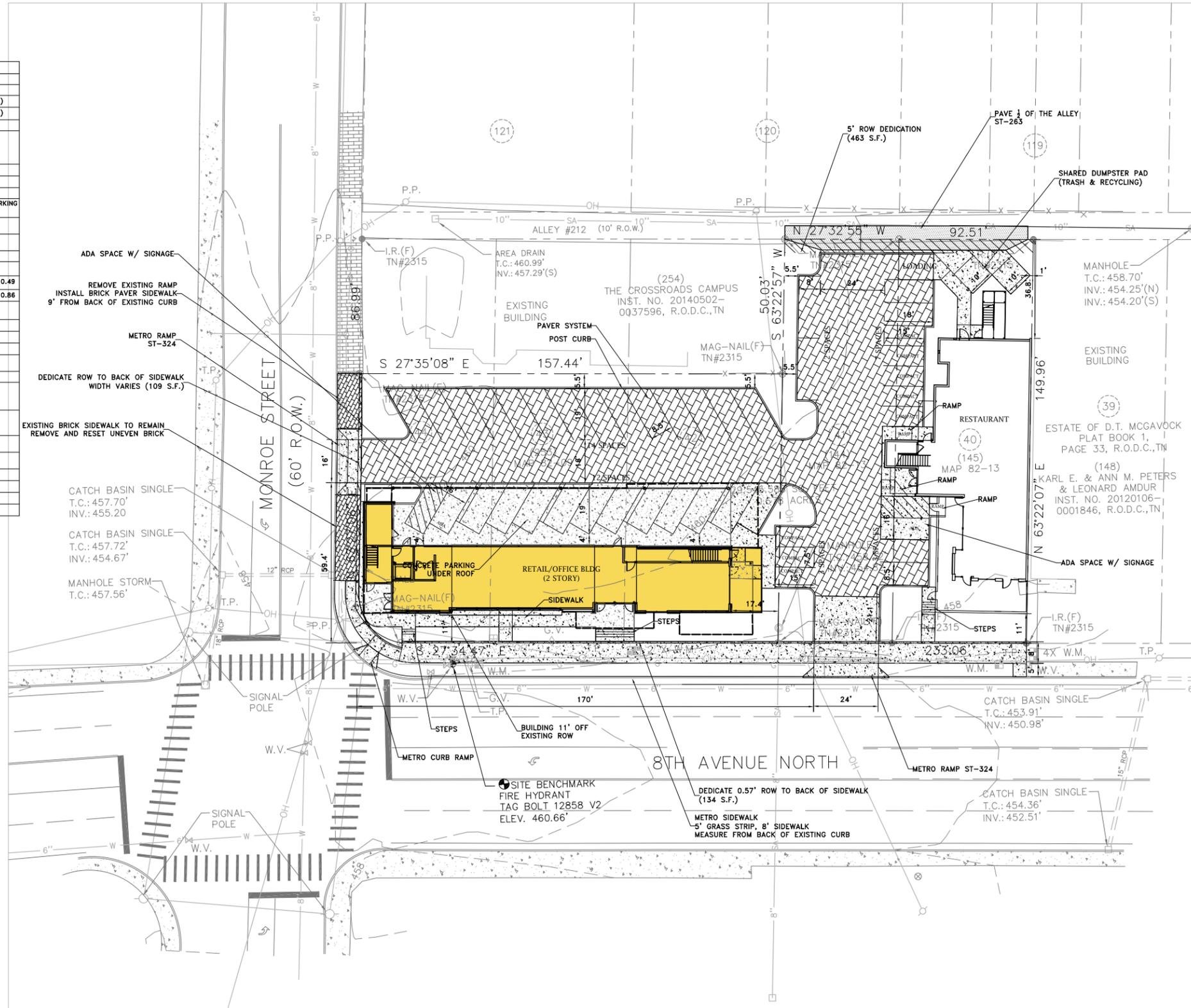
USE	ZONING CHECKLIST		
	MERCANTILE BLDG	RESTAURANT	SHARED
MAP AND PARCEL	MAP 82-09, PARCEL 253	MAP 82-13 PARCELS 144 & 145	
LOT SIZE	0.360 AC (15,669 S.F.) 0.355 AC (15,479 S.F.)	0.318 AC (13,876 S.F.) 0.307 AC (13,356 S.F.)	0.678 AC (29,545 S.F.) 0.662 AC (28,835 S.F.)
COUNCILMANIC DISTRICT	19	19	
LAND USE	RETAIL (P) - 1st FL 2,898 S.F. OFFICE (P) - 2nd FL 6,200 S.F.	RESTAURANT (P) MAIN BLDG - 3,040 S.F. PATIO SEATING - 600 S.F. ROOFTOP SEATING - 1,500 S.F.	
ZONING	CS (UZO, MDHA, HPR)	CS (UZO, MDHA, HPR)	
ZONING USE	P - PERMITTED	P	
ACCESS			
RAMPS	1 ON MONROE; (SHARED ACCESS)	1 ON ROSA PARKS; 1 ALLEY (SHARED ACCESS)	SHARED ACCESS & PARKING
DISTANCE TO NEAREST RAMP	NONE ON BLOCK	66'±	
DISTANCE TO NEAREST INTERSECTION	59'±	171'±	
SITE CRITERIA			
MIN. LOT SIZE	NONE	NONE	
FAR	0.60 (8898/15479=0.57 ACTUAL)	0.60 (5140/13356)=0.38 ACTUAL	(14,038 / 28,853) = 0.49
ISR	0.90 (13396/15479=0.87 ACTUAL)	0.90 (11492/13356)=0.86 ACTUAL	(24,888 / 28,835) = 0.86
STREET SETBACKS	15' FROM STD ROW	15' FROM STD ROW	
MIN REAR SETBACK	20 FT (17.4 FT ACTUAL)	20 FT (36.8 FT ACTUAL)	
MIN SIDE SETBACK	NONE	NONE	
MAX HEIGHT	30 FT (ACTUAL 31.5 FT)*	30 FT (ACTUAL 35 FT, 2 STORY)*	
SLOPE OF HEIGHT CONTROL	1.5:1	1.5:1	
PARKING STANDARDS			
SPACE CALCULATION	RETAIL: 1 SP/200 S.F. (2000 S.F. EXEMPT) OFFICE: 1 SP/500 S.F. (2000 S.F. EXEMPT)	1 SP/150 S.F. (1000 S.F. EXEMPT)	
SPACES REQUIRED	RETAIL (2698-2000) / 200 = 3.5 OFFICE (6200-2000) / 500 = 8.4	RESTAURANT (5140-1000)/150 = 27.6	
UZO CREDITS	10% TRANSIT, 10% PEDESTRIAN, 10% CONTEXTUAL = 25% CREDIT MAX	10% TRANSIT, 10% PEDESTRIAN, 10% CONTEXTUAL = 25% CREDIT MAX	
PARKING REQUIRED	12x0.75 = 9	27.6x0.75 = 21	30 SPACES REQUIRED
PARKING PROVIDED	26 SPACES	12 SPACES	38 SPACES PROVIDED
REQUIRED LOADING	1 SPACE (10'x25')	1 SPACE (10'x25')	1 SPACE SHARED
*METROPOLITAN HISTORIC ZONING COMMISSION APPROVAL 2016.02.17			

PROJECT NOTES

- EXISTING CONDITIONS TAKEN FROM SURVEY BY DALE & ASSOCIATES, DATED AUGUST 12, 2015. DATUM: TN STATE PLANE NAD-83, NAVD-88.
- THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA. PROPERTY IS IDENTIFIED AS A ZONE X ON FLOOD INSURANCE RATE MAP PANEL NO. 47037C0216F, DATED APRIL 20, 2001.
- THE EXISTING UTILITIES SHOWN ARE FOR GENERAL INFORMATION ONLY AND ARE NOT GUARANTEED TO BE EITHER ACCURATE OR ALL INCLUSIVE. OBTAIN THE AID OF EXISTING UTILITY OWNERS TO LOCATE THEIR RESPECTIVE FACILITIES BEFORE EXCAVATING IN ANY AREA.
- UTILITIES NOT SHOWN ON THIS PLAN MAY EXIST. IF UTILITIES ARE DISCOVERED DURING EXCAVATION, CONTACT THE OWNER'S REPRESENTATIVE AND ENGINEER FOR PROPER COORDINATION.



This drawing has been scaled to fit on 11X17



LUKENS Engineering Consultants
704 Ave 1586
Brentwood, TN 37024-1586
Phone 615-464-4617
lukens@lukensengineering.com

MONROE MIXED USE
709 Monroe Street, Nashville, TN 37208
Map 82-09 Parcel 253; Map 82-13, Parcels 144, 145

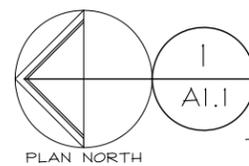
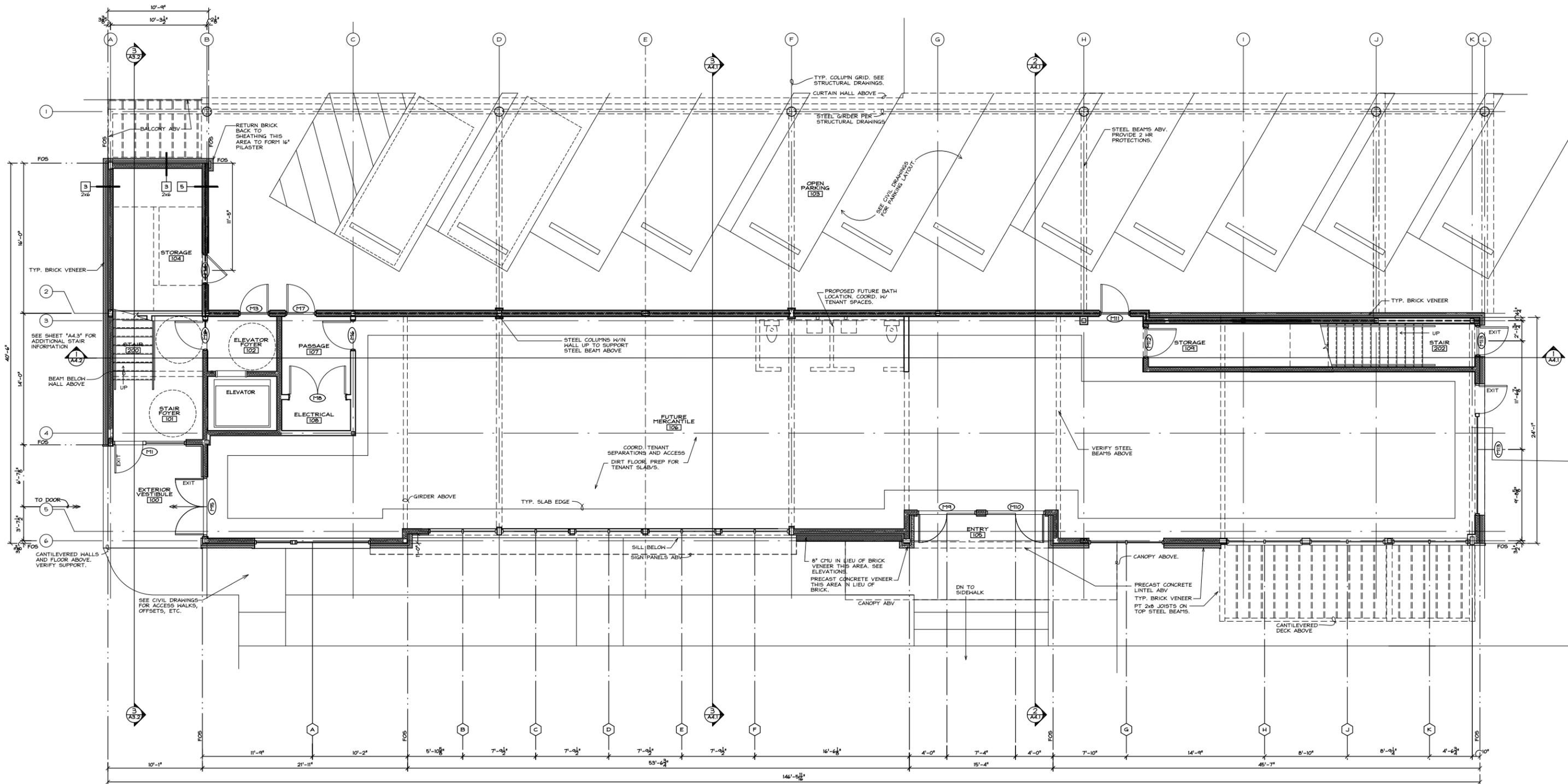
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REVISIONS/ISSUES		
NO.	DESCRIPTION	DATE

PROJ. NO.: 03534
DATE: 2016.07.11

SITE PLAN

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GENERAL FIRST FLOOR PLAN

3/32"=1'-0"

TYP. DIMENSIONS ARE TO THE CENTERLINE OF COLUMN GRID, EXTERIOR FOS (FACE OF SHEATHING), AND/OR CENTERLINE OF DOORS AND WINDOWS.

NASHVILLE DESIGN REVIEW

ISRAEL & ASSOCIATES, P.C., ARCHITECTS © 2730 19TH STREET SOUTH HOMEWOOD, ALABAMA 35209
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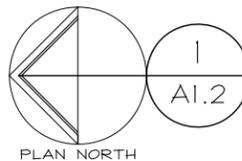
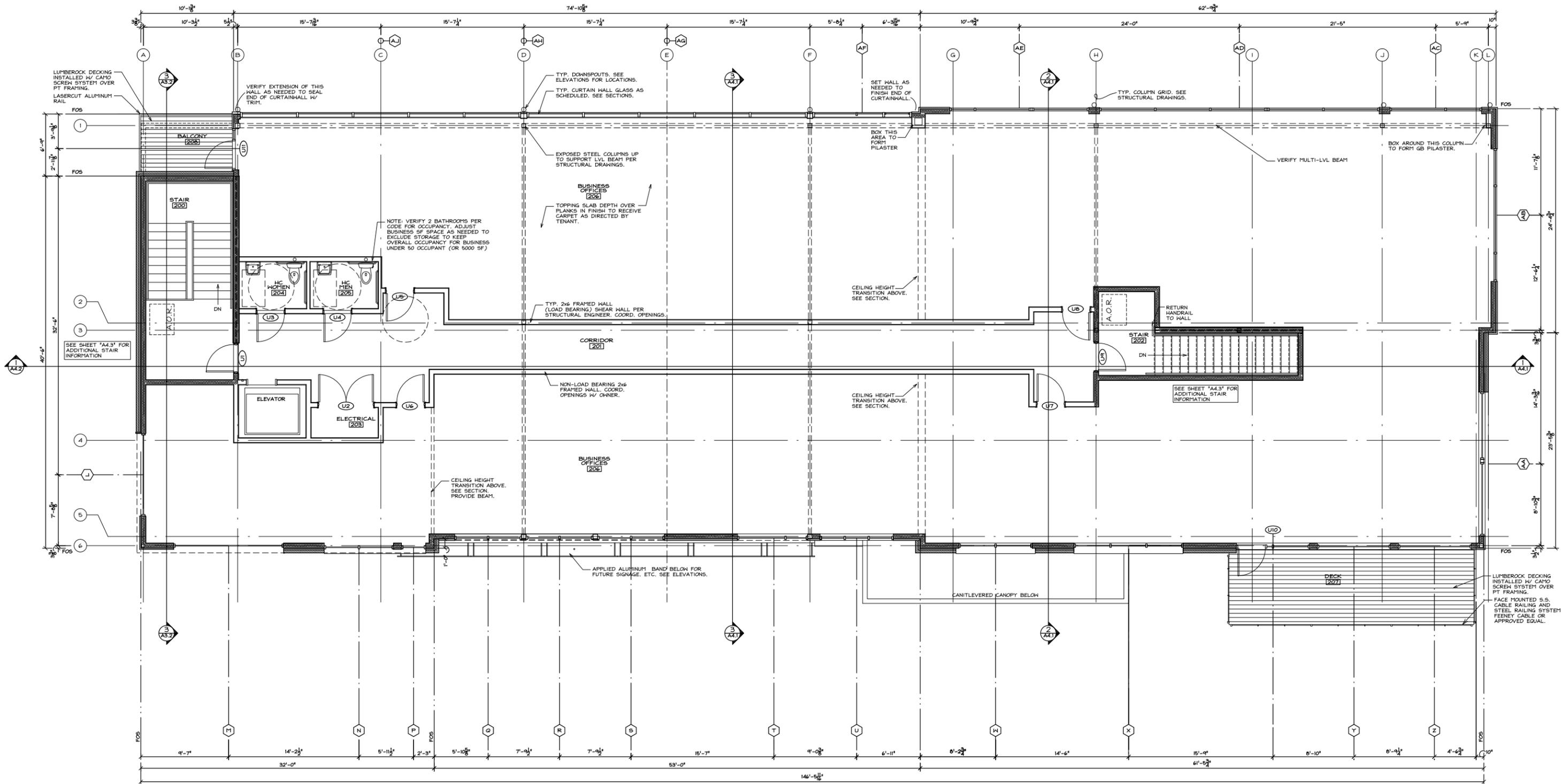
819A GERMANTOWN CORNER

FIRST FLOOR PLAN

DATE: 28 JULY 2016

DRAWING 2/6

SD-A1.1



1 SECOND FLOOR PLAN

TYP. DIMENSIONS ARE TO THE CENTERLINE OF COLUMN GRID, EXTERIOR FOS (FACE OF SHEATHING), AND/OR CENTERLINE OF DOORS AND WINDOWS.

3/32"=1'-0"



EXTERIOR FINISHES
GENERAL NOTES

- BACK PRIME/STAIN ALL WOOD TRIM AND STAIN SHINGLES ALL SIDES PRIOR TO INSTALLATION.
- SEE STRUCTURAL DRAWINGS AND PLANS FOR TYP. WALL CONSTRUCTION. SEE TYP. WALL SECTIONS FOR WRB, SHEATHING AND WALL CONSTRUCTION. SEE PLANS FOR WALL BATTINGS.
- ALL TRIM TO BE INSTALLED AT EAVES, RAKES, ETC. AS INDICATED IN DETAILED SECTIONS.
- ALL METAL FLASHING ARE TO BE MIN. (22 GAUGE) GALVALUME, U.N.O. TO BE INSTALLED 1/4\"/>

TYP. FINISHES

TYP. BRICK: BRICK VENEER, MODULAR ACME BRICK, PEABODY BLEND 1/4\"/>

TYP. ROOFING: TO BE WARRANTED MIN 15 YR (NON-PRORATED) TPO ROOFING IN COLOR AS APPROVED BY ARCHITECT. PROVIDE DETAILS OF ROOFING TRANSITIONS AND STANDARD EDGE, PENETRATION AND FLASHING TECHNIQUES PRIOR TO FABRICATION.

TYP. GUTTERS: TO BE SEAMLESS ALUMINUM BOX-TYPE GUTTERS 1/4\"/>

TYP. POSTS: TO BE 1/2\"/>

TYP. PRECAST CONCRETE: TO BE NATURAL COLOR CONCRETE TO BE USED AS DECORATIVE ACCENTS AS INDICATED ON ELEVATIONS. CAST IN RIBS, DETAILS, AS DIRECTED BY ARCHITECT. SEE ELEVATIONS FOR APPROX. SIZES PER LOCATION AND COURSE WITH STANDARD BRICK.

TYP. METAL SIDING: TO BE MIN 0.05 ALUMINUM STEELLOGIC "DW SERIES" DESIGNER WALL PANELS IN 12\"/>

TYP. STUCCO: TO BE SMOOTH STEEL TROBELED PIGMENTED STUCCO (SCRATCH, BROWN AND FINISH COAT) AS DIRECTED BY ARCHITECT ON FELT BACKED METAL LATH OVER TYVEK STUCCO WRAP, IN LIEU OF TYP. WRB. COORD. LEVEL OF FINISH, TEXTURE, COLORS, ETC. 1/4\"/>

TYP. RAILINGS: TO BE 5.5. 3/16\"/>

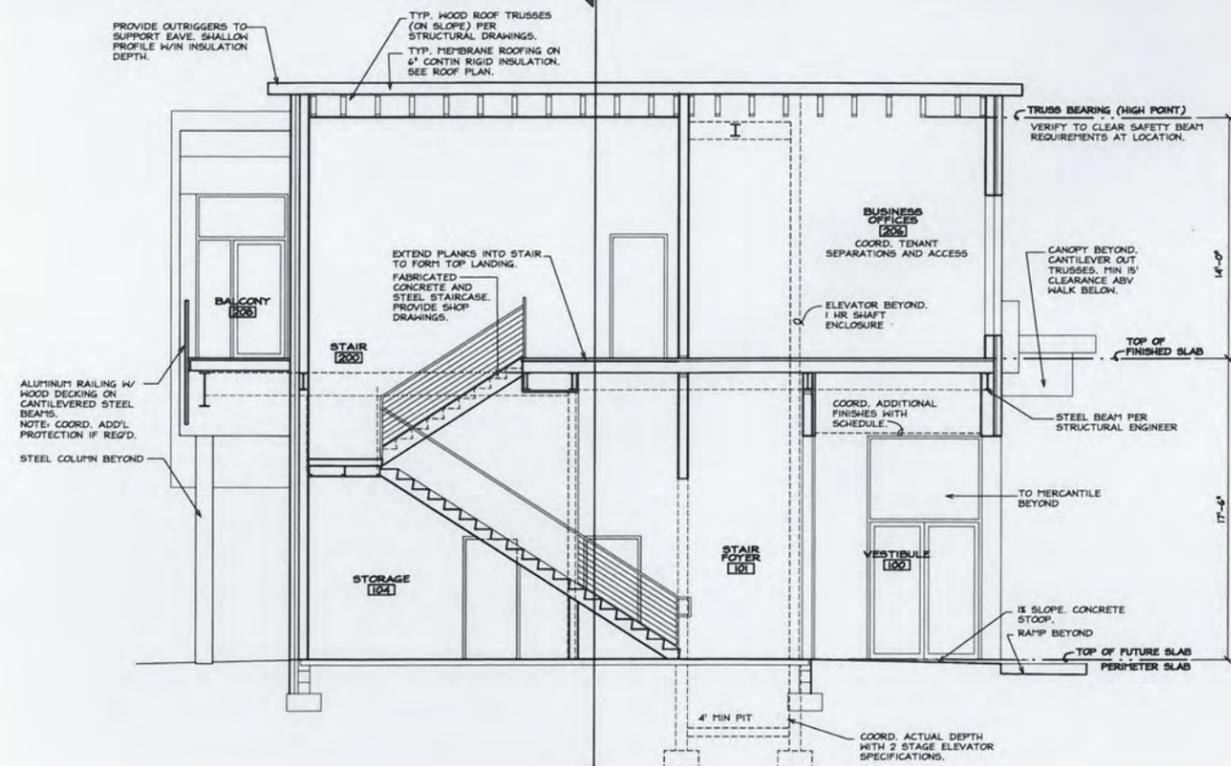
2 NORTH ELEVATION
A3.1 ALONG MONROE AVE

3/32" = 1'-0"



1 WEST ELEVATION
A3.1 ALONG ROSA PARKS BLVD

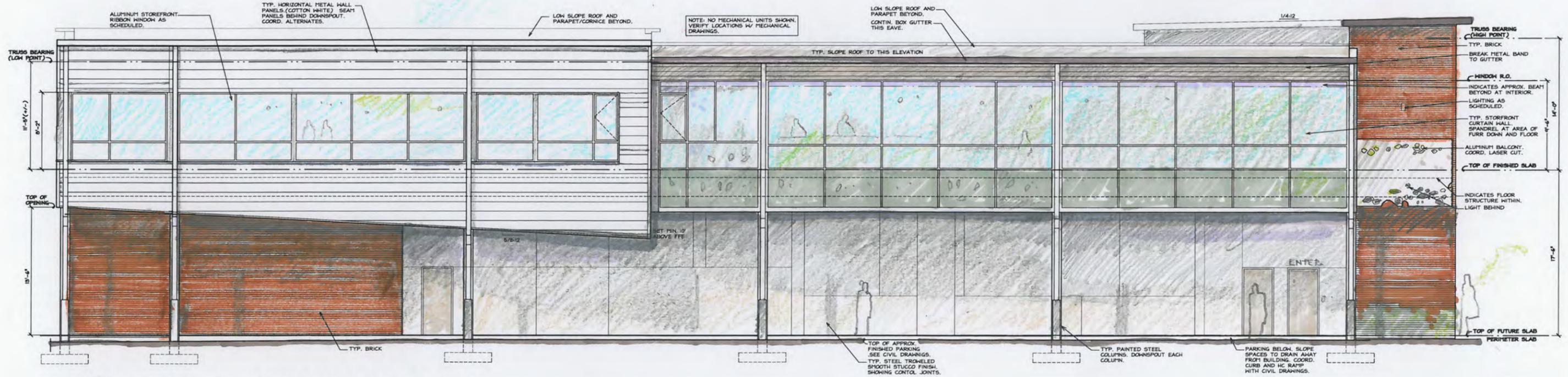
3/32" = 1'-0"



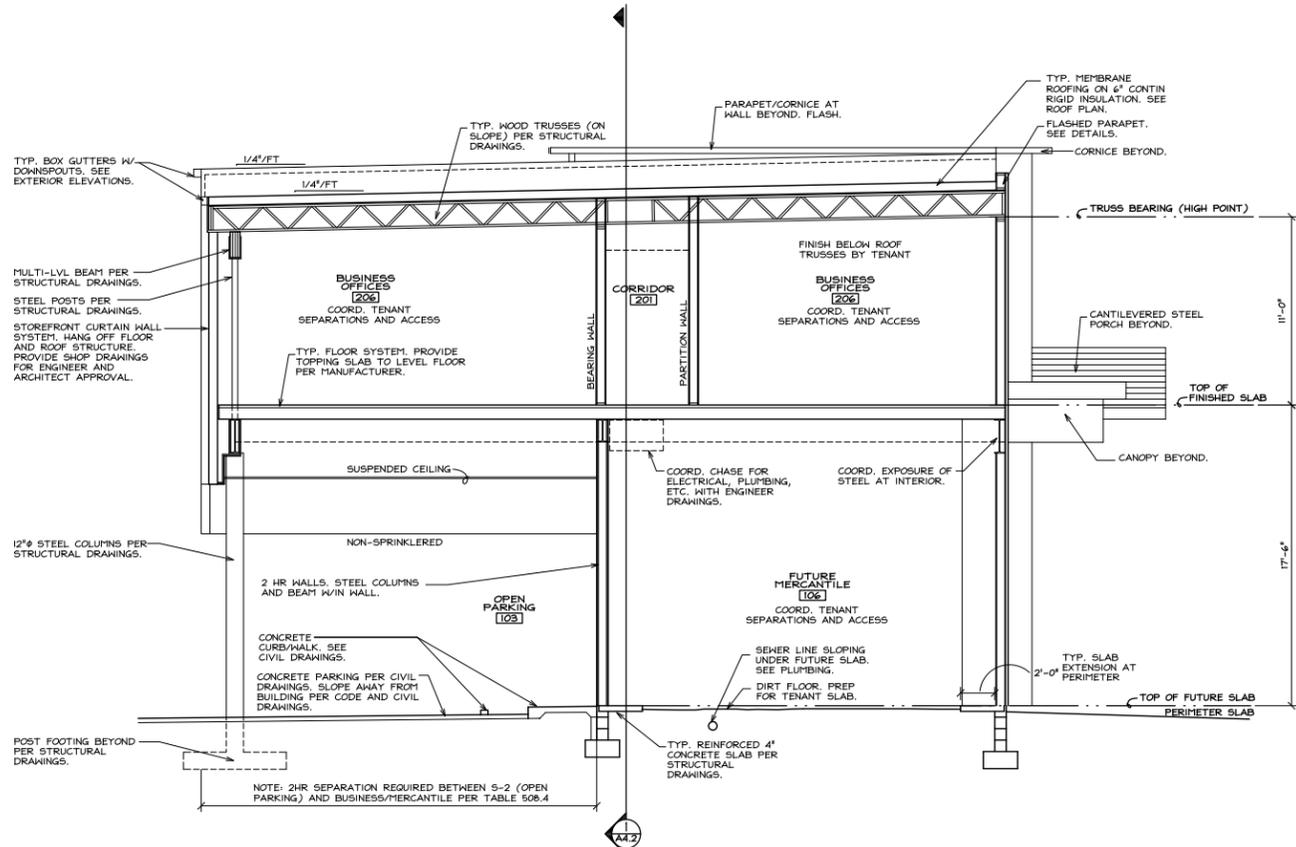
3 CROSS SECTION
A3.2 3/32" = 1'-0"



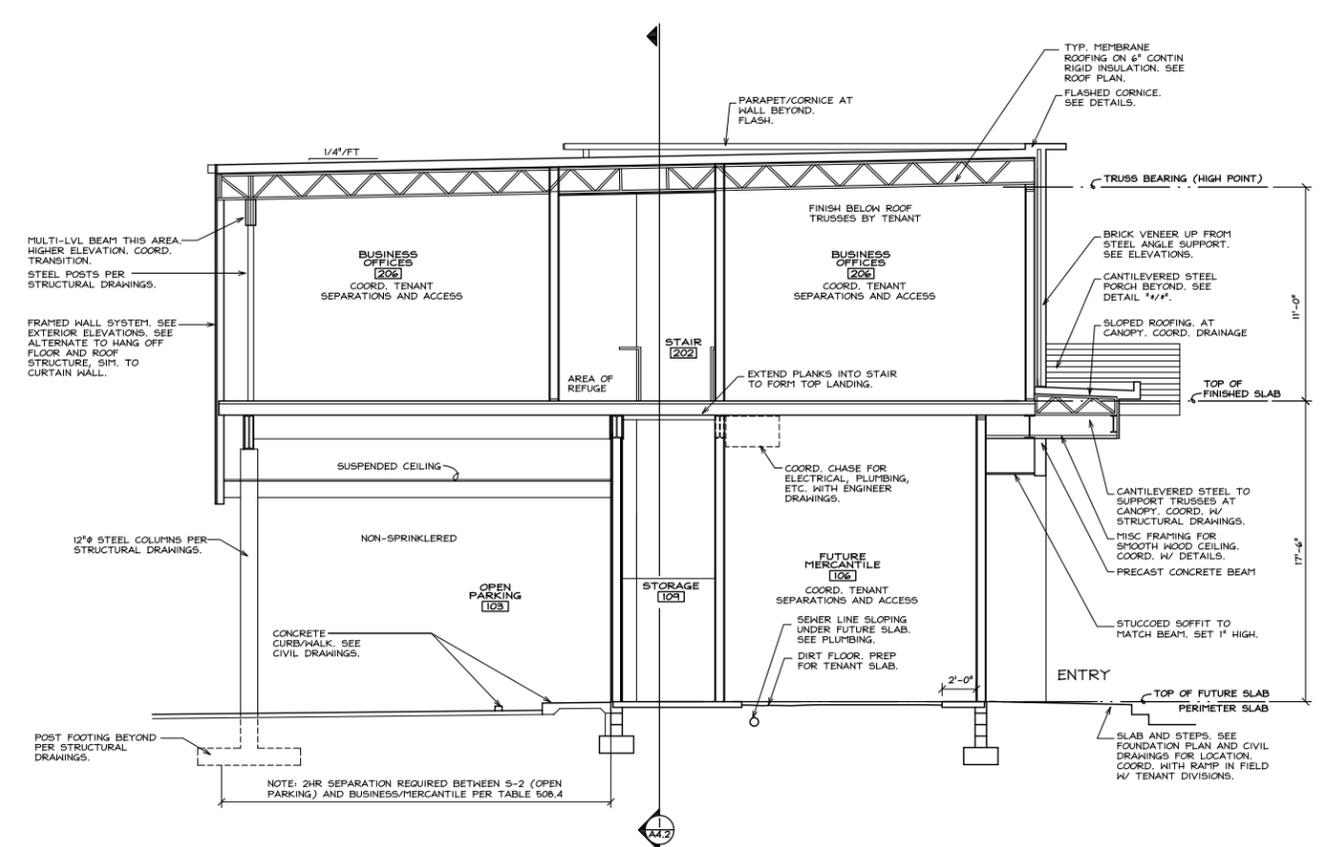
2 SOUTH ELEVATION
A3.2 3/32" = 1'-0"



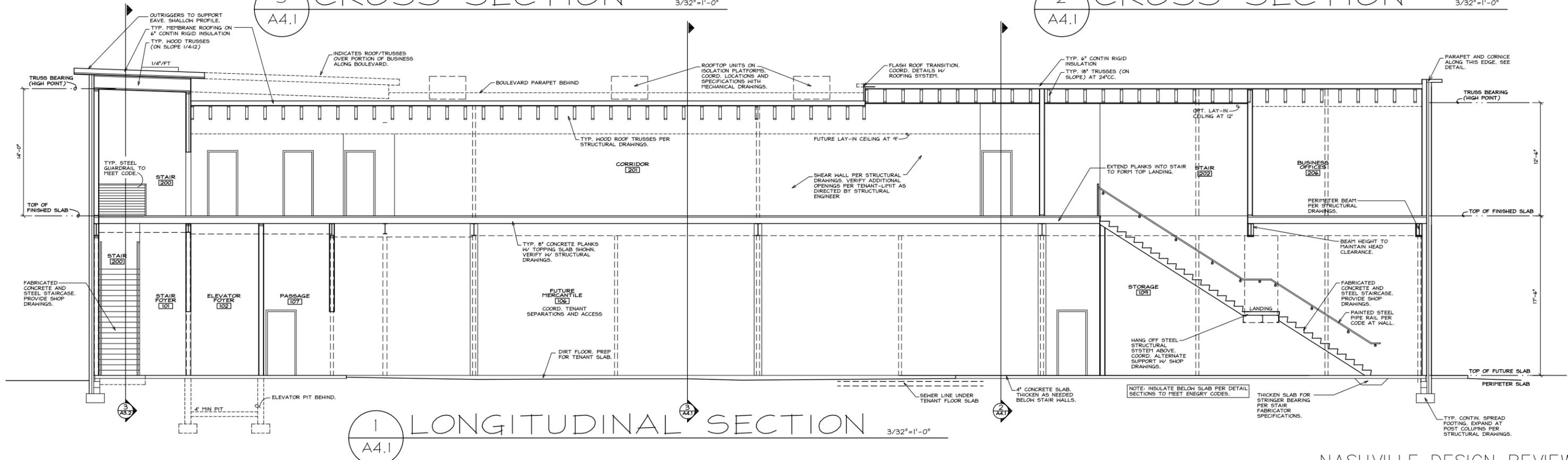
1 EAST ELEVATION
A3.2 3/32" = 1'-0"



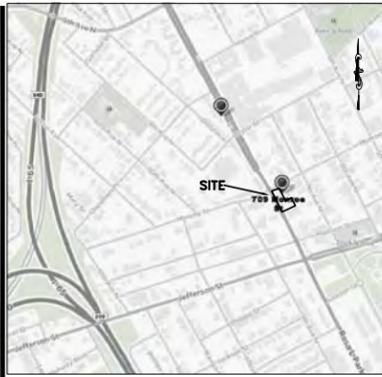
3 CROSS SECTION
A4.1
3/32"=1'-0"



2 CROSS SECTION
A4.1
3/32"=1'-0"



1 LONGITUDINAL SECTION
A4.1
3/32"=1'-0"

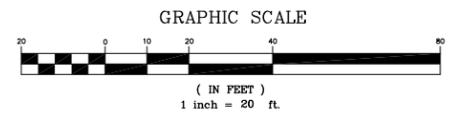


VICINITY MAP
(N.T.S.)

USE	ZONING CHECKLIST		
	MERCANTILE BLDG	RESTAURANT	SHARED
MAP AND PARCEL	MAP 82-09, PARCEL 253	MAP 82-13 PARCELS 144 & 145	
LOT SIZE	0.360 AC (15,669 S.F.) 0.355 AC (15,479 S.F.)	0.318 AC (13,876 S.F.) 0.307 AC (13,356 S.F.)	0.678 AC (29,545 S.F.) 0.662 AC (28,835 S.F.)
COUNCILMANIC DISTRICT	19	19	
LAND USE	RETAIL (P) - 1st FL 2,898 S.F. OFFICE (P) - 2nd FL 6,200 S.F.	RESTAURANT (P) MAIN BLDG - 3,040 S.F. PATIO SEATING - 600 S.F. ROOFTOP SEATING - 1,500 S.F.	
ZONING	CS (UZO, MDHA, HPR)	CS (UZO, MDHA, HPR)	
ZONING USE	P - PERMITTED	P	
ACCESS			
RAMPS	1 ON MONROE; (SHARED ACCESS)	1 ON ROSA PARKS; 1 ALLEY (SHARED ACCESS)	SHARED ACCESS & PARKING
DISTANCE TO NEAREST RAMP	NONE ON BLOCK	66'±	
DISTANCE TO NEAREST INTERSECTION	59'±	171'±	
SITE CRITERIA			
MIN. LOT SIZE	NONE	NONE	
FAR	0.60 (8898/15479=0.57 ACTUAL)	0.60 (5140/13356)=0.38 ACTUAL	(14,038 / 28,853) = 0.49
ISR	0.90 (13396/15479=0.87 ACTUAL)	0.90 (11492/13356)=0.86 ACTUAL	(24,888 / 28,835) = 0.86
STREET SETBACKS	15' FROM STD ROW	15' FROM STD ROW	
MIN REAR SETBACK	20 FT (17.4 FT ACTUAL)	20 FT (36.8 FT ACTUAL)	
MIN SIDE SETBACK	NONE	NONE	
MAX HEIGHT	30 FT (ACTUAL 31.5 FT)*	30 FT (ACTUAL 35 FT, 2 STORY)*	
SLOPE OF HEIGHT CONTROL	1.5:1	1.5:1	
PARKING STANDARDS			
SPACE CALCULATION	RETAIL: 1 SP/200 S.F. (2000 S.F. EXEMPT) OFFICE: 1 SP/500 S.F. (2000 S.F. EXEMPT)	1 SP/150 S.F. (1000 S.F. EXEMPT)	
SPACES REQUIRED	RETAIL (2698-2000) / 200 = 3.5 OFFICE (6200-2000) / 500 = 8.4	RESTAURANT (5140-1000)/150 = 27.6	
UZO CREDITS	10% TRANSIT, 10% PEDESTRIAN, 10% CONTEXTUAL = 25% CREDIT MAX	10% TRANSIT, 10% PEDESTRIAN, 10% CONTEXTUAL = 25% CREDIT MAX	
PARKING REQUIRED	12x0.75 = 9	27.6x0.75 = 21	30 SPACES REQUIRED
PARKING PROVIDED	26 SPACES	12 SPACES	38 SPACES PROVIDED
REQUIRED LOADING	1 SPACE (10'x25')	1 SPACE (10'x25')	1 SPACE SHARED
*METROPOLITAN HISTORIC ZONING COMMISSION APPROVAL 2016.02.17			

PROJECT NOTES

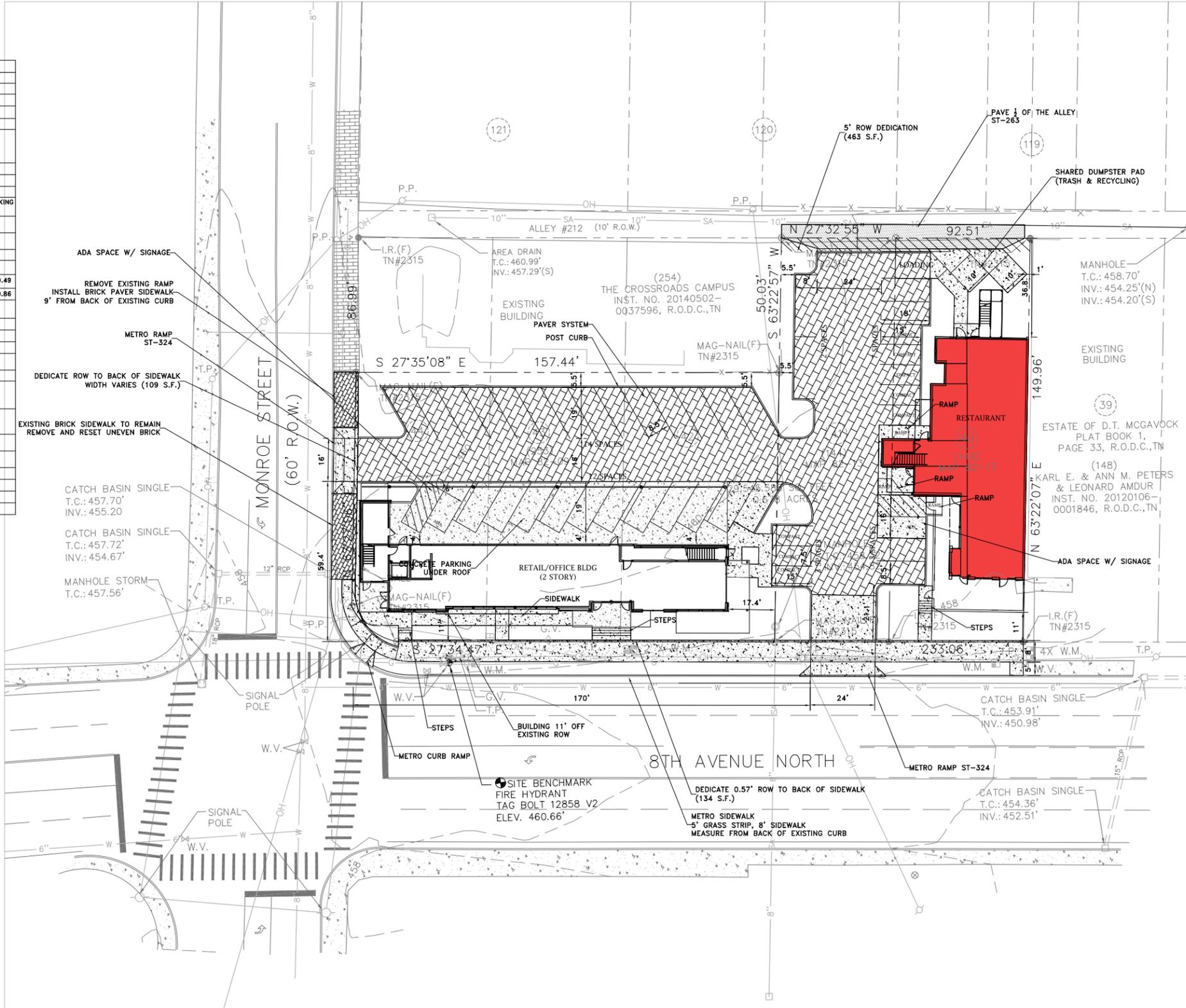
- EXISTING CONDITIONS TAKEN FROM SURVEY BY DALE & ASSOCIATES, DATED AUGUST 12, 2015. DATUM: TN STATE PLANE NAD-83, NAVD-88.
- THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA. PROPERTY IS IDENTIFIED AS A ZONE X ON FLOOD INSURANCE RATE MAP PANEL NO. 47037C0216F, DATED APRIL 20, 2001.
- THE EXISTING UTILITIES SHOWN ARE FOR GENERAL INFORMATION ONLY AND ARE NOT GUARANTEED TO BE EITHER ACCURATE OR ALL INCLUSIVE. OBTAIN THE AID OF EXISTING UTILITY OWNERS TO LOCATE THEIR RESPECTIVE FACILITIES BEFORE EXCAVATING IN ANY AREA.
- UTILITIES NOT SHOWN ON THIS PLAN MAY EXIST. IF UTILITIES ARE DISCOVERED DURING EXCAVATION, CONTACT THE OWNER'S REPRESENTATIVE AND ENGINEER FOR PROPER COORDINATION.



This drawing has been scaled to fit on 11X17



LE
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7040 1586
Brentwood, TN 37024-1586
Phone 615-404-4617
lukens@lukensengineering.com



MONROE MIXED USE
709 Monroe Street, Nashville, TN 37208
Map 82-09 Parcel 253; Map 82-13, Parcels 144, 145

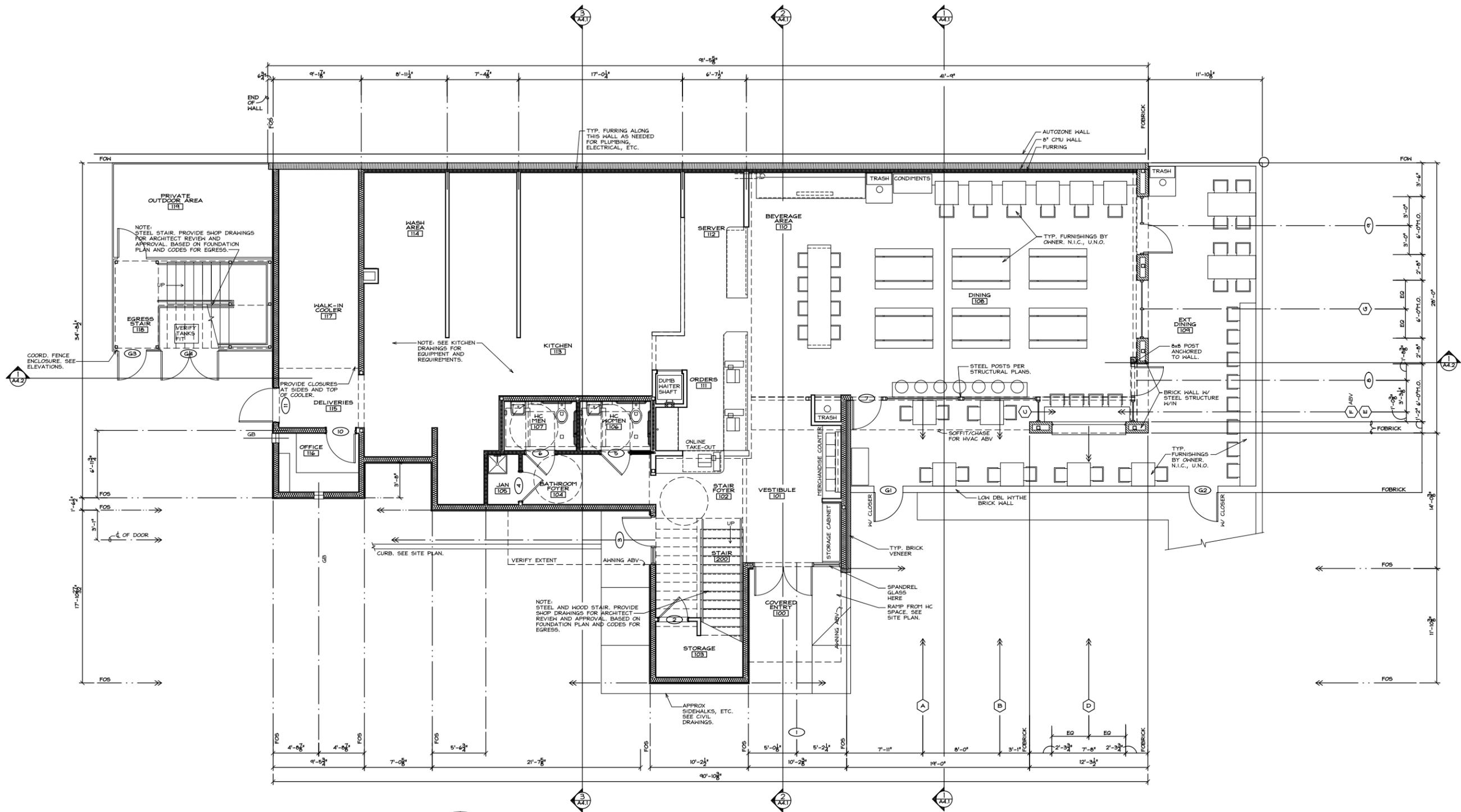
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REVISIONS/ISSUES		
NO.	DESCRIPTION	DATE

PROJ. NO.: 03534
DATE: 2016.07.11

SITE PLAN

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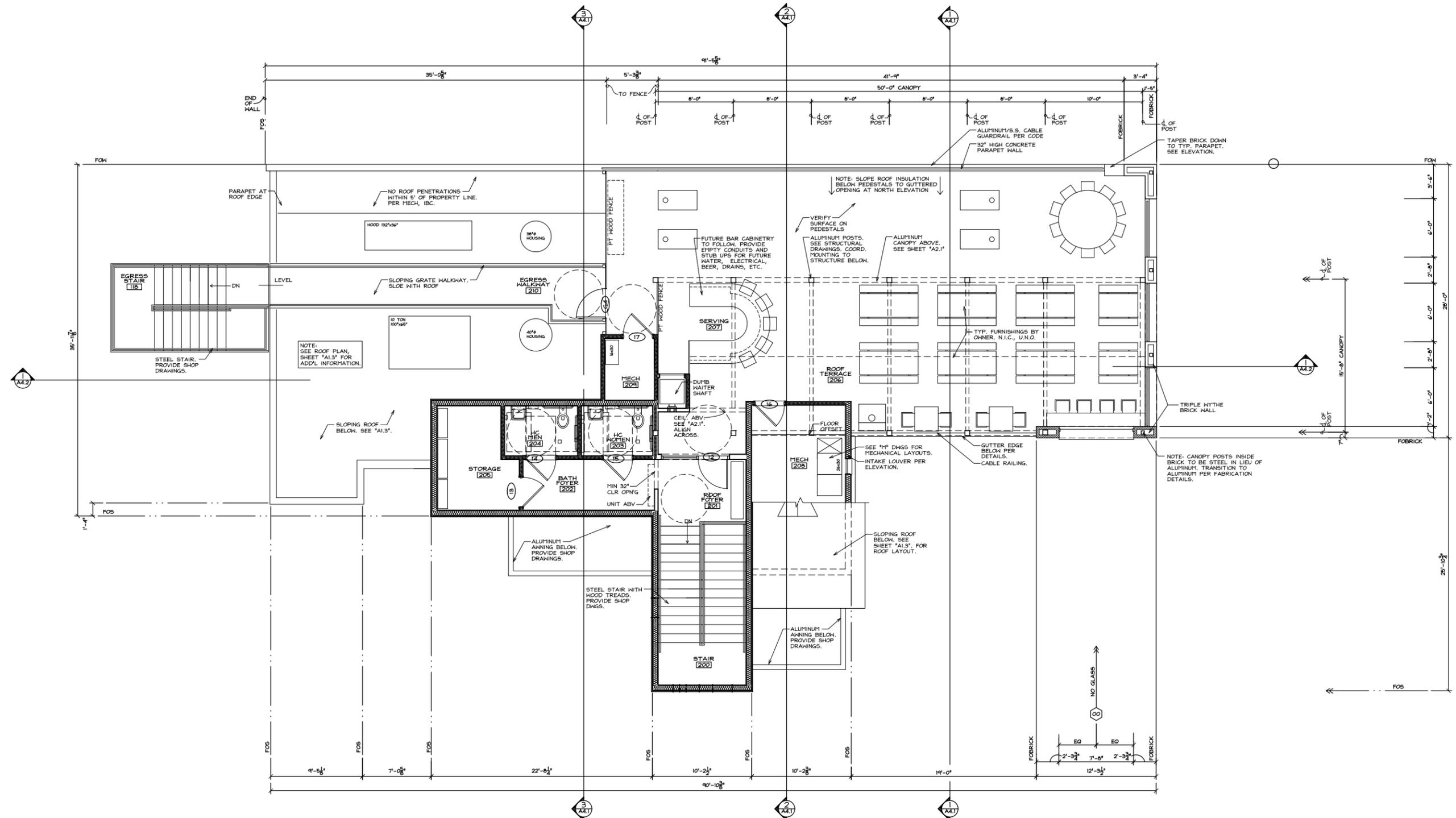


1 GENERAL GROUND LEVEL FLOOR PLAN

A1.1 TYP. DIMENSIONS ARE TO THE CENTERLINE OF COLUMN GRID, EXTERIOR FOS (FACE OF SHEATHING), AND/OR CENTERLINE OF DOORS AND WINDOWS.



NASHVILLE DESIGN REVIEW



1 GENERAL ROOF TERRACE PLAN

A1.2 TYP. DIMENSIONS ARE TO THE CENTERLINE OF COLUMN GRID, EXTERIOR FOS (FACE OF SHEATHING), AND/OR CENTERLINE OF DOORS AND WINDOWS.

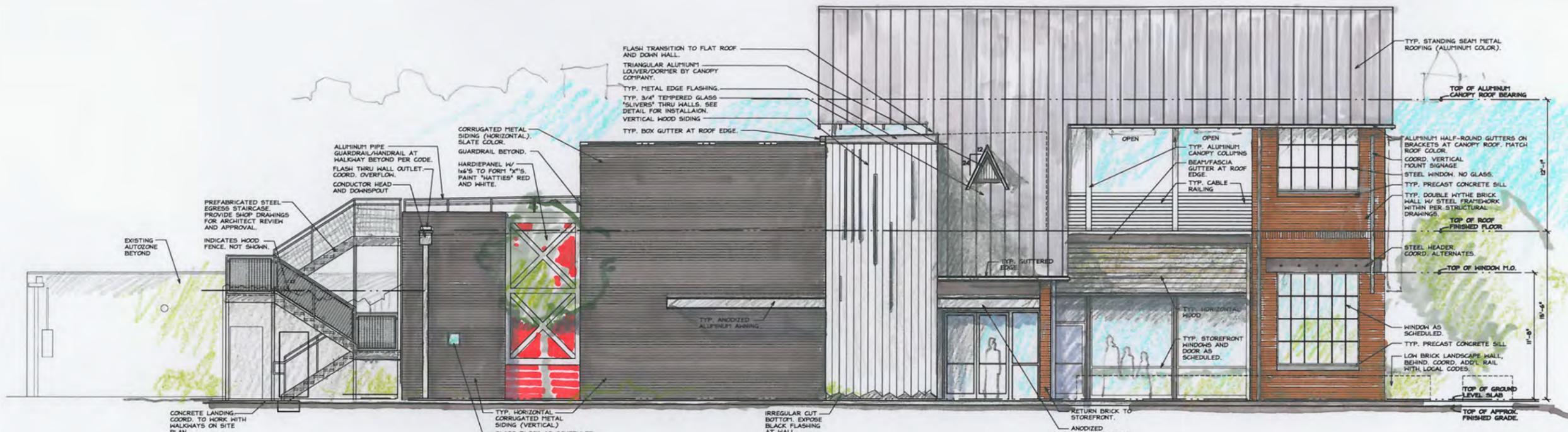
3/32"=1'-0"

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819 GERMANTOWN-HATTIES ROOF TERRACE PLAN

DATE: 28 JULY 2016 DRAWING 3/7 SD-A1.2



2 NORTH ELEVATION
A3.1

3/32"=1'-0"



1 WEST ELEVATION
A3.1

3/32"=1'-0"

EXTERIOR FINISHES
GENERAL NOTES

- BACK PRIME/STAIN ALL WOOD TRIM AND STAIN BOARDS ALL SIDES PRIOR TO INSTALLATION.
- SEE STRUCTURAL DRAWINGS AND PLANS FOR TYP. WALL CONSTRUCTION. SEE TYP. WALL SECTIONS FOR HRB, SHEATHING AND WALL CONSTRUCTION. SEE PLANS FOR WALL RATINGS.
- ALL TRIM TO BE INSTALLED AT EAVES, RAKES, ETC. AS INDICATED IN DETAILED SECTIONS.
- ALL METAL FLASHING ARE TO BE MIN. (22 GAUGE) GALVALUME UNO. TO BE INSTALLED W/ VERTICAL LEG BEHIND THE HRB AT WALLS.
- ALL SOFFIT MATERIAL TO BE MIN 0.060 ALUMINUM IN PROFILE TO FORM CORNICE AND/OR EAVES. PROVIDE PROFILE PER SECTION.
- SEE WINDOW AND DOOR SCHEDULES FOR SPANDREL, STOREFRONT, AND GLASS INFORMATION.
- MASON TO FOLLOW BRICK INSTITUTE OF AMERICA RECOMMENDED PRACTICES FOR INSTALLATION OF ALL BRICK VENEER PRODUCTS, INCLUDING BUT NOT LIMITED TO WEEPS, FLASHING, ANCHORING, AIR SPACE MAINTENANCE, CONTROL JOINTS, MORTAR CONSISTENCY TO PREVENT EFFLORESCENCE, ETC. MASON TO PROVIDE SUBMITTALS OF INSTALLATION DETAILS PRIOR TO ERECTION OF BRICK ALONG WITH SAMPLES AS DIRECTED.

TYPICAL FINISHES

TYP. BRICK: BRICK VENEER AND MASONRY WALLS (INSIDE AND OUT), MODULAR ACTE BRICK, FEATHER BLEND W/ LIGHT COLORED PORTLAND. PROVIDE PREFERRED PORTLAND OPTIONS FOR ARCHITECT REVIEW, SELECTION AND APPROVAL. ALSO, PROVIDE ALLOWANCE FOR MIN 3" DEEPS OF BRICK AND MORTAR OF APPROX 4#4 SIZE. SEE ELEVATIONS FOR ADDITIONAL DIRECTION, OFFSETS, COURSES, ETC. AND FOLLOW BIA STANDARDS AND PRACTICES FOR BRICK INSTALLATION.

TYP. FLAT (LOW SLOPE) ROOFING: TO BE WARRANTED MIN IS 1/8" (NON-PROTRUDING) LIQUID APPLIED MEMBRANE ROOFING IN COLOR AS APPROVED BY ARCHITECT. PROVIDE DETAILS OF ROOFING TRANSITIONS AND STANDARD EDGE, PENETRATION AND FLASHING TECHNIQUES PRIOR TO FABRICATION.

TYP. CANOPY (12:12 SLOPE) ROOFING: TO BE WARRANTED STANDING SEAM PAINTED ALUMINUM ROOFING (MIN .05 GAUGE) INSTALLED BY CANOPY COMPANY ON TOP OF CANOPY STRUCTURE. COORD. DETAILS WITH CANOPY SHOP DRAWINGS. COLOR TO BE LEAD GRAY OR APPROVED EQUAL.

TYP. GUTTERS: TO BE SEAMLESS ALUMINUM BOX-TYPE GUTTERS W/ MATCHING RECTANGULAR DOWNSPOUTS IN STANDARD FINISH. PROVIDE SAMPLES OF COLOR OPTIONS FOR ARCHITECT REVIEW AND APPROVAL. VERIFY ALTERNATES BY LOCATION. UTILIZE FASCIA BEAM GUTTERS AT LOCATIONS AS INDICATED IN DETAILS.

TYP. ALUMINUM POSTS: TO BE PROVIDED BY CANOPY COMPANY AS PART OF ROOF CANOPY WITH FLASHED THRU-ROOF PENETRATION ANCHOR POINTS BY OTHERS. COORD. WITH DETAILS AND STRUCTURAL ENGINEER DRAWINGS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

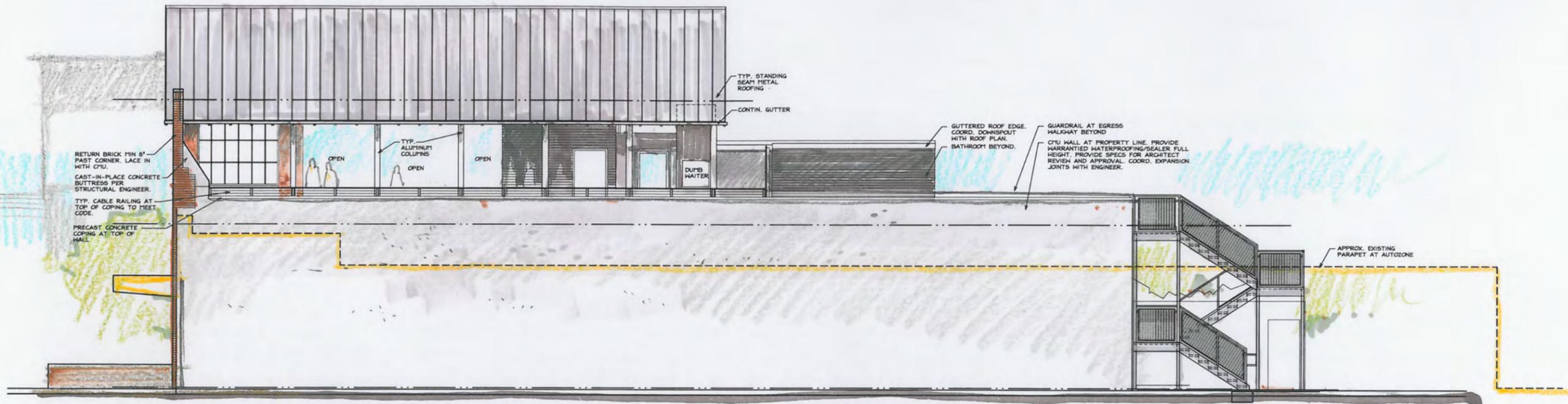
TYP. PRECAST CONCRETE: TO BE NATURAL COLOR CONCRETE TO BE USED AS DECORATIVE ACCENTS AND COPINGS AS INDICATED ON ELEVATIONS AND IN SECTIONS. CAST IN DETAILS, AS DIRECTED BY ARCHITECT. SEE ELEVATIONS FOR APPROX. SIZES PER LOCATION AND COURSE WITH STANDARD BRICK.

TYP. METAL (HORIZONTAL) SIDING: TO BE MIN .05 ALUMINUM STEELLOGIC "VINTAGE PANEL" CORRUGATED WALL PANELS W/ SYMPHONY EXCEL FINISH. INSTALL PER MANUFACTURER RECOMMENDED SPECIFICATIONS ON HAT CHANNEL. AND UTILIZE MATCHING LOG PROFILE TRIMS. COLORS AND ORIENTATION AS INDICATED ON DRAWINGS.

TYP. WOOD (VERTICAL) SIDING: TO BE VERTICAL 5/8" ORIENTED CYPRESS BOARDS ON BATTEN W/ SEMI-TRANSPARENT WHITE WASH PREFINISHED ALL SIDES/CUT. INSTALL PER DETAILS AND PROVIDE SAMPLE FOR ARCHITECT APPROVAL.

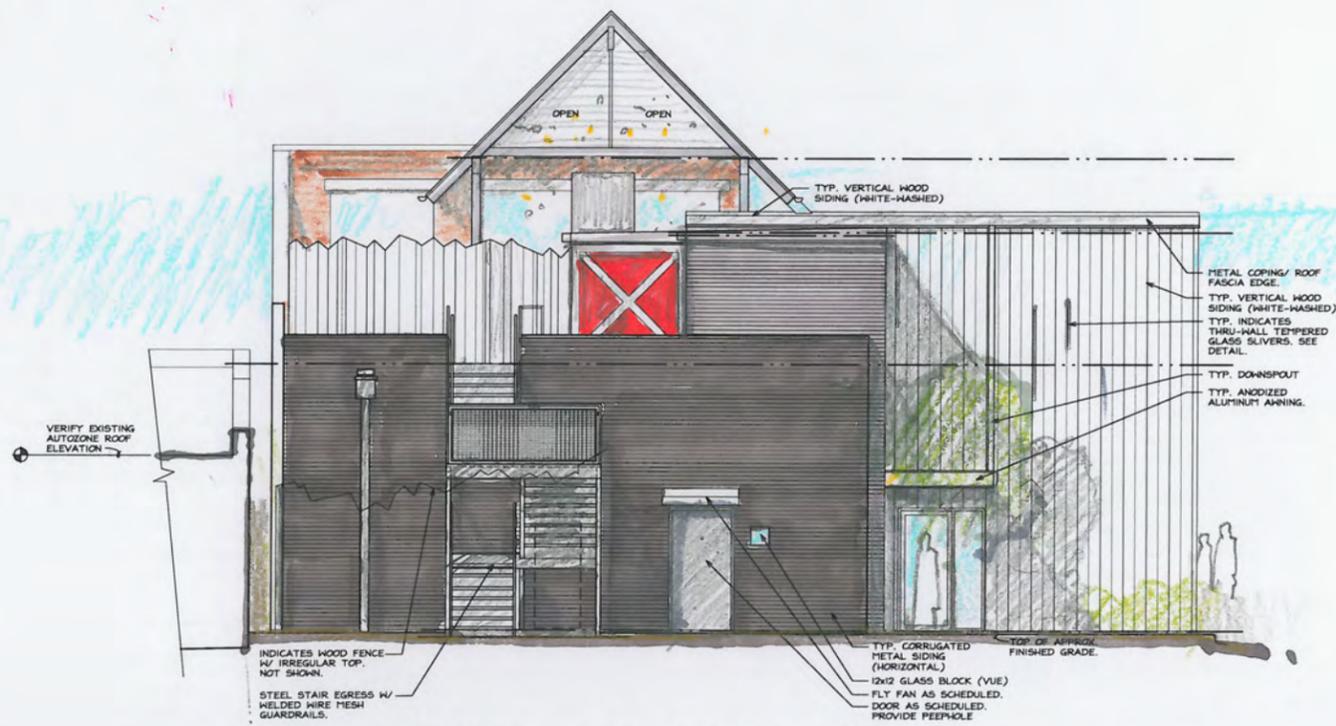
TYP. WOOD (HORIZONTAL) SIDING: TO BE HORIZONTAL 5/8" ORIENTED CYPRESS SHIP LAP BOARDS W/ SEMI-TRANSPARENT WEATHERED GRAY WASH PREFINISHED ALL SIDES/CUT. INSTALL PER DETAILS AND PROVIDE SAMPLE FOR ARCHITECT APPROVAL.

TYP. RAILING: TO BE 3/8" x 3/8" (FEENEY OR APPROVED EQUAL) CABLES AT 3' OC. W/ TURNBUCKLES. SET IN SHOP FINISHED STEEL FRAME (1 1/2" x 1/2" VERTICALS, 1 1/2" TOP AND BOTTOM TUBES RAILS). PROVIDE TABS TO RECEIVE CABLE YOKES IN VERTICALS AND ANCHOR THRU VERTICALS WITH SCREWS INTO POSTS AS DIRECTED. PROVIDE INTERMEDIATE 1 1/2" x 1/4" SUPPORTS AT APPROX. 3' SPACING TO REDUCE CABLE DEVIATION. PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING OR FABRICATION.



2 SOUTH ELEVATION
A3.2

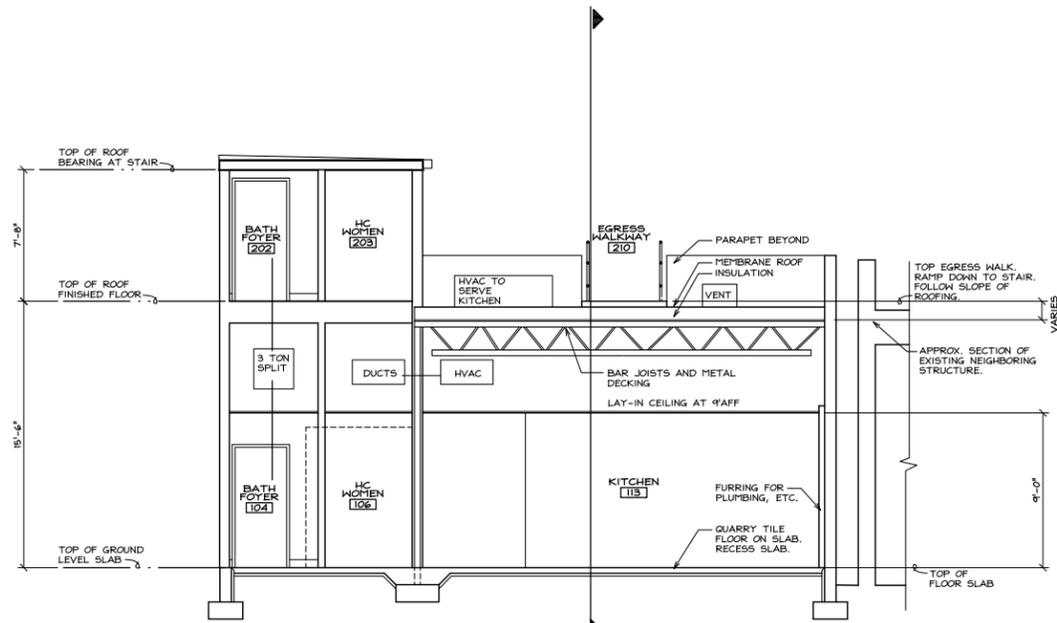
3/32"=1'-0"



1 EAST ELEVATION
A3.2

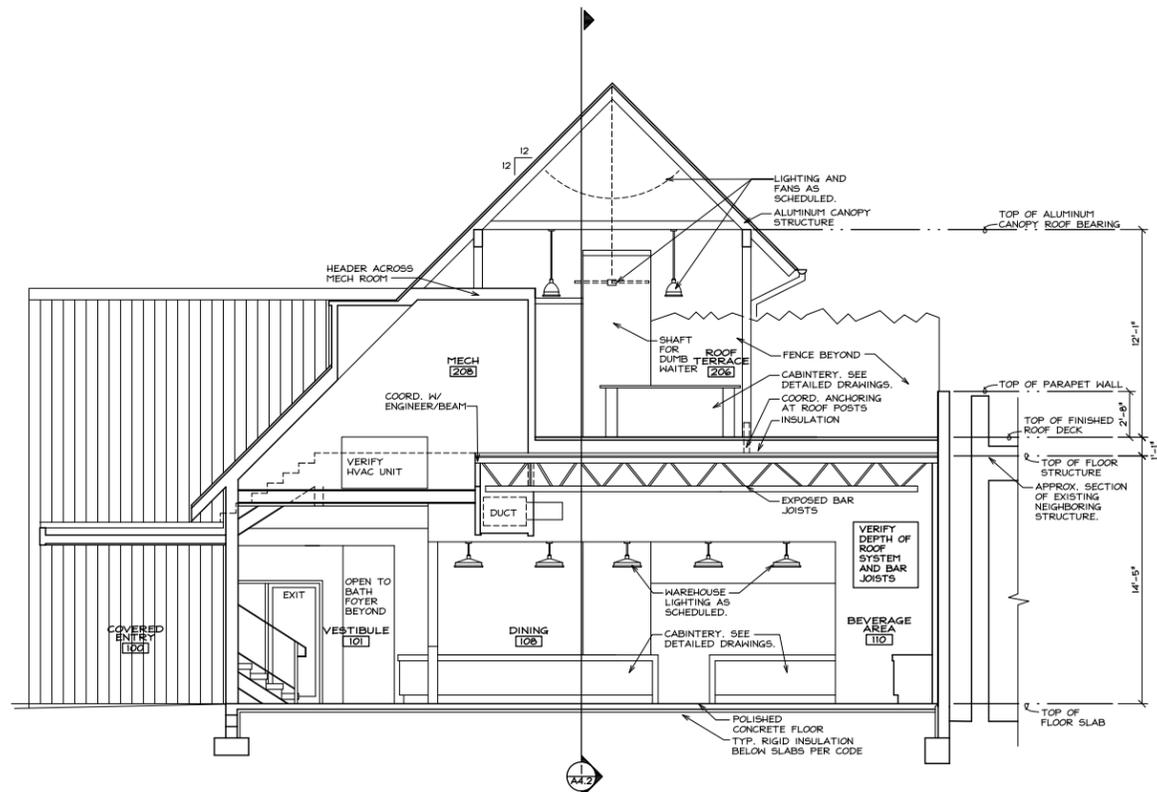
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NASHVILLE DESIGN REVIEW



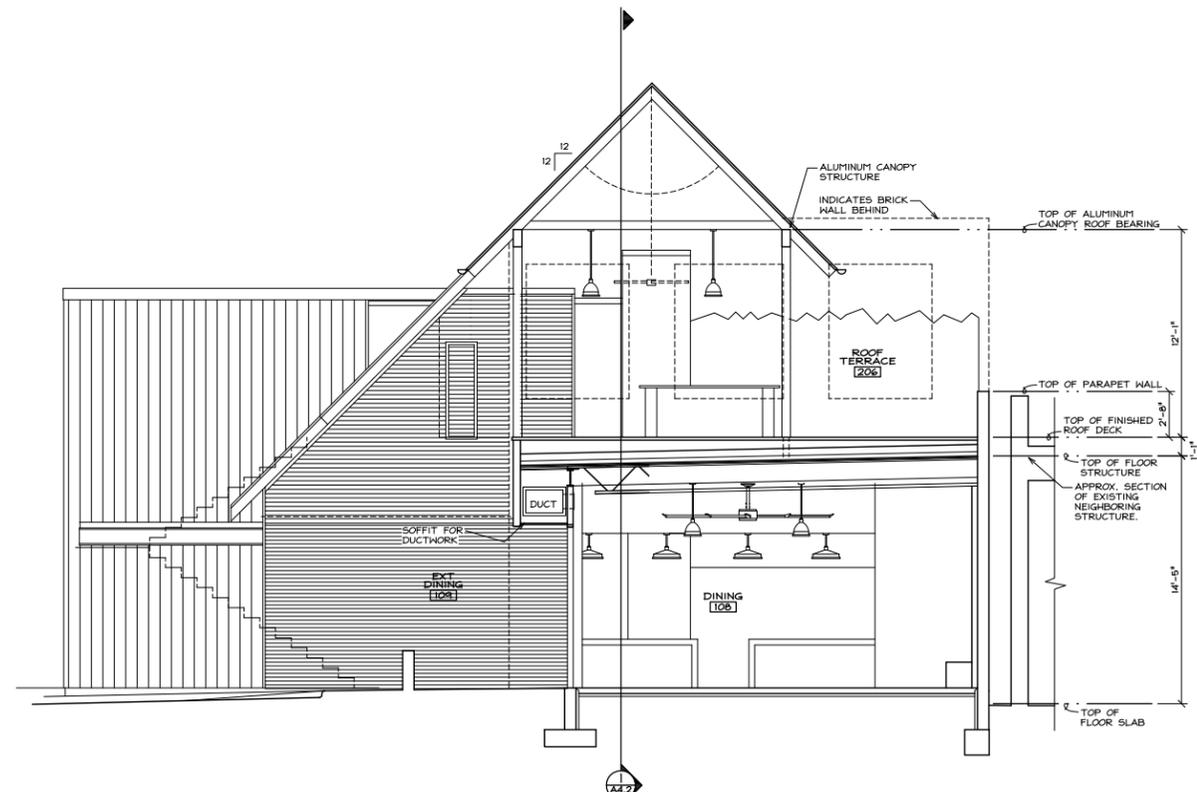
3 CROSS SECTION
A4.1 THRU BATH AND KITCHEN

3/32"=1'-0"



2 CROSS SECTION
A4.1 THRU ENTRY AND DINING

3/32"=1'-0"



1 CROSS SECTION
A4.1 THRU DINING AND ROOF TERRACE

3/32"=1'-0"

NASHVILLE DESIGN REVIEW

