

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
2007 Eastland Avenue
August 17, 2016

Application: Setback determination
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08306029800
Applicant: Chris & Molly Bradstreet
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

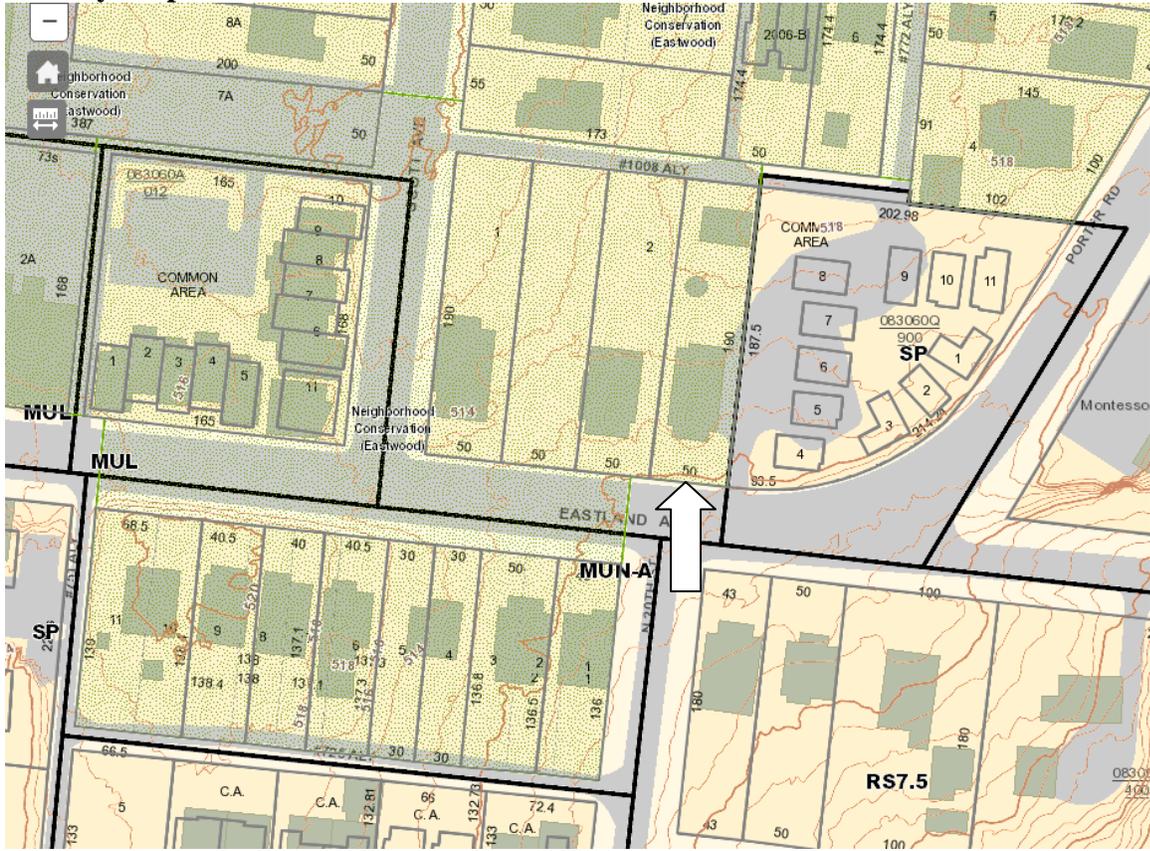
Description of Project: Application is to reduce the side setback of a previously-approved DADU. The side setback was previously approved at three feet (3') and the applicant is seeking to reduce it to one foot (1'). The height, scale, materials, orientation, proportion and rhythm of openings, and roof form of the proposed DADU will not be changed from what was previously approved.

Recommendation Summary: Staff recommends approval of the setback determination, finding that it meets Ordinance 17.16.030. G. and Sections II.B.1.c. and II.B.1.h. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

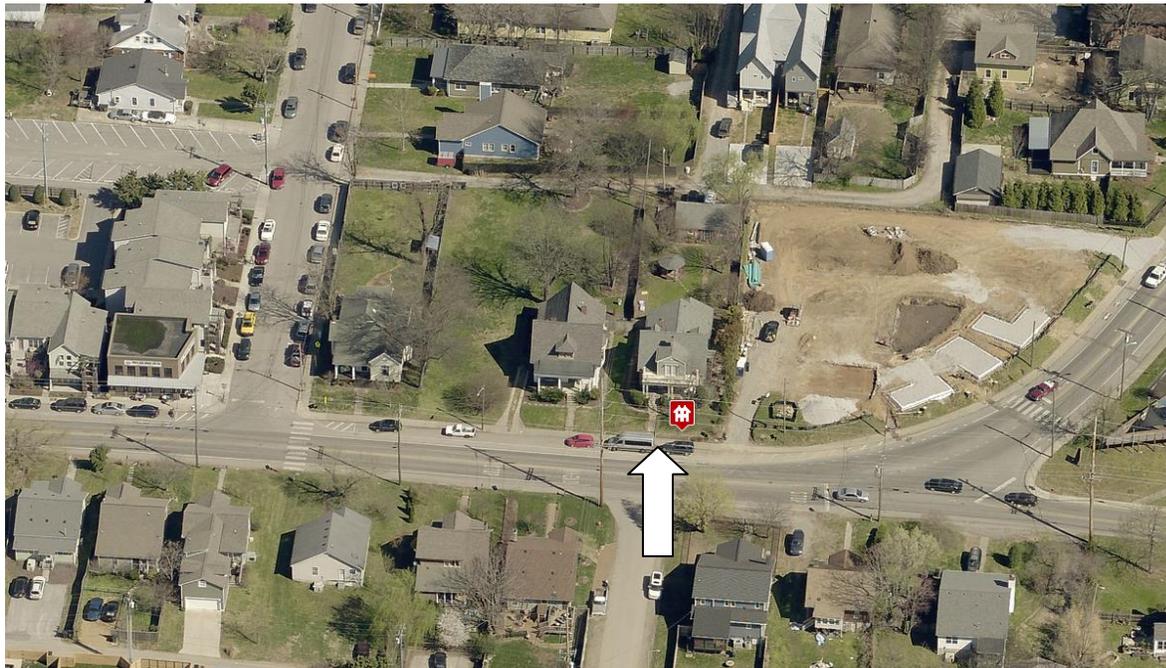
The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

17.16.030. G. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

2. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
3. Density. A detached accessory dwelling is not allowed if the maximum number of dwelling units permitted for the lot has been met.
4. Ownership.

No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.

The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.

The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.

5. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for Accessory buildings.
6. Site Requirements.

A detached accessory dwelling may only be located in the established rear yard. The detached accessory dwelling is to be subordinate to the principal structure and therefore shall be placed to the rear of the lot.

There shall be a minimum separation of ten (10) feet between the principal structure and the detached accessory dwelling.

7. Driveway Access.

On lots with no alley access, the lot shall have no more than one curb-cut from a public street for driveway access to the principal structure as well as the detached accessory dwelling.

Parking accessed from a public street shall be limited to one driveway for the lot with a maximum width of 12 feet.

If the detached accessory dwelling is part of a garage and an alley exists to the rear of the lot, the garage shall be alley loaded and no curb-cut provided from the front of the lot.

8. Bulk and Massing.

No accessory structure shall exceed 200 square feet when there is a detached accessory dwelling on the lot.

The living space of a detached accessory dwelling shall not exceed 700 square feet.

The footprint single-story detached accessory dwelling shall not exceed 700 square feet or 50% of the first floor area of the principal structure, whichever is less.

The footprint of a two-story detached accessory dwelling shall not exceed 550 square feet or 40% of the first floor area of the principal structure, whichever is less.

One partial-width, open porch, that is six feet deep or less, is not included in the footprint calculation.

The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of 10 feet for single-story and 17 feet for two-story detached accessory dwellings.

The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed 25 feet in height.

9. Design Standards.

Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rated per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.

The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roof slope by covering no more than 50% of the roof.

Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

II.B.1. New Construction

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained.

Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.
- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- The lot area on which a DADU is placed shall comply with Table 17.12.020A.
- The DADU may not exceed the maximums outlined previously for outbuildings.
- No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.

Density.

- A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.

Ownership.

- a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.
 - b. The DADU cannot be divided from the property ownership of the principal dwelling.
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
 - Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

Bulk and Massing.

- The living space of a DADU shall not exceed seven hundred square feet.

Background: 2007 Eastwood Avenue is c. 1910 bungalow that contributes to the historic character of the Eastwood Neighborhood Conservation Zoning Overlay (Figure 1). The Historic Zoning Commission staff has issued an administrative permit for the demolition of an existing outbuilding on the site (Figure 2). In June 2016, the Metro Historic Zoning Commission approved the design of a detached accessory dwelling unit on this lot with a reduced side setback of three feet (3').



Figures 1 (left), the front façade of 2007 Eastland Ave. Figure 2 (right) is the outbuilding to be demolished

Analysis and Findings: Application is to reduce the side setback of a previously-approved DADU. The side setback was previously approved at three feet (3') and the applicant is seeking to reduce it to one foot (1'). The height, scale, materials, orientation, proportion and rhythm of openings, and roof form of the proposed DADU will not be changed from what was previously approved.

Setbacks: The proposed DADU requires a side setback determination. When an outbuilding has a footprint greater than seven hundred square feet (700 sq. ft.), base zoning requires that the structure be located twenty feet (20') from the rear property line and five feet (5') from the side property lines. MHZC approved the rear setback of thirteen feet (13') and a side setback of three feet (3') at the June 2016 public hearing. The applicant proposes to keep the thirteen foot (13') rear setback, but reduce the side setback to a minimum of twelve inches (12").

When the applicant submitted the materials for the DADU for the June 2016 MHZC meeting, the location of the right/east side property line was assumed to be at approximately the fence line. However, the survey from the Specific Plan (SP) townhouse development next door has shown that the fence is actually over the property line, and the existing outbuilding on the lot is very close to or on the property line (Figures 3, 4, 5, 6). The applicant intends to situate the new DADU in approximately the same location on the lot as the existing garage, and is therefore seeking to situate the DADU a minimum of twelve inches (12") from the side property line.



Figure 3. The existing outbuilding is on the right and the new townhouse development is on the left.



Figures 4 & 5 show the fence and existing outbuilding in relation to the site next door.



Figure 6 is the site plan approved for the SP development next door, to the east of the site.

Staff finds the proposed minimum twelve inch (12") setback to be appropriate for this location for several reasons. The existing outbuilding that is to be demolished is very close to or on the side property line, so the new DADU will not be significantly different than the current conditions. In addition, the side property line abuts a large, multi-family townhouse development that was approved as a Specific Plan (SP). The site plan for the SP development shows that there will be approximately twenty six feet (26') of space in between the shared property line and the closest building on the SP site. This space will be used as the vehicular access for many of the units, and it is highly unlikely that it will be built upon in the future. The twelve inch (12") side setback will not negatively affect the SP development. A reduced side setback of twelve inches (12") would likely not be appropriate for most residential lots in Eastwood and other similar historic or conservation zoning overlays, but it is for this site because of the existing outbuilding and because of the SP townhouse development next door.

Staff finds that the proposed DADU side setback meets Sections II.B.1.c. and II.B.1.h. of the design guidelines and the DADU ordinance.

Recommendation Summary: Staff recommends approval of the setback determination, finding that it meets Ordinance 17.16.030. G. and Sections II.B.1.c. and II.B.1.h. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.



MARK	DATE	DESCRIPTION

REVISIONS



COPYRIGHT 2016

A NEW DETACHED GARAGE ADDITION FOR
BRADSTREET RESIDENCE
2007 EASTLAND AVENUE
NASHVILLE, TN 37206
DAVIDSON COUNTY, TENNESSEE



SHEET TITLE
SITE PLAN

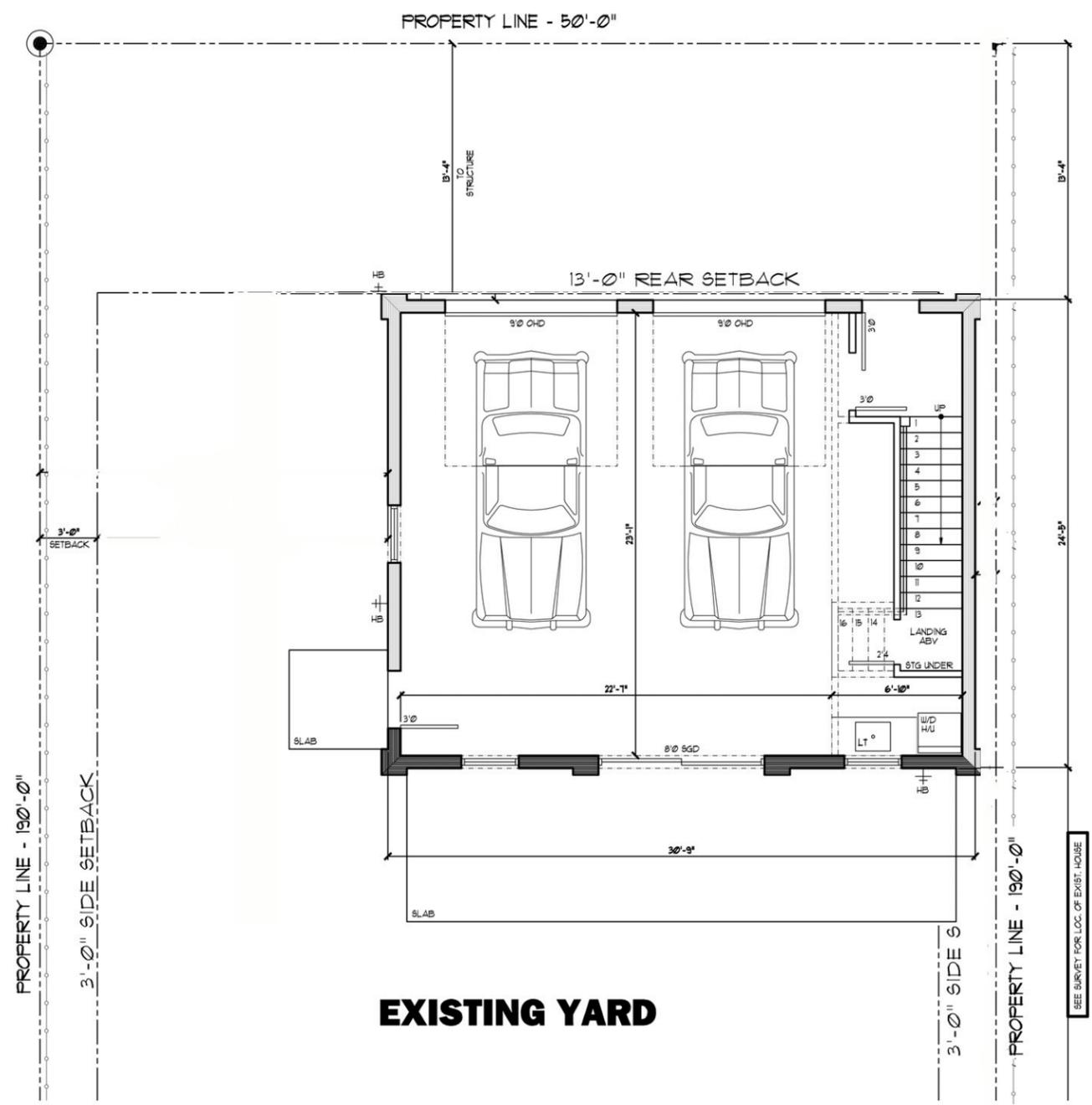
DATE	DESCRIPTION
06/15	CONSTRUCTION
06/15	PERMIT
06/15	BIDDING
06/15	NFC
06/15	PRELIMINARY
06/15	DATE DESCRIPTION

PUBLICATION ISSUE 2016

MEMBER
A I B D
AMERICAN INSTITUTE OF BUILDING DESIGN

SHEET NUMBER
A 1

ALLEY



GUTTERS AND DOWN SPOUTS

RAINWATER SHED FROM THE ROOF SHALL BE CAUGHT BY GUTTERS AT THE EYE AND CHANNEL TO DOWN SPOUTS THAT WILL DISCHARGE THE WATER INTO A DRAIN TILE SYSTEM, DRY WELL, OR STORM SEWER.

THE ROOF DRAINAGE SYSTEM IS IMPORTANT IN PREVENTING SOIL EROSION AROUND THE HOUSE, AND MORE IMPORTANTLY MINIMIZING THE CHANCE OF WATER LEAKING THROUGH THE FOUNDATION WALLS INTO BASEMENT AND CRAWL SPACES.

TO MAINTAIN EXISTING METAL GUTTERS, FIRST CLEAN THEM OF ANY DEBRIS, SCRAPE AND WIRE BRUSH ANY RUSTED AREAS AND APPLY A THIN COAT OF ROOFING CEMENT OR ASPHALT ALUMINUM PAINT.

CHECK FOR LOW SPOTS AND RE-ALIGN AS NECESSARY.

IF MISSING INSTALL WIRE CAGE STRAINERS AT DOWN SPOUTS TO PROTECT THE GUTTERS FROM FALLING LEAVES.

INSTALL A VINYL COATED SCREEN OVER THE GUTTERS.

THE BUILDER SHALL VERIFY THAT THE GUTTERS ARE HUNG AWAY FROM THE FACIA SO THAT ANY WATER BACKING UP WILL HAVE A CHANCE TO DRIP OVER THE BACK EDGE RATHER THAN WORK INTO THE ROOF STRUCTURE.

PROTECT FROM SNOW DAMAGE: THE BUILDER SHALL VERIFY THAT THE GUTTER IS PLACED BELOW THE SLOPE LINE SO THAT SNOW AND ICE CAN SLIDE CLEAR.

PROVIDE TERRA-COTTA FITTINGS AT ALL DOWN SPOUT LOCATIONS TO SUBGRADE DRAIN PIPE CONNECTIONS.

SUB-GRADE DRAINAGE

PROVIDE SUB-GRADE 4" DIA (AD6) PIPE COUPLER CONNECTIONS TO BUMP, SWALE OR CURBSIDE OUTFLOW.

4" PIPE DIA + 2" MIN. TRENCH WIDTH W/ MIN. 24" COVER

ALL SUBGRADE PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" LATEST ADDITION.

NOTE: USE SHEET-FLOW SYSTEM ONLY IN WELL-DRAINED SOIL OR WHERE RUNOFF WILL REACH A SWAMP OR OTHER DRAINAGE INLET IN HEAVY FLOW.

BUILDER TO CALL
BEFORE DIGGING

SITE PLAN
SCALE: 1/8" = 1'-0"

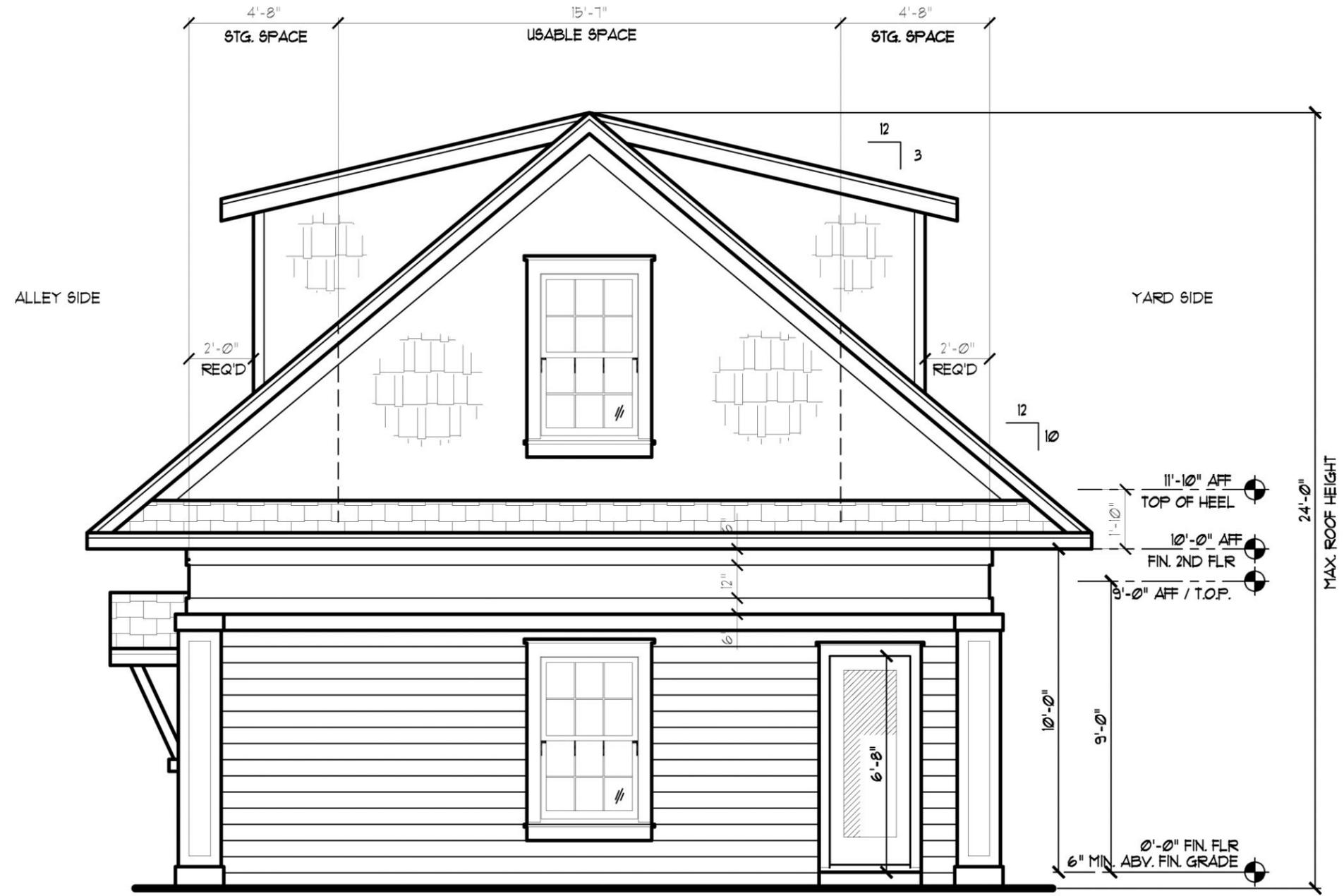


PERMIT SET



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



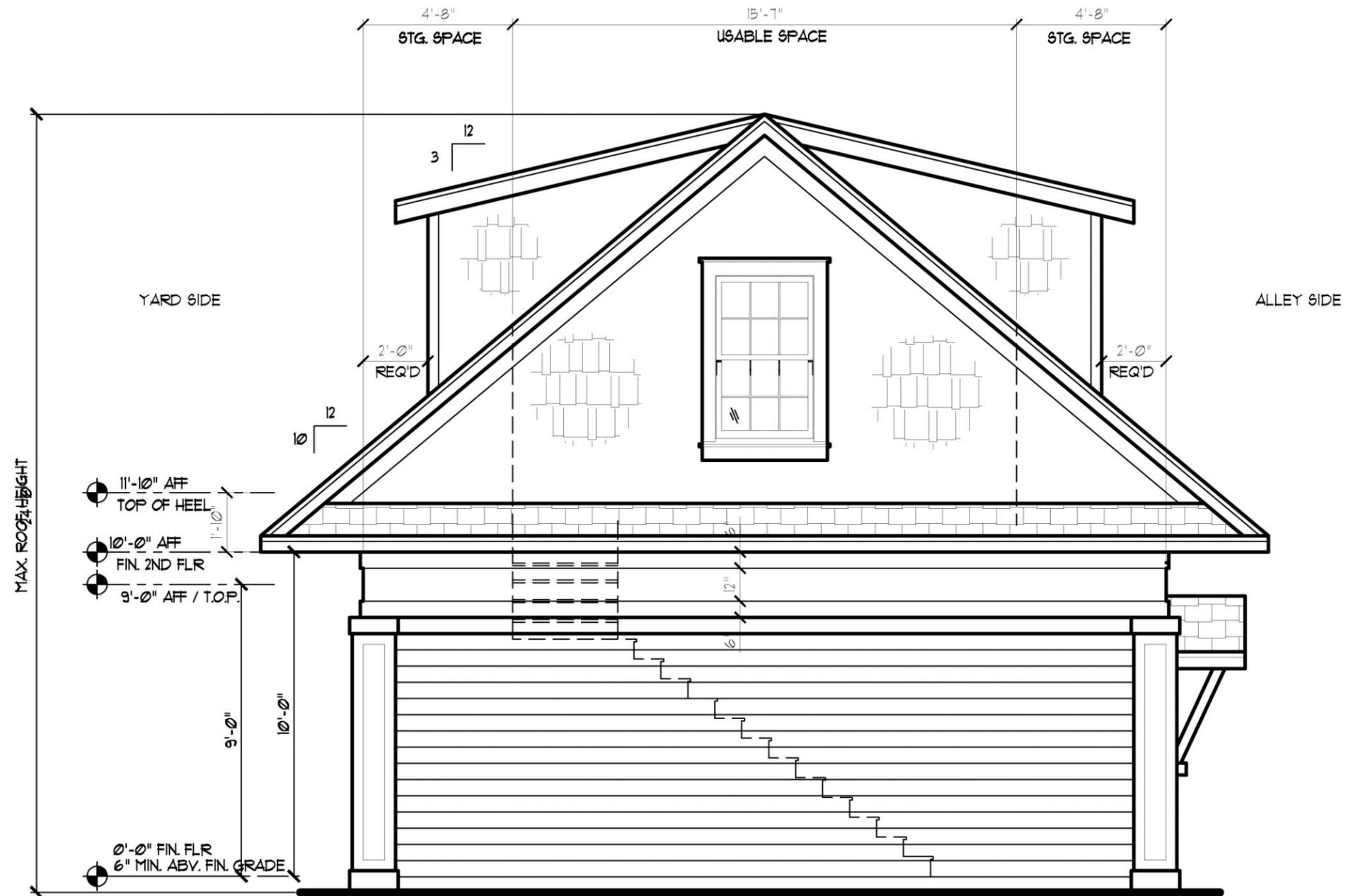
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"