



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
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Nashville, Tennessee 37204  
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**STAFF RECOMMENDATION**  
**1321 & 1329 Second Avenue North**  
**October 19, 2016**

**Application:** Demolition—primary structures; New construction—infill  
**District:** Germantown Historic Preservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 08209022900 and 08209023300  
**Applicant:** Michael Ward/Brian Haun, Allard Ward Architects.  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Application is to demolish an existing non-contributing structure and to construct a new multifamily development</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the project with several conditions:</p> <ol style="list-style-type: none"> <li>1. The preservation permit be issued only after the site has been rezoned from IR to MUL-A;</li> <li>2. Staff approve a brick sample for the primary cladding material;</li> <li>3. Staff approve the final color, dimensions, and texture of the metal paneling;</li> <li>4. Staff approve all window and door selections prior to purchase and installation;</li> <li>5. Staff approve the final design and material of the roof railing;</li> <li>6. Staff approve the final material choice for the tile or cedar accent material;</li> <li>7. Staff approve the sidewalk material and the driveway material;</li> <li>8. The HVAC and other utilities be located on the roof of the structures, or on the rear, in the interior of the lot; and</li> <li>9. Staff approve the design and materials of all appurtenances, including, but not limited to, permanent planters, railings, lighting fixtures, and fences.</li> </ol> <p>With these conditions, staff finds that the project meets Sections 3.0, 5.0, and 7.0 of the Germantown Historic Preservation Zoning Overlay design guidelines.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
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## Applicable Design Guidelines:

### 3.0 New Construction - where there is minimal historic context or historic context no longer exists

Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*

#### 3.1 General Principles

*Construction in the District has taken place continuously from the mid-19th through the present and a variety of building styles and building types have resulted. This variety reflects the style, culture and values of the District over time. New construction that imitates historic architectural styles may compromise the value of authentic historic structures by confusing genuine history with reproduction. Exterior building design should avoid the creation of themed environments that create a false sense of being in an alternate time or place. Because a great variety of building forms exist within Germantown, flexibility in the design of new buildings is possible and encouraged. New buildings should continue this variety while remaining compatible with development patterns consistent with mixed-use urban neighborhood design.*

3.1.1 Buildings should be sited on their respective parcels in ways that are appropriate to their context and the context it creates.

3.1.2 The architectural styles and forms of new buildings should be appropriate to their context.

3.1.3 New buildings should relate to a pattern and rhythm of development consistent with a mixed-use urban neighborhood.

3.1.4 New projects have the ability to create place. Proposed projects shall be reviewed both in relationship to its context and the context it creates.

3.1.5 The ground floors of new buildings should be designed to encourage pedestrian activity.

3.1.6 New construction will be reviewed for height, scale, setback, relationship of materials, texture and color; massing; orientation; and proportion and rhythm of openings.

#### 3.2 Site and Building Planning

3.2.1 New development should be sited and designed to encourage pedestrian/human activity on the street. The siting of buildings should acknowledge and reinforce desirable characteristics of the right-of way and streetscape.

*Livelier street edges make for safer streets. Ground floor shops and market spaces providing services attract activity on the street. Entrances, porches, balconies, front yards, decks, seating, street lighting, street trees, landscaping and other streetscape elements promote use of the street*

*front and provide places for human interaction. Siting decisions shall consider the importance of these features in a particular context and allow for their incorporation.*

#### 3.2.2 Setbacks

*The character of a neighborhood or district is often a product of the experience of traveling along its streets. One of the defining characteristics of that experience is how buildings face and are set back from the street.*

*The guidelines below are not specific to individual parcels or streets. Because street rights of way vary significantly throughout the district it is important to first analyze and consider the desired streetscape prior to establishing the setback and building face for a given project. While the guidelines encourage some buildings at the edge of the sidewalk, locating a building on the property line only 48" from the edge of the existing curb drastically limits and may altogether prohibit the placement of features identified in 3.2.1 and limit the ability of a project to comply with 3.2.1.*

*It is further the intent of these guidelines to avoid the arbitrary establishment of setbacks resulting in haphazard building placement and a resulting interruption or absence of visual order within the District.*

1. Commercial Corridor Setbacks (Rosa L Parks and Jefferson Street) – the siting of buildings along major commercial corridors should provide desirable streetscape characteristics: pedestrian

oriented businesses and shops at ground level, corner entrances and a consistent building edge abutting the sidewalk.

2. Commercial Setbacks (Interior to the District) – Generally, commercial buildings within the district are encouraged to build to the property line/sidewalk.

*The intent is to encourage pedestrian oriented development*

3. Corner Lots: Buildings on corner lots should be oriented to the corner and public street fronts to reinforce the street corner. Buildings should appropriately address setbacks on both streets. Corner lots offer unique opportunities because of their visibility and access from two streets. Corner pedestrian entrances, towers, turrets, accentuated rooflines, special architectural details, balconies and other design features are encouraged.

4. Residential Setbacks – the space between the building and the sidewalk should provide security and privacy for residents while encouraging social interaction among residents and neighbors. Within the district the transition between residential buildings and the street varies with the depth of the front setback and the relative elevation of the building to the street.

*The following examples illustrate various conditions and suggest how this guideline may be met through setbacks, entry design, landscape treatment and other techniques.*

*Minimal Front setback – Buildings with little or no front yard should include creative use of landscaping and or window placement and treatment to provide privacy. Recessed entries can be used to provide security and/or weather protection.*

*Shallow Residential Street Front – Buildings with a shallow setback from the sidewalk provide sufficient area to include balconies or decks, which allow privacy while encouraging visual interaction with the street. Small courtyards, arcades, recessed entries or other similar entry designs may be desirable to provide privacy to ground floor residents.*

*Deep Residential Setback – Buildings with deep setbacks from the sidewalk provide sufficient privacy through spatial separation to permit more open porches, fenestration and garden space for ground floor residential units. Fences may provide further separation from the sidewalk.*

*High Bank Residential Street Front – Within the district topography may cause the ground floor of a building to be elevated above pedestrian eye level. Therefore it is easier to achieve a sense of privacy and separation from the street activity – thus creating more opportunity for social spaces*

5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain urban street character.

### 3.2.3 Orientation

1. The primary entrances of buildings shall be clearly identifiable and visible from the street. *Generally this means primary entrances are oriented to the public street.*

*The intent is to encourage pedestrian oriented development, interaction with the street environment and allow for transition between the street/public domain and the interior of the building/private domain. Entries that are visible from the street generally make a building more approachable and create a sense of association among users, customers and neighbors. Clear entries should be provided off of public streets not solely from parking lots.*

*This does not preclude site developments for residential projects form utilizing courtyards and mews. It is intended to foster siting that recognizes the importance of the public street and the transition from the street to the building.*

### 3.2.4 Mass and Scale

1. The mass and scale of new buildings will be reviewed relative to use and location within the District.

*Generally taller more massive structures are anticipated at the edges where Commercial Corridors (Jefferson Street and Rosa L. Parks Boulevard) bound the District. Lower height, smaller scale and less massive structures are predominant at the interior of the District. Third Avenue North is unique in the fact that it is an arterial passing through the eastern part of the District connecting downtown to Metro Center. Therefore as a connecting street with potentially higher traffic volumes more commercial uses, greater densities and taller heights may be appropriate. These guidelines and the Design Review Process are intended to provide a balance between the development potential of a particular site and compatibility of existing and adjacent buildings.*

2. Façade Articulation: New structures shall employ design techniques that avoid large expanses of unbroken façade planes and/or materials particularly on public facades. *For multiple story buildings, the width of any unbroken façade shall not exceed the building height. This width to height ratio is considered a minimum – more modulation is encouraged.*

*Some appropriate techniques for building articulation include but are not limited to:*

*Modulating the façade by stepping back or extending forward a portion of the façade (articulating a building's façade vertically and/or horizontally in intervals that are informed by existing platting patterns or structures within the District is encouraged)*

*Pilasters, recesses and or projections*

*Repeating window patterns at an interval that equals the articulation interval*

*Providing a balcony, porch, patio, deck, covered entry, bay window (or other special window) or other significant architectural detail for each interval*

*Changing the roof line by varying parapet heights, alternating dormers, stepped roofs, gables or other roof elements to reinforce the modulation or articulation interval*

*Changing materials with a change in building plane (changes in a materials, texture or color are appropriate techniques – however changes solely in paint color alone is generally not sufficient to meet the intent of this guideline)*

### 3.2.5 Height

1. New buildings shall be constructed to a height that is compatible with adjacent context.

*Consideration of the physical characteristics of a property will be given in determining compatible heights (e.g. exceptional topographic condition, lot size and/or lot shape)*

*Height, bulk and scale mitigation may be required in two general circumstances:*

*Projects on or near the edge of a less intensive area. A substantial incompatibility in scale may result from different development standards in the two areas and may be compounded by physical factors such as large development sites, slopes or lot orientation.*

*Projects proposed on sites with unusual physical characteristics such as large lot size, unusual shape, or topography where buildings may appear substantially greater in height, bulk and scale than that generally anticipated for the area.*

*Factors to consider in analyzing potential height, bulk and scale impacts include:*

- *distance from the edge of an existing structure or less intensive area*
- *differences in development standards between abutting area (allowable building height, width, lot coverage, etc.)*
- *effect of site size and shape*
- *height, bulk and scale relationships resulting from lot orientation (e.g. backlot line to back lot line vs. back of lot line to side lot line)*
- *Type and amount of separation between lots in the different area (e.g. separation by only a property line, by an alley or street, or by other physical features such as grade changes.)*

*In many cases, careful siting and design treatment are sufficient to achieve reasonable transition and mitigation of height, bulk and scale impacts. Some techniques for achieving compatibility are as follows:*

- *Location of features on-site to facilitate transition such as locating required open space on the zone edge so the building is farther from the lower intensity area.*

- *Treating topographic conditions in ways that minimize impacts on neighborhood development, such as architectural details to give a more human scale to a project, or stepping a project down a sloping site.*

- *In a mixed-use project, siting the more compatible use near the adjoining edge.*

*In some cases, reductions in the actual height, bulk and scale of the proposed structure may be necessary in order to mitigate adverse impacts and achieve an acceptance of compatibility. Some techniques that can be used in these cases include:*

- *articulating the building's facades vertically or horizontally in intervals that conform to existing structures or platting pattern.*
- *increasing building setbacks from the zone edge at ground level*
- *reducing the bulk of the building's upper floors*

- *limiting the length of, or otherwise modifying, facades*
- *reducing the height of the structure*
- *reducing the number or size of accessory structures*

2. In the absence of adjacent context with taller heights the following heights are permitted.

Building along Commercial Corridors (Jefferson Street and Rosa L. Parks Boulevard) are permitted to be 4-6 stories.

*The intent is to provide visual interest and permit light, air, and visual openness to the sky plane and modulation of height and massing at the street wall. To signify a unique feature, a corner or important element portions of a structure are not required to set back at the street wall. It is not intended to permit a majority of the project nor an entire block length of six stories unbroken at the street wall.*

*Within the interior of the District structures are permitted to be 35' in height. Special features of increased height such as towers or turrets may be acceptable. Corner buildings offer unique opportunities because of their visibility and access from two streets and are locations for special activities, uses or indicators of neighborhood centers taller heights up to 45' may be appropriate for corner buildings of limited street frontage.*

*The intent is to provide visual interest and allow modulation of heights to signify something unique or important at the corner. The term "limited street frontage" is intended to allow reasonable lengths of building frontage to have an increased height. It is not intended to permit a majority of the project nor an entire block length of increased height.*

Within the District in the absence of adjacent historical context structures are permitted to be 3 stories or 45' in height.

### 3.3 Walls/Exterior Materials

3.3.1 Exterior materials will be reviewed for characteristics of scale, design, finish, texture, durability and detailing. Materials must demonstrate adherence to The Secretary of Interior's Standards.

3.3.2 Large expanses of featureless wall surface are not appropriate

3.3.3 Material change between the foundation and the first floor is encouraged.

3.3.4 Exterior Insulation Finish System (EFIS) and vinyl siding are not appropriate exterior materials.

3.3.5 The painting of wood and metal surfaces is not reviewed by the MHZC.

### 3.5 Windows

3.5.1. Window profiles will be reviewed for dimensional depth of rails, stiles, mullions, muntins, divided lites, sills, casing and or trim.

### 3.6 Roof

3.6.1 Rooftop equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*

### 3.7 Utilities / Mechanical

3.7.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their impact and visibility at the public street. Exterior utilities and mechanical equipment shall be screened from visibility from the building's street facades. Building utilities shall be planned, sited and screened to minimize their impact on the pedestrian environment.

## **5.0 Site Improvements/ Appurtenances**

*Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.*

*Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.*

### 5.1 Fences & Walls

Character-defining features of historic fences and stone retaining walls including gates, decorative pickets, finials, and hardware should be preserved. Repair rather than replace fence and wall materials. For irreparable elements replacement features shall match the original features.

5.1.2 Fences or walls may be utilized to demarcate property lines and screen private areas from public view.

5.1.3 New fences and walled areas shall be compatible with the building site and streetscape in terms of location, height, opaqueness; design, style, materials composition, scale, proportion, color and texture.

*Consideration of the physical characteristics of a property and its use will be given in determining appropriate fence heights and location (e.g. exceptional topographic condition, lot location within the District (street corners etc), adjacent to non compatible use, lot size and/or shape)*

*Walls of solid masonry construction within the front setback are permitted up to 24" in height.*

*Fences shall be constructed of wood, metal or masonry. Vinyl is generally not an appropriate fencing material.*

*The combination of fences and walls in front setbacks shall not exceed 48". Generally side yard fences from the street to a distance of 10' behind the front (public) façade shall not exceed 48".*

*Side yard fences shall be located a minimum of 10' behind the front (public) façade and shall not exceed 72" in height. (Exception: Fences may be 96" in ht. when the top 24" is open in nature).*

*Rear yard / privacy fences shall not exceed 72". (Exception: Fences may be 96" in height when the top 24" is open in nature).*

5.1.4 Coordination of style and materials with adjacent properties is encouraged where appropriate.

5.1.5 In general chain link fencing is not appropriate. Black or dark green chain link fencing may be used for pet enclosures or at the rear of the lot when it is screened from public view.

### 5.2 Sidewalks

5.2.1 New sidewalks or walkways should remain visually compatible with the materials and placement of historic walkways.

5.2.2 Curb cuts on public streets are generally not appropriate. The removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non conforming properties into conformance.

5.2.3 Original sidewalks and walkways, including details such as original curbstones, brick, etc., should be preserved in their original state as closely as possible. Special care shall be taken to preserve existing specimen trees and significant landscape elements.

5.2.4 Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and material.

5.2.5 Brick, concrete, concrete pavers, stone, and stepping stones are appropriate walkway materials.

### 5.3. Paving/Driveways/Parking Areas and Parking Lots

5.3.1 The predominant vehicular access to properties within the District should continue to be through the use of alleys. It is acknowledged that in some cases alley access may not be possible or practical. In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

5.3.2 Vehicular access to new developments (specifically large lot developments) shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment. Cross access between parking areas to minimize street curb cuts and adjacent driveway is encouraged.

5.3.3 Parking structures should generally be located below or behind buildings and landscaped to mitigate their visual impact.

5.3.4 Parking structures that are located close to the sidewalk are encouraged to include retail uses at street level to minimize the visual impact of the structure and engage the pedestrian network - Where street level retail uses are not feasible, architectural treatments shall be used to modulate the façade breaking the mass and horizontal lines typical of parking structures. Facades of parking structures facing public streets shall have flat (non sloping) floor plates.

5.3.5 Shared parking facilities that efficiently utilize parking spaces are encouraged.

5.3.6 Garages and carports shall be accessed from the service alley as is typical in the district. For residential lots new curb cuts on public streets are generally not appropriate. Where a lot can be accessed from the alley, the removal of existing curb cuts on primary streets is encouraged.

Where an existing lot cannot be accessed from the alley executed vehicular access shall be executed with techniques that minimize interruption to the sidewalk network and the pedestrian environment.

5.3.7 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning or inance must comply with these design guidelines.

5.3.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

#### 5.4 Exterior Lighting/ Miscellaneous

5.4.1 Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpster and trash containers is in the rear yard or alley and screened from public view.

5.4.2 Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.

5.4.3 Avoid spilling light onto adjacent structures, signs, or properties.

5.4.4 Ground mounted light fixtures/spotlights shall be screened from public view.

## **7.0 Demolition**

### 7.1 General Principles

7.1.1 Since the purpose of historic zoning is to protect historic properties, the demolition of a building that contributes historically and architecturally to the character and significance of the district is not appropriate and should be avoided.

7.1.2 Demolition is considered the removal of any structure or portion of a structure that affects the visual appearance of the building from the exterior. It includes the removal of floors or sections of the building that are enclosed by the original façade.

### 7.2 Guidelines

7.2.1 Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.

7.2.2 Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.

7.2.3 Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.

7.2.4 Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.

7.2.5 Where demolition has been allowed, MHZC may require historic structures to be documented through photographs, a site plan and floor plans, and those significant architectural components of a building are salvaged.

**Background:** 1321 and 1329 Second Avenue North is located at the northwest corner of Second Avenue North and Taylor Street. The site is located outside the Germantown National Register of Historic Places Historic District, but within the Germantown Historic Preservation Zoning Overlay (Figure 1). In the design guidelines, sites like this one are reviewed as sites “where there is minimal historic context or historic context no longer exists.” Part of the overall development includes a lot at 1401 Second Avenue North that is not within either the Germantown Historic Preservation Overlay or the Germantown National Register district. MHZC does not have any authority to review that part of the development.

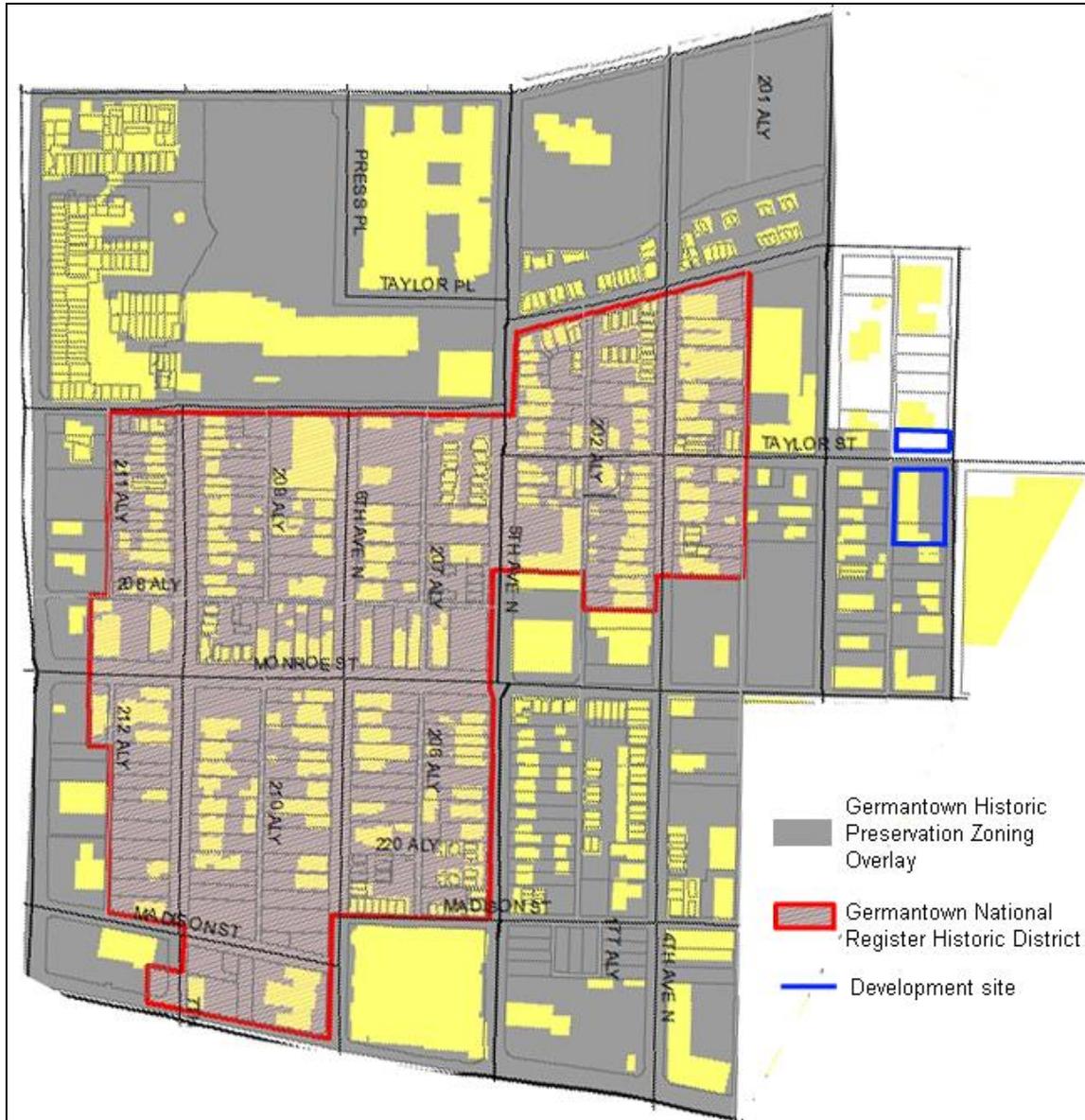


Figure 1. Map of the Germantown neighborhood, showing the location of the development site.

The existing structure, which spans both lots, is a brick and metal structure constructed in 1987, according to the Property Assessor's website (Figures 2 & 3).



Figures 2 & 3. The existing structure on the lot, as seen from Taylor Street.

**Analysis and Findings:** Application is to demolish an existing non-contributing structure and to construct a new multifamily development

Rezoning: The blocks at 1321 and 1329 Second Avenue North and the lot across Taylor Street at 1401 Second Avenue North (outside the historic preservation overlay) are in the process of being rezoned from IR to MUL-A. The rezoning has passed the Planning Commission, and has had two readings at City Council. The City Council is expected to have its third reading on the rezoning and to pass it on Tuesday, October 18<sup>th</sup>, 2016, one day before the Historic Zoning Commission's public hearing. Staff recommends that the Historic Zoning Commission's approval of the project be conditional on the Council's approval of the rezoning.

**Demolition:** The applicant is proposing to demolish the structure which spans both lots. Staff finds that the structure's date of construction (c. 1987), materials, roof form, design, and location at the back of the lot do not contribute to the historic character of the Germantown Historic Preservation Zoning Overlay. Staff finds that that proposed demolition meets Section 7.0 of the design guidelines.

**Context:** The portion of the development that is within the Germantown Historic Preservation Overlay is located on the edge of the district, where there is little historic context. The development will abut a row of historic houses at 1311, 1313, and 1317 2<sup>nd</sup> Avenue North (Figures 4 & 5). However, the majority of the structures in the area are non-contributing (Figures 6 & 7).



Figure 4. 1317 2<sup>nd</sup> Ave North, next door to the site



Figure 5. 1311 and 1313 2<sup>nd</sup> Ave North, down the street



Figure 6. 1324 2<sup>nd</sup> Avenue North, across the street, and outside the historic preservation zoning overlay.

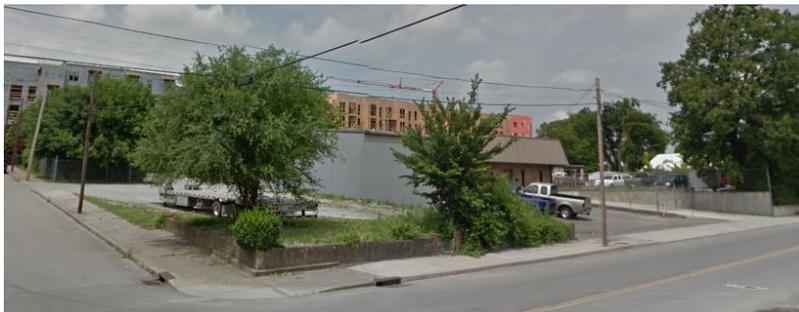


Figure 7. 1401 2<sup>nd</sup> Avenue North, across Taylor Street from the site, outside the historic preservation zoning overlay. This lot is part of the larger development, but it not included in the MHZC review.

Site and Building Planning: The new development will meet the base zoning setbacks for the MUL-A zoning. Along Second Avenue North, the sidewalk will be widened to eight feet (8') beyond a four foot (4') grass buffer at the curb. The townhouse closest to the historic house at 1317 Second Avenue North will have a front setback of eleven feet (11') from the sidewalk line to line up with the historic house's front setback. The other townhouses will have a front setback of five feet (5') from the sidewalk line, with the exception of the unit at the corner of Second Avenue North and Taylor Street. It will have an expanse of approximately thirty feet (30') where the building abuts the sidewalk line. Staff finds this to be appropriate because commercial and multifamily structures in Germantown often sit on or near the front property line.

On Taylor Street, which is a narrower street than Second Avenue North, the sidewalks will be five feet (5') wide after a four foot (4') grass buffer. All of the townhouses that face Taylor Street will be located five feet (5') from the sidewalk line. The rear line of townhouses, along the alley, will be located five feet (5') from the rear property line. Staff find that the development's Site and Building Planning meet Sections 3.2.1. and 3.2.2. of the Germantown Historic Preservation Zoning Overlay design guidelines.

Orientation: The townhouses that face Second Avenue North and Taylor Street all have entrances that face their respective streets. They all have shallow stoops with pathways that lead to the sidewalk. Along Second Avenue North, an eighteen foot (18') wide expanse will separate clusters of townhouses. This space will include green space and a four foot (4') wide walkway leading to the interior of the lot and the townhouses located at the rear. Vehicular access to the site will be via the alley, accessed via Taylor Street. Staff finds orientation meets Section 3.2.3. of the Germantown Historic Preservation Zoning Overlay design guidelines.

Mass, Scale, and Height: The townhouse that is next to the historic house at 1317 Second Avenue North has a lower height and scale than the rest of the development in order to transition from the line of smaller historic houses to the proposed multifamily townhouse development. It will be two stories at the front with a recessed third story. At the front, it will have a height of approximately twenty-six feet (26') from grade. The recessed third story will be setback approximately eight feet (8') and will rise up an additional eight feet (8') to have a total height of approximately thirty-four feet, one inch (34' 1") from grade.

The other townhouses have heights ranging from thirty-eight feet to forty feet (38'-40') from grade to the top of the parapet, varying because of grade. All of the units have stair bulkhead units that are an additional five feet, six inches (5'6") above the parapet. These stair bulkheads are setback from the front of the townhouses by thirteen to seventeen feet (13' – 17'), which will help reduce their visibility. Staff finds that the proposed heights are appropriate for this part of Germantown where there is little historic context.

The design of the townhouses includes multi-story bays and recessed stoops which help to break of the planes of the development. Staff therefore finds that the massing, scale, and height of the development meet Sections 3.2.4 and 3.2.5 of the Germantown Historic Preservation Zoning Overlay design guidelines.

Walls/Exterior Materials.

	<b>Proposed</b>	<b>Color/Texture/ Make/Manufact urer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Brick with rowlock and soldier course	Unknown	Yes	Yes
<b>Cladding</b>	Brick	Unknown	Yes	Yes
<b>Secondary Cladding</b>	Metal Panel	Unknown	Yes	Yes
<b>Detailing Material</b>	Tile Inlay	Unknown	Yes	Yes
<b>Roof Stair Tower</b>	Stucco	Smooth	Yes	No
<b>Roof Railing</b>	Metal	Unknown	Yes	Yes
<b>Rear Bays</b>	Stucco	Smooth	Yes	No
<b>Stoop Steps</b>	Concrete	Natural	Yes	No
<b>Windows</b>	Aluminum Clad	Unknown	Yes	Yes
<b>Doors</b>	Unknown	Unknown	Unknown	Yes
<b>Front Planters</b>	Cementious Stucco	Smooth	Yes	No
<b>Garage doors</b>	Unknown	Unknown	Unknown	Yes
<b>Driveway</b>	Unknown	Unknown	Unknown	Yes
<b>Sidewalk</b>	Brick	Unknown	Yes	Yes

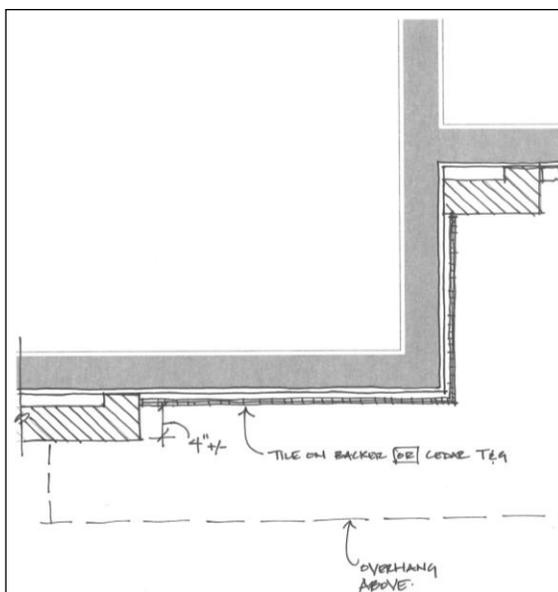


Figure 8. Detail drawing of how and where the accent tile or cedar inlay will be installed.

The applicant is proposing a tile or cedar tongue-in-groove detail near the entrances. The applicant provided a sketch showing how the accent material will be installed (Figure 8). Staff finds the use of an accent material in this way to meet the design guidelines, but asks to approve the final material choice.

With the staff’s final approval of a brick sample, the metal paneling, the tile or cedar accent material, the roof railing, the final selections of windows and doors, the driveway material, and the sidewalk brick material, staff finds that the project’s materials meet Section 3.3 of the Germantown Historic Preservation Zoning Overlay design guidelines.

Windows. The windows on the proposed development are appropriately scaled for a townhouse development. The primary windows are generally twice as tall as they are wide, and there are no large expanses of wall space without a window or door opening on visible facades. Staff finds that the proposed fenestration pattern meets Section 3.5 of the Germantown Historic Preservation Zoning Overlay design guidelines.

Roof: The townhouse development will have flat roofs, which is appropriate for a multi-family development. Staff finds that the development's roof forms meet Section 3.6 of the Germantown Historic Preservation Zoning Overlay design guidelines.

Utilities / Mechanical: The location of the utilities and mechanicals were not specified. Staff asks that they be located on the roof, or at the rear of the structures, on the interior of the lot.

Sidewalks. Eight feet (8') wide sidewalks with a four foot (4') planting buffer are planned for Second Avenue North. Five feet (5') wide sidewalks with a four foot (4') planting buffer are planned for Taylor Street. The drawings indicate that the sidewalks will be paved with brick. Since brick sidewalks are a common feature of Germantown, staff finds that the proposed sidewalks meet Section

Improvements/Appurtenances: Because this is a historic preservation zoning overlay, staff additional review of the design and materials of all appurtenances including, but not limited to, permanent planters, railings, lighting fixtures, fences, paving, signage, etc is required.

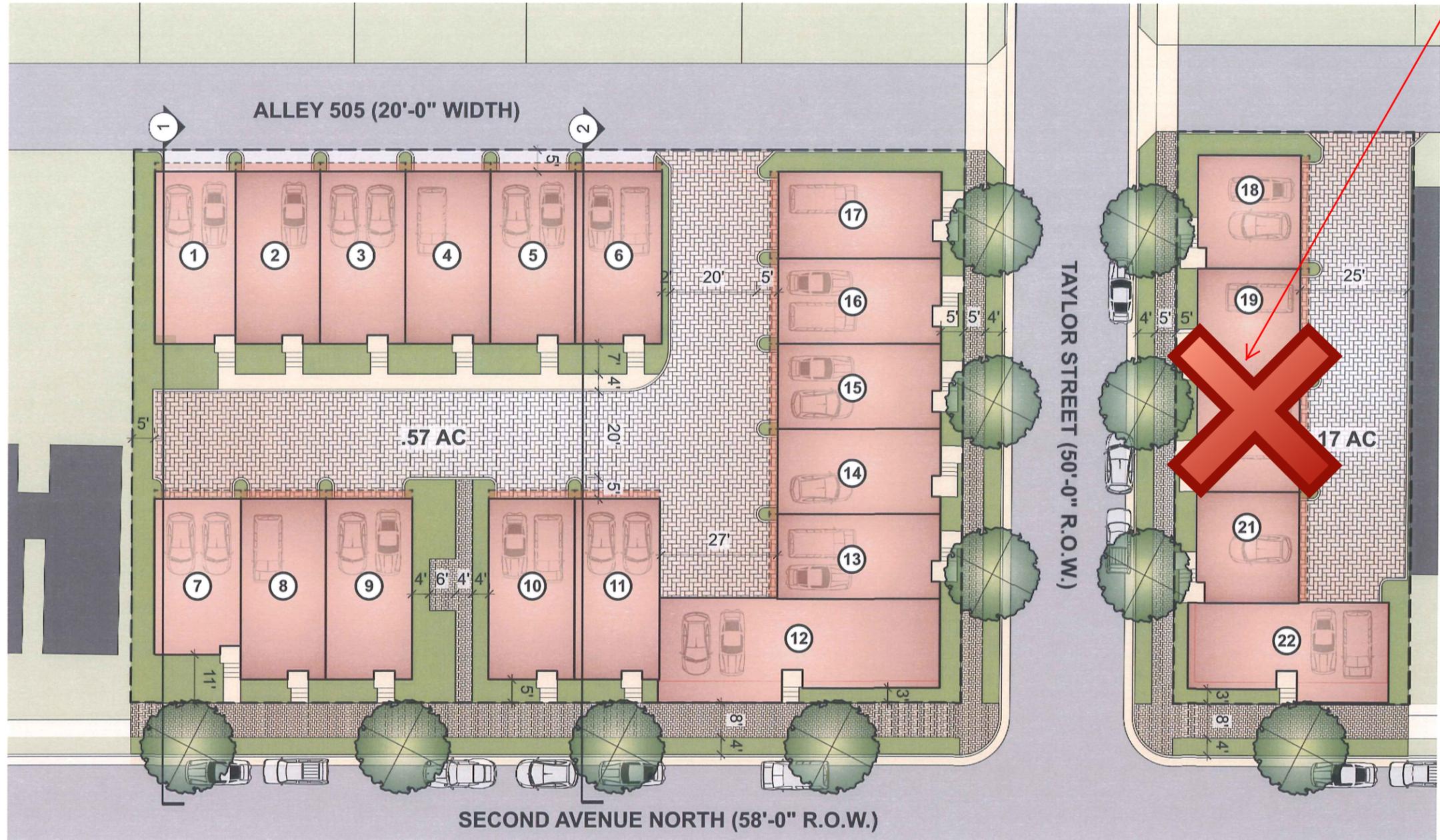
Parking: All parking for the site will be accommodated on the interior of the lot, accessed via the alley off of Taylor Street. Each unit will have an attached two-bay garage that will not be visible from the street. Staff therefore finds that the proposed parking meets Section 5.3 of the Germantown Historic Preservation Zoning Overlay design guidelines.

**Recommendation Summary:** Staff recommends approval of the project with several conditions:

1. The preservation permit be issued only after the site has been rezoned from IR to MUL-A;
2. Staff approve a brick sample for the primary cladding material;
3. Staff approve the final color, dimensions, and texture of the metal paneling;
4. Staff approve all window and door selections prior to purchase and installation;
5. Staff approve the final design and material of the roof railing;
6. Staff approve the final material choice for the tile or cedar accent material;
7. Staff approve the sidewalk material and the driveway material;

8. The HVAC and other utilities be located on the roof of the structures, or on the rear, in the interior of the lot; and
9. Staff approve the design and materials of all appurtenances, including, but not limited to, permanent planters, railings, lighting fixtures, and fences.

With these conditions, staff finds that the project meets Sections 3.0, 5.0, and 7.0 of the Germantown Historic Preservation Zoning Overlay design guidelines.

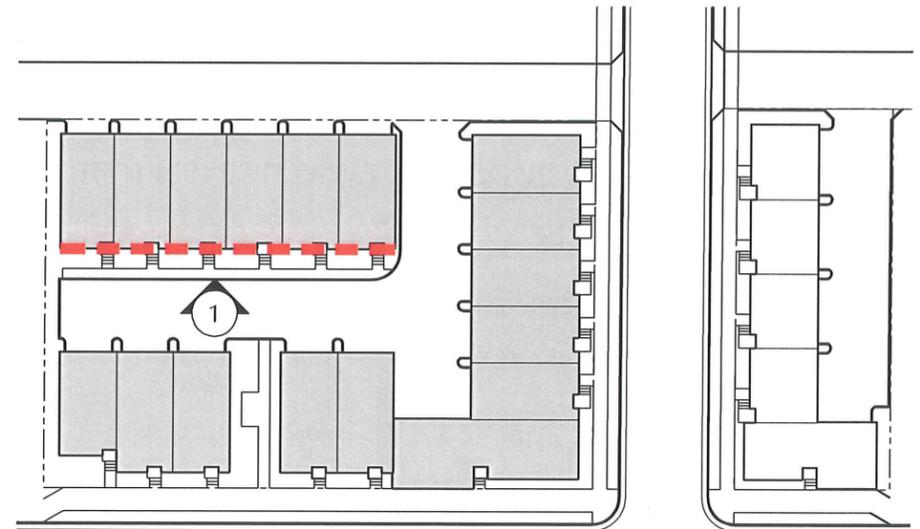


MHZC Note: The townhouses on the north side of Taylor Street are not part of the MHZC review. they are located outside the Germantown Historic Preservation Zoning Overlay.

1 Site Layout  
 Scale: 1" = 30'-0"



1 Building A - East Elevation  
 Scale: 3/32"=1'-0"

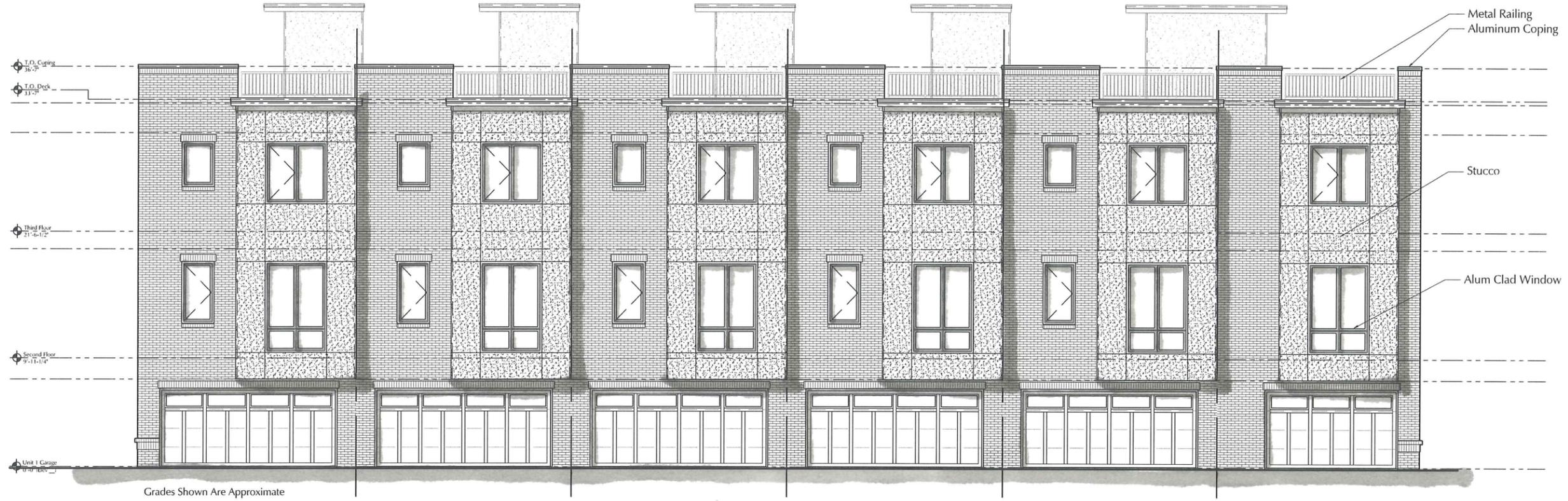


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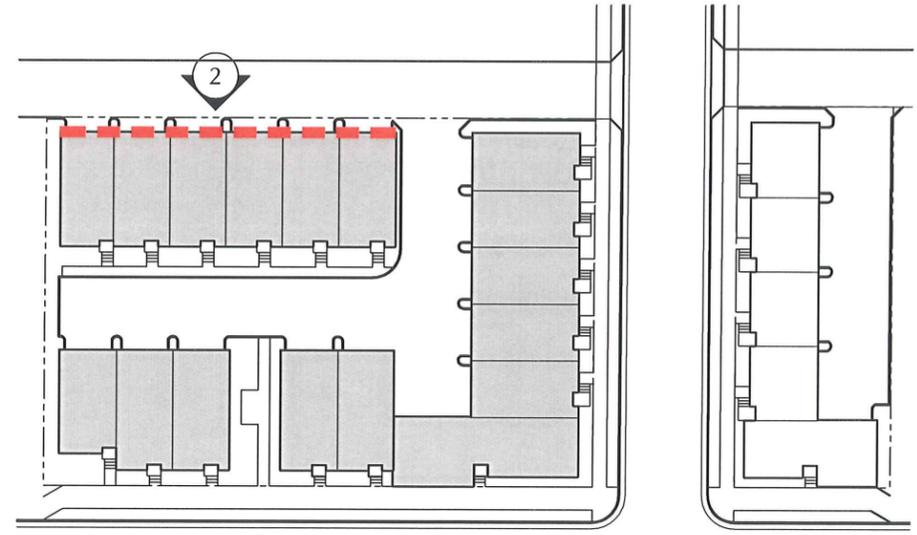
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 allardward.com  
 Tel: 615.345.1010  
 Fax: 615.345.1011

Drawings:  
 Building A  
 Date:  
 10.03.16

**A2.0**



② Building A - West Elevation  
 Scale: 3/32"=1'-0"



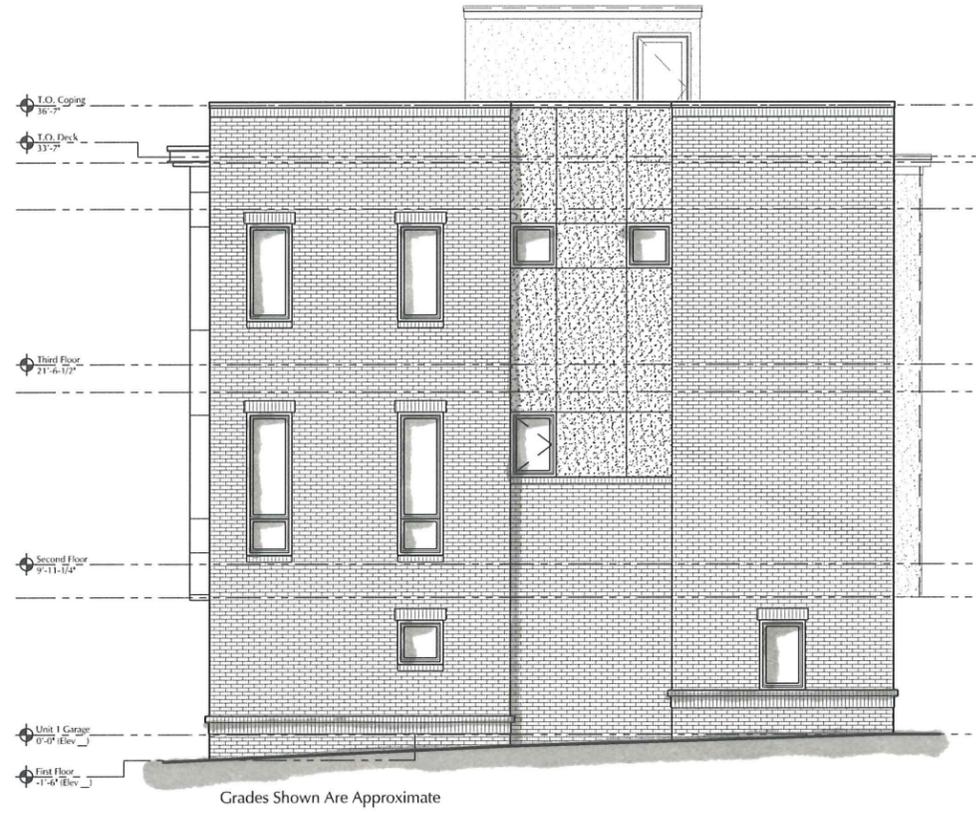
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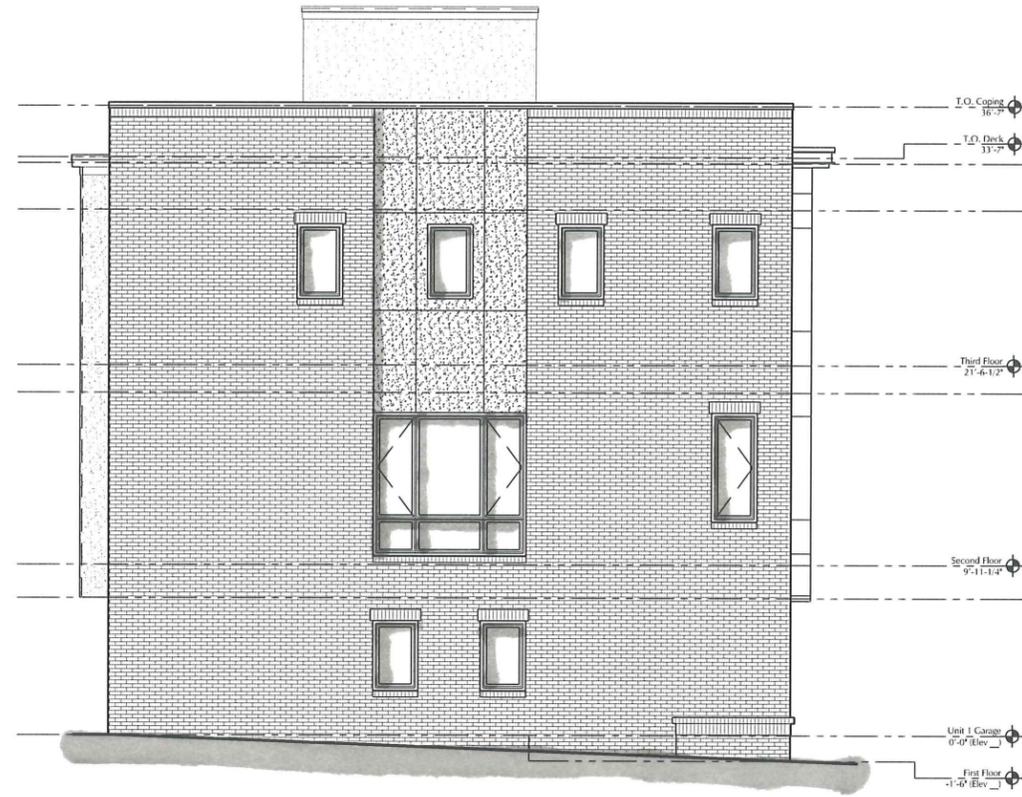
Drawings:  
 Building A  
 Date:  
 10.03.16

**A2.1**

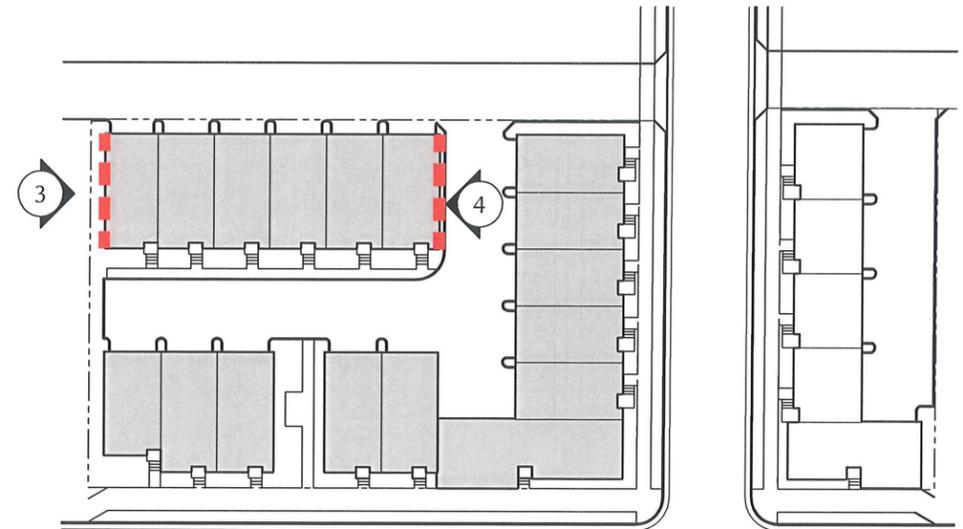
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④ Building A - North Elevation  
 Scale: 3/32"=1'-0"



③ Building A - South Elevation  
 Scale: 3/32"=1'-0"



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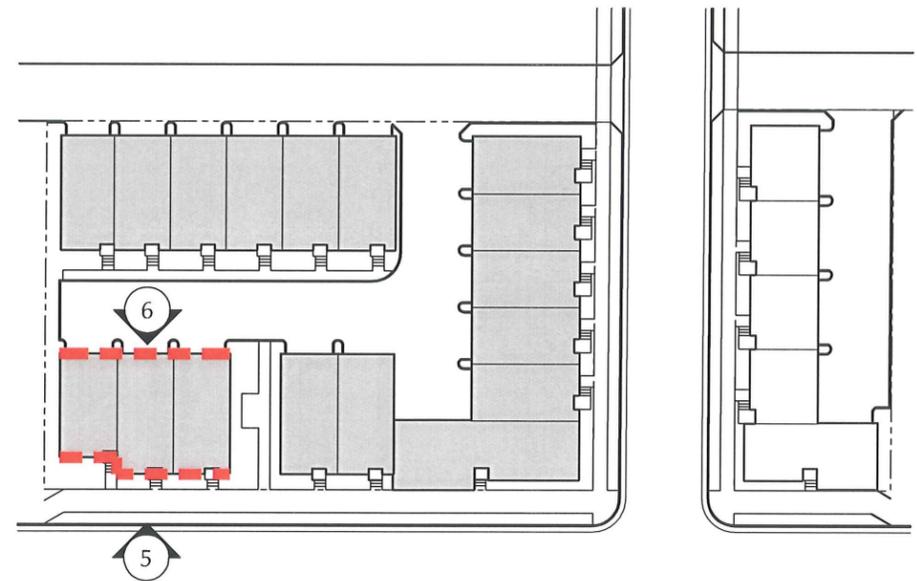
**A2.2**



6 Building B - West Elevation  
Scale: 3/32"=1'-0"



5 Building B - East Elevation  
Scale: 3/32"=1'-0"

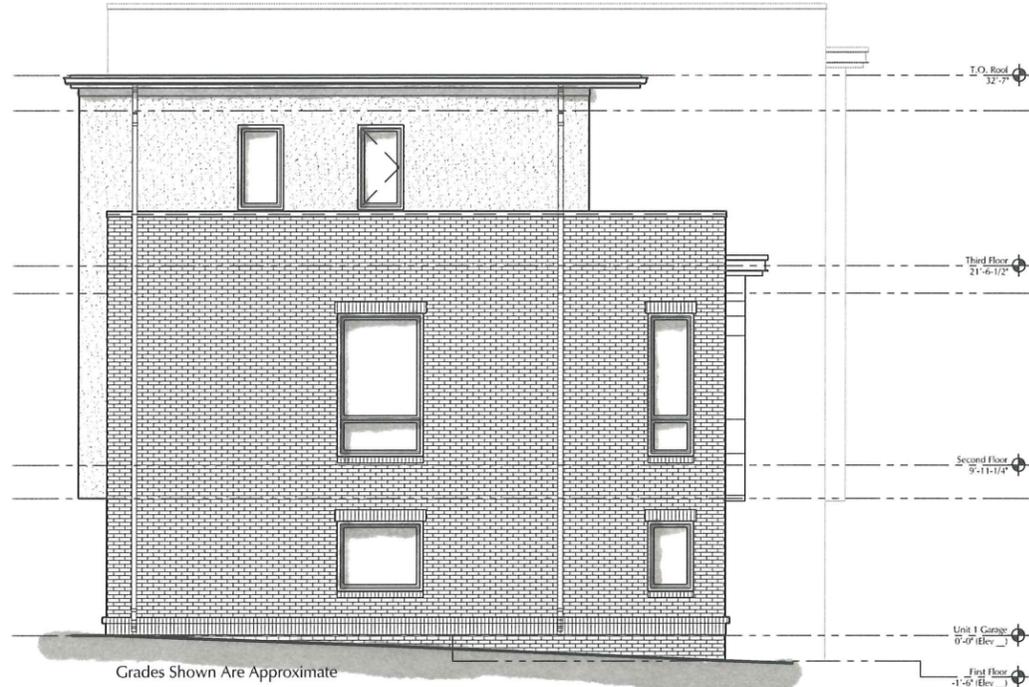


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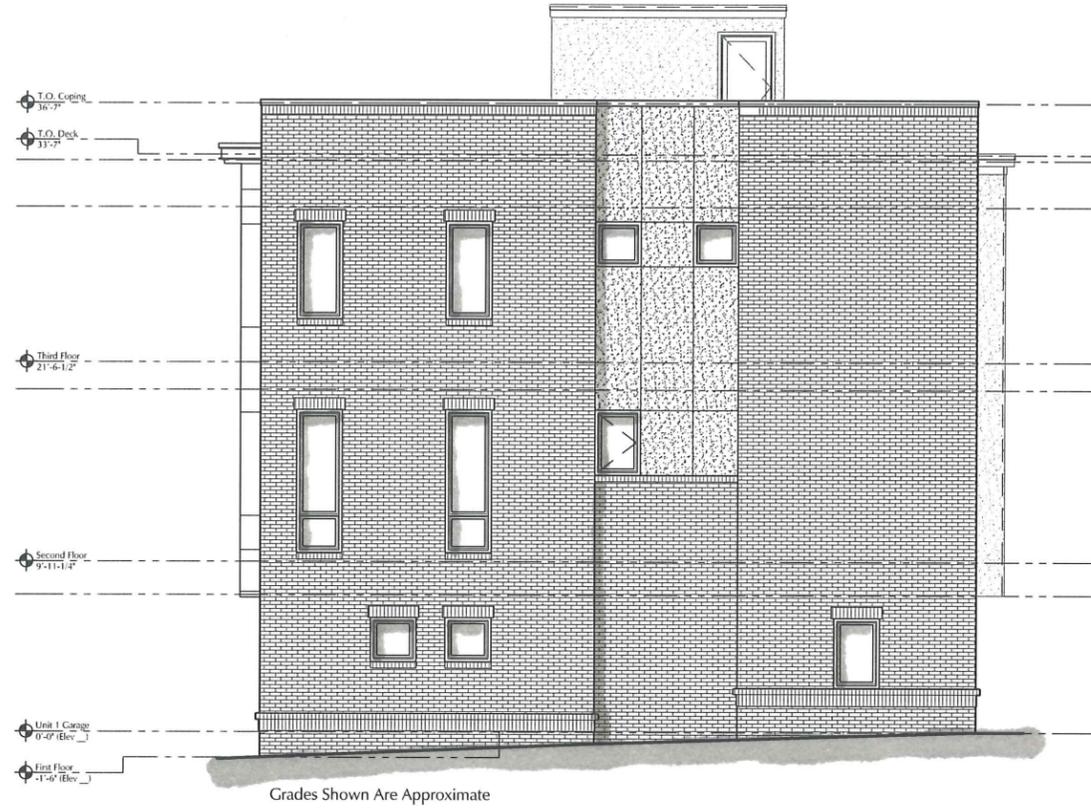
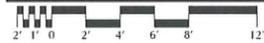
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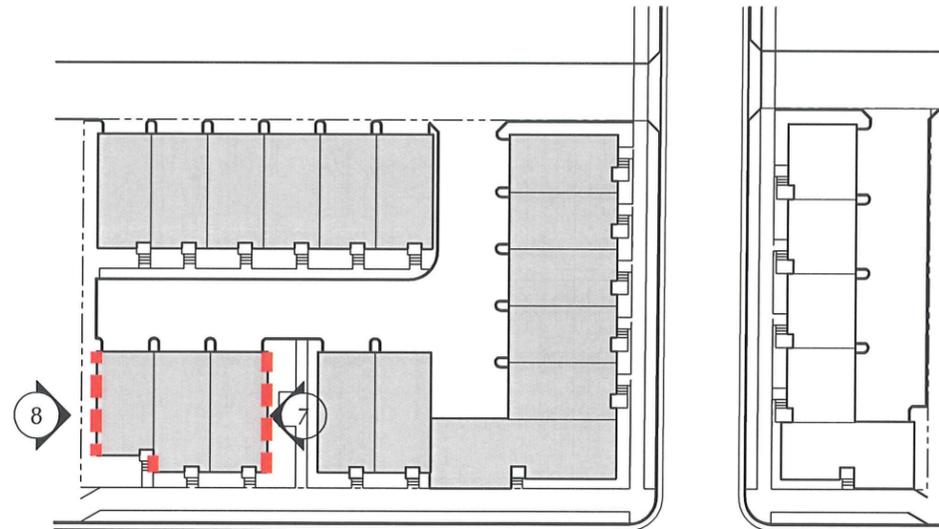
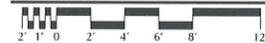
**A2.3**



8 Building B - North Elevation  
 Scale: 3/32"=1'-0"



7 Building B - South Elevation  
 Scale: 3/32"=1'-0"



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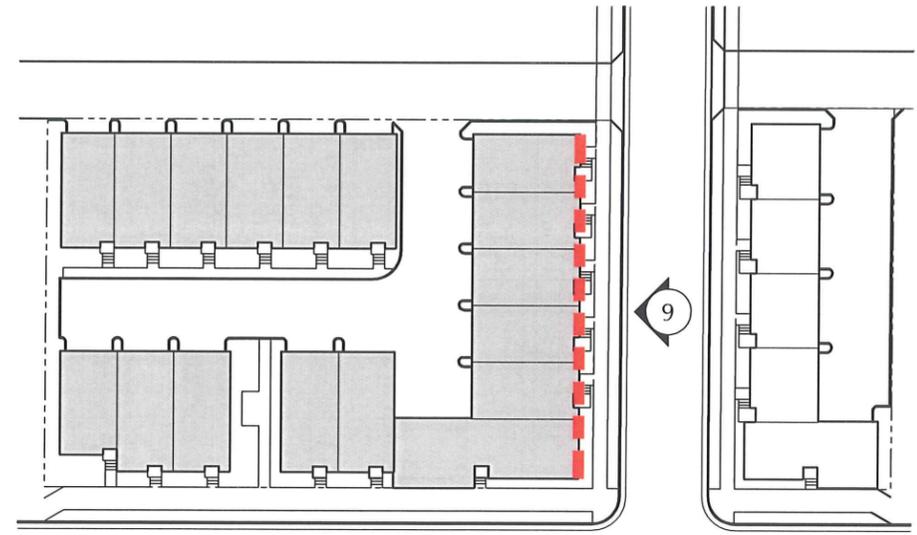
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 Date:  
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**A2.4**



9 Building C - North Elevation  
 Scale: 3/32" = 1'-0"



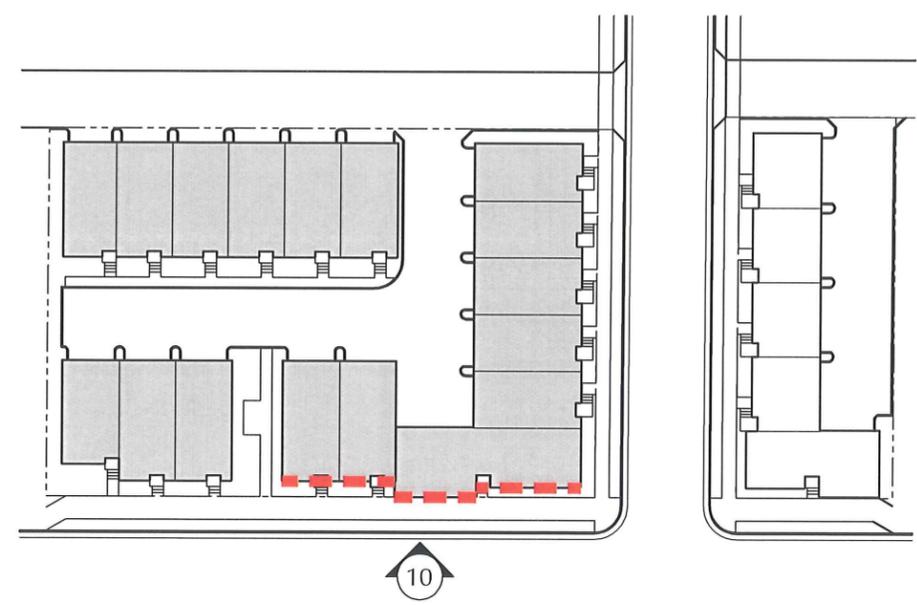
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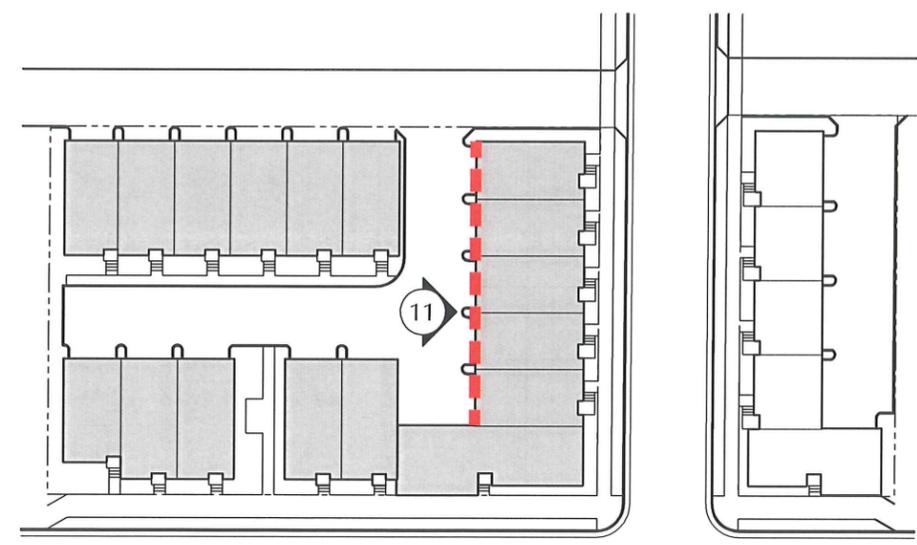


10 Building C - East Elevation  
 Scale: 3/32"=1'-0"





**11** Building C - South Elevation  
 Scale: 3/32" = 1'-0"

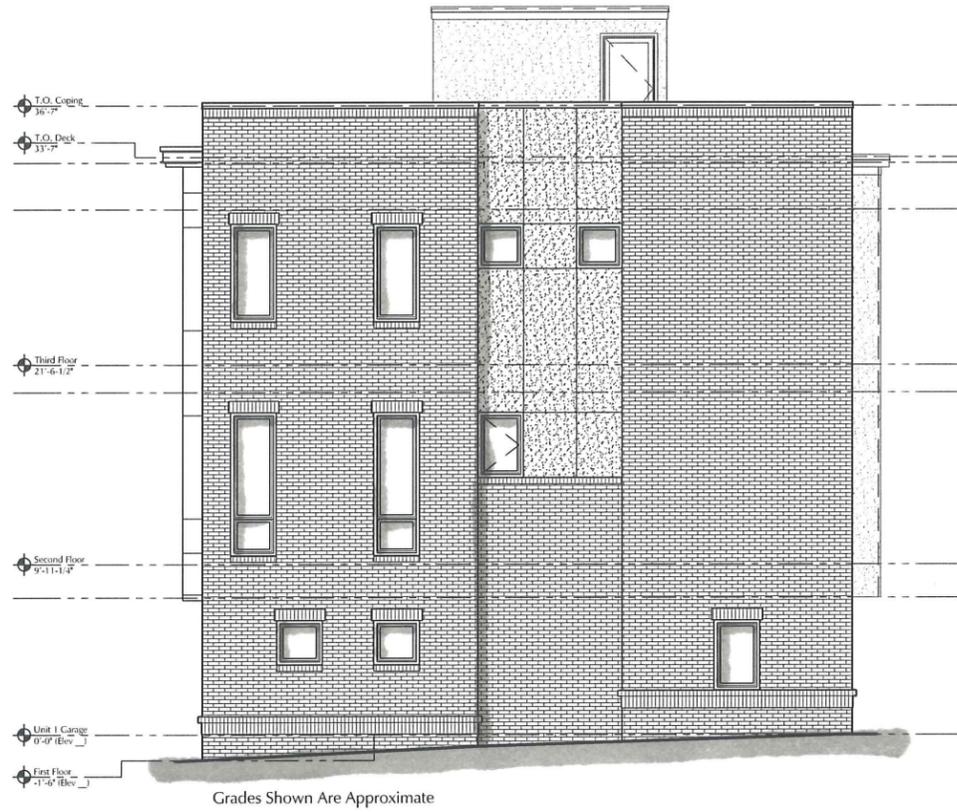


**A2.7**

Drawings:  
 Building C  
 Date:  
 10.03.16

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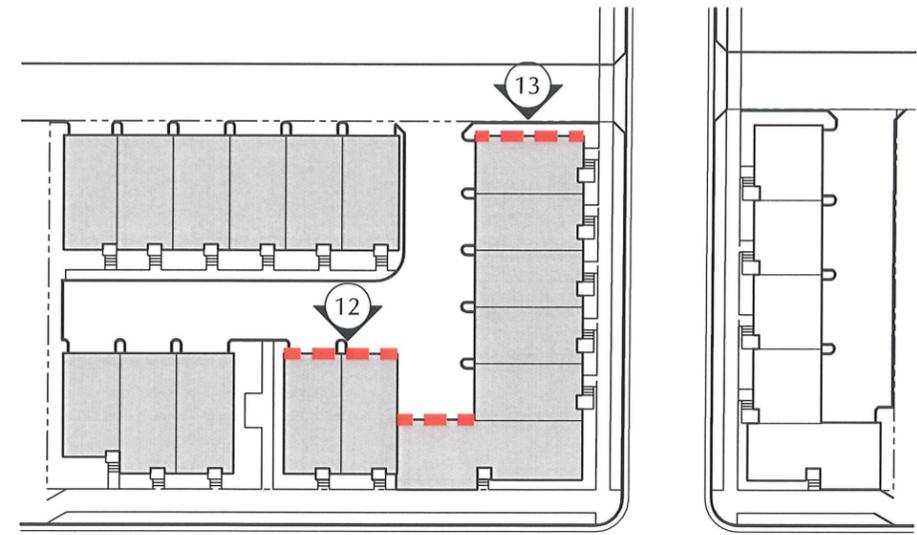
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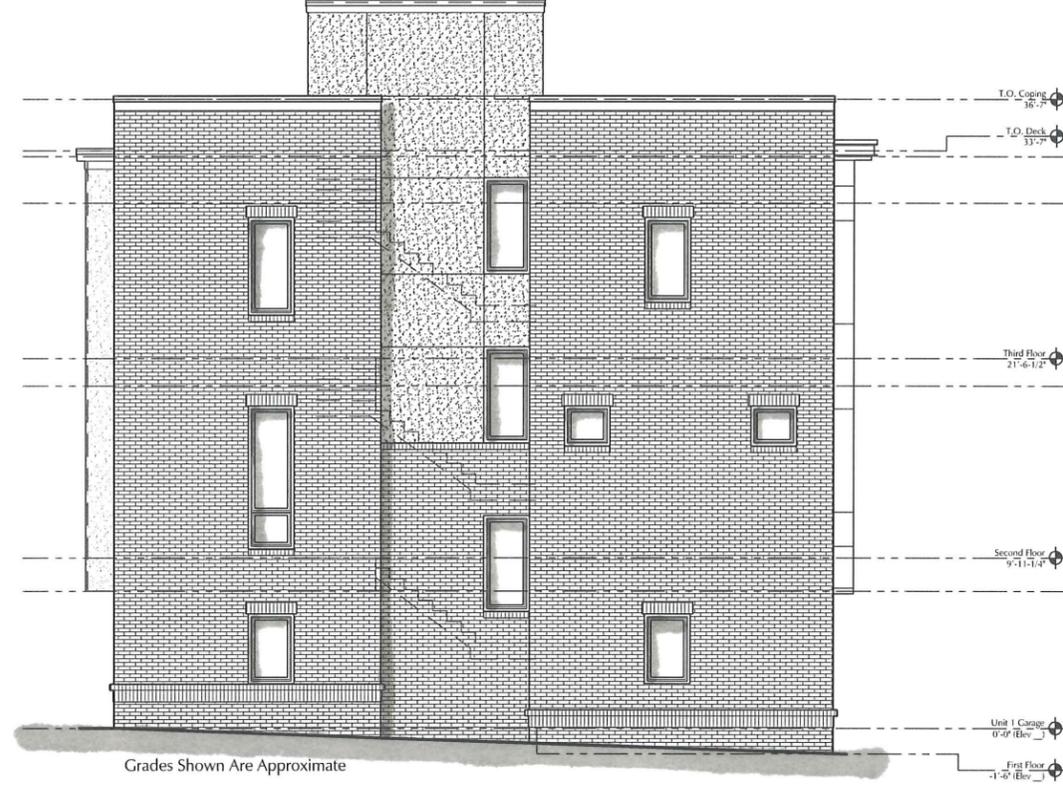


13 Building C - West Elevation  
 Scale: 3/32"=1'-0"



12 Building C - West Elevation  
 Scale: 3/32"=1'-0"

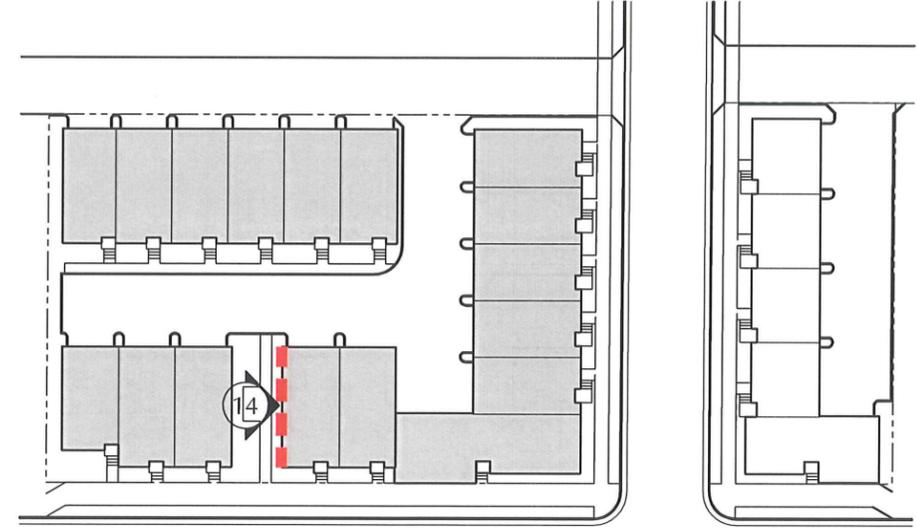




14 Building C - South Elevation



Scale: 3/32" = 1'-0"



**A2.9**

Drawings:  
Building C  
Date:  
10.03.16

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