

Elliston Place Urban Design Overlay

prepared by
Metropolitan Nashville Planning Department
Attachment to ordinance no. BL2013-###
effective June 4, 2013



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Section I: Introduction

How to Use This Document
Location and Intent
Historic Properties
Existing Zoning
UDO Boundary and Subdistricts

Section I: Introduction

Introduction and How to Use This Document

How to Use this Document

The UDO is a tool that requires specific design standards for development in a designated area. UDOs can modify zoning standards such as setbacks, building height, floor area ratio, and parking. The only standard a UDO can not modify is the land uses allowed by the base zoning district.

This document establishes the development standards that vary from the underlying base zone district standards for the properties in the Elliston Place UDO. All provisions described below as regulatory in nature have the same force and effect as, but are variations from, the standards set forth for the base zone districts in the zoning regulations of the Metro Code.

The UDO is organized by **Subdistricts**. Subdistricts are smaller districts within the larger UDO area that are envisioned to have unique character and development standards. Additionally, development standards vary based on the type of street a property fronts. The **Street Types** in the Elliston Place UDO are “Primary”, “Secondary,” and “Tertiary/Local”.

The **Regulating Plan** is the guiding map for the implementation of the UDO. The regulating plan shows the subdistricts and street types that govern the development standards for each property. The **Development Standards** are the applicable bulk standards; landscaping, parking and signage regulations that govern development in the UDO area.

Section I: Introduction

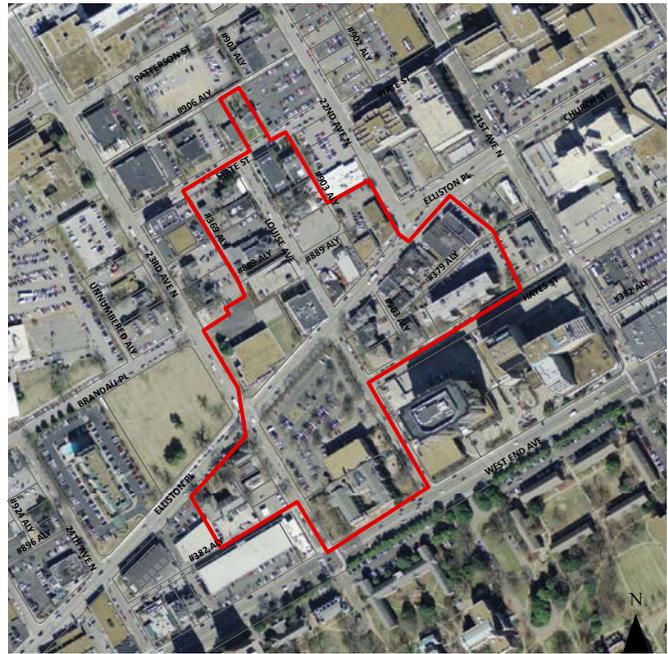
Location and Intent

Intent

Elliston Place and Louise Avenue are home to many popular and eclectic retail establishments, as well as unique residential structures. In addition housing a diverse mix of businesses, the area contains many properties identified by the Metro Historical Commission as being National Register Eligible or Worthy of Conservation. The design and bulk characteristics of these buildings serve as the model for the standards within the Elliston Place UDO.

The development standards are intended to ensure compatible development and redevelopment within the UDO boundary. Specifically, these development standards are intended to:

- Maintain a scale and form of development that emphasizes sensitivity to the pedestrian environment.
- Insure the compatibility of new buildings with respect to the specific character of their immediate urban context.
 - Main entrances face the street, windows allow visibility onto the street, and pedestrian activity occurs on the sidewalk.
 - Locate parking in the rear – surface parking does not interrupt the streetscape.
 - Maintain a mixture of uses. Mixed-use development engages pedestrians, creating a round-the-clock environment; creates a strong sense of community by allowing a broad spectrum of housing and jobs; and revitalizes areas by energizing struggling buildings with office, residential and retail offerings.
- Encourage active ground floor uses on Elliston Place, such as restaurants, shops and services to animate the street.
- Encourage the adaptive reuse and sensitive rehabilitation of existing historic buildings.
- Protect and enhance the economic viability of the area, as well as the diversity of uses and activities.



Elliston Place UDO Boundary



Elliston Place UDO Character Defining Structures

Section I: Introduction

Historic Properties

National Register of Historic Places Designation

This designation describes districts, structures, places viewed as historic resources that are highly significant at the national scale. The National Register is a federal program administered by the Department of the Interior. Unless federal funds are used for a project, listing in the National Register has no impact on what one does to one's property. Listing in the National Register is honorary -- a way to recognize the district as an intact and important part of Nashville's, and thus America's, history.

The National Register of Historic Places is a designation of status, and does little to protect against local zoning regulations. The designation DOES NOT protect against individual property owners and rights (i.e. demolition, alterations of historic properties). The designation DOES protect against actions of the federal government, more specifically federally funded projects. The designation initiates the review and mitigation of any adverse impacts of a federally funded project on a historic resource. The Historical Commission executes a review under the National Historic Preservation Act, when a project involving federal funding or licensing is due to affect a historic resource.

Eligible for National Register Designation (NRE)

This designation describes properties that are eligible for the National Register of Historic Places, but a formal nomination has not yet been pursued. Individual property owners and volunteers may work the Nashville Historical Commission to pursue nomination.

The Eligible for National Register designation has the same protections as a fully recognized historic landmark; it is with the understanding that not every historic landmark has the opportunity be nominated

as this is a voluntary action, thus the lack of interest does not diminish its historic significance, and the same protections are applied.

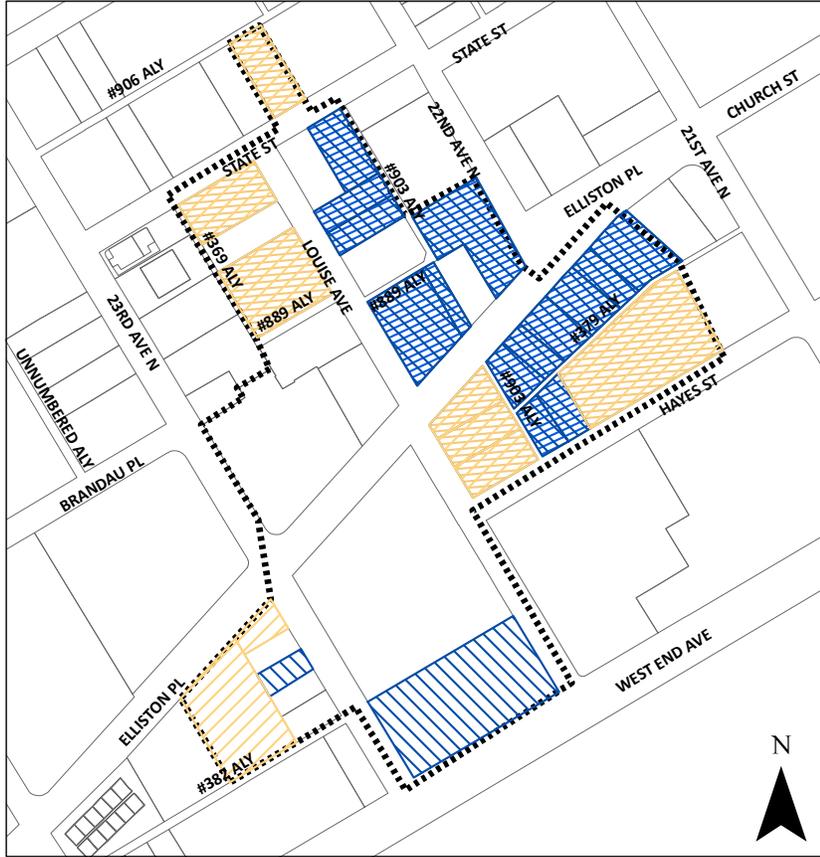
Worthy of Conservation Designation (WOC)

This designation is a local designation for properties that are of a historical significance to a neighborhood or community. Where there are multiple properties considered Worthy of Conservation, private property owners typically may pursue protections for these properties under local zoning designations; Historic Zoning District, and Neighborhood Conservation Districts are two possible areas where such historic resources may be protected. These zoning districts however warrant additional criteria. As these are zoning districts that are applied to neighborhoods and not individual resources, contiguous areas where the overall planning, landscaping, and built environment are linked to a significant historic time period, age (usually 50 years or older), designer, developer, or architectural style, are also reviewed in the designation of a historic district.

The Urban Design Overlay District is an additional tool that can be used to establish design criteria to maintain and reinforce an established form or character of development, or to achieve a specific design objective for new development.

Section I: Introduction

Historic Properties



Elliston Place UDO Historic Properties

Legend

Elliston Place UDO Boundary

Historic Classification

NRE

WOC

Parcel	Address	Property Name	Classification
09215008100	2210 State St	<i>The Mabelle</i>	NRE
09215010200	217 Louise Ave		NRE
09215010400	2205 State St		WOC
09215010500	212 Louise Ave		WOC
09215010600	210 Louise Ave		WOC
09215010000	209 Louise Ave		NRE
09215011300	2200 Elliston Pl		WOC
09215011100	2206 Elliston Pl		WOC
09215011000	2208 Elliston Pl		WOC
09215017700	2105 Elliston Pl		WOC
09215017600	2111 Elliston Pl		WOC
09215017400	2115 Elliston Pl		WOC
09215017300	2201 Elliston Pl		WOC
09215017200	2209 Elliston Pl		WOC
09215017100	2219 Elliston Pl		WOC
09215016800	2221 Elliston Pl	<i>The Louise</i>	NRE
09215016900	118 Louise Ave	<i>The Douglas</i>	NRE
09215017000	114 Louise Ave	<i>The West End</i>	NRE
09215018200	2120 Hayes St		WOC
09215018100	2118 Hayes St		WOC
09215018000	2108 Hayes St	<i>The Lee</i>	NRE
09215014500	111 23rd Ave N	<i>Chabad Jewish Student Center at Vanderbilt</i>	WOC
09215016000	2200 West End Ave	<i>West End United Methodist Church</i>	WOC
09215014300	2301 Elliston Pl	<i>The Mayfair</i>	NRE
09215014200	2305 Elliston Pl	<i>The Elliston</i>	NRE

Section I: Introduction

Existing Zoning

Existing Zoning

The existing zoning establishes uses and can not be varied by the standards of the Elliston Place UDO. For any standards not specifically varied within this document, please refer to Title 17 of the Metro Code of Ordinances. The following zoning districts are present within the Elliston Place UDO:

Commercial Service (CS) - is intended for a wide range of commercial service related uses including low intensity manufacturing and storage facilities

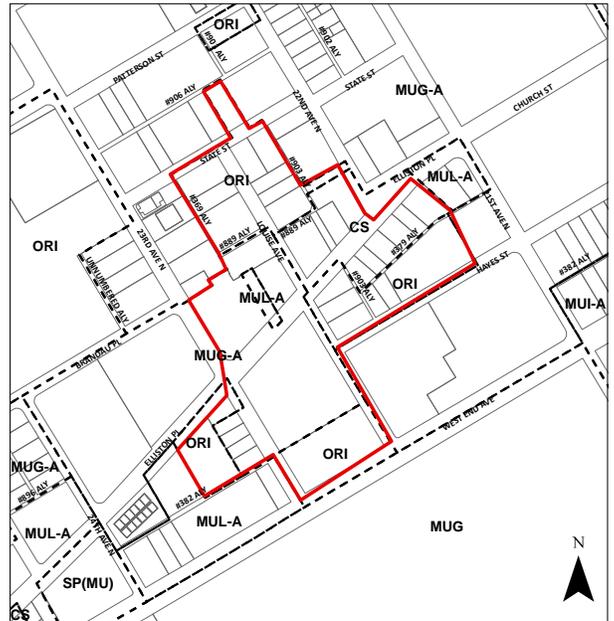
- **FAR:** 0.6
- **Setback:** 15' from the edge of the standard street right of way established by the Major and Collector Street Plan
- **Height:** 30' at setback line and then 1.5 to 1 sky exposure plane

Office/Residential Intensive (ORI) intended for high intensity office and/or residential multi-family uses with limited retail

- **FAR:** 3.0
- **Setback:** 10' from the edge of the standard street right of way established by the Major and Collector Street Plan
- **Height:** 65' at setback line and then 1.5 to 1 sky exposure plane

Mixed Use General Alternative (MUG-A), intended for a moderately high intensity mixture of residential, retail, and office uses

- **FAR:** 3.0
- **Build-to:** 5'-15' from the edge of the standard street right of way established by the Major and Collector Street Plan
- **Height:** 5 stories in 75 feet, and then a 15' step back to 7 stories in 105 feet



Elliston Place UDO Existing Zoning

Mixed Use Limited Alternative (MUL-A)

intended for a moderate intensity mixture of residential, retail, and office uses)

- **FAR:** 1.0
- **Build-to:** 5'-15' from the edge of the standard street right of way established by the Major and Collector Street Plan (Proposed to be reduced to 0'-15' if the existing or proposed sidewalk meets the MCSP standards)
- **Height:** 3 stories in 45 feet, and then a 15' step back to 4 stories in 60 feet

Section I: Introduction

UDO Boundary and Subdistricts



The **Regulating Plan** is the guiding map for the implementation of the UDO. The regulating plan shows the subdistricts and street types that govern the development standards for each property.

Subdistrict 1 - Elliston Place Corridor
 This area is the heart of Elliston Place and is targeted for development standards to preserve the existing eclectic character.

Subdistrict 2 - Residential Building Type
 This area consists of a mix of residential building types. The development standards for this district encourage the adaptive reuse and sensitive rehabilitation of existing historic buildings.

Primary Streets accommodate high levels of pedestrian, vehicular and transit activity. Vehicular access to parking lots and parking structures, and “back of house” functions are strongly discouraged. Sidewalks are generally 16 feet wide with street trees in tree wells.

Secondary Streets have moderate levels of pedestrian, vehicular and transit activity. Vehicular access to parking lots and parking structures is allowed. When “back of house” functions are located on Secondary Streets, significant efforts should be made to reduce the impact on adjacent properties and the sidewalks. Sidewalks are typically 14 feet with street trees in tree wells.

Tertiary Streets are the appropriate location for back of house functions. Care should be taken to make these streets as pedestrian-friendly as possible while accommodating loading and access needs. Sidewalks are typically 9 feet with street trees in tree wells.

Local Streets are the smallest streets in the neighborhood. Vehicular access is less formal. Sidewalks are typically 9 feet with street trees in tree wells.

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Section II: Development Standards

Application of the Standards
Modifications and Process
Bulk Standards Calculation
Bulk Standards
Architectural Treatment Standards
Parking and Access Standards
Landscaping, Screening and Sidewalk Standards
Sidewalks
Signage

Section II: Development Standards

Application of the Standards

Compliance Provisions

Full compliance with the Development Standards shall be required when:

- Vacant property is developed or property is being redeveloped after removal of existing buildings.
- The building square footage is expanded; the expansion shall be in compliance with all applicable UDO Development Standards.
- When a new structure is built on a lot with multiple structures, the new structure shall be in compliance with all applicable UDO Development Standards.
- Any changes to the exterior of a structure shall be in compliance with all applicable UDO Development Standards.

Demolition

- Demolition permits within the boundary of the Elliston Place UDO for properties considered National Register Eligible or Worthy of Conservation (see page 9 for identification) shall be reviewed by the Historic Zoning Commission Staff and a recommendation shall be forwarded to the Planning Department prior to the approval of the demolition permit.

Signage

Notwithstanding the above, the Signage Standards of the UDO shall apply when a sign permit is required, including the replacement of a sign panel, according to the following provisions.

- New signs shall comply with all Signage Standards.
- Panel changes to a legally non-conforming cabinet sign shall be permitted. All new panels shall conform to the illumination standards herein.
- Notwithstanding the above, a non-conforming sign damaged by any involuntary means may be reconstructed to its pre-damage condition.

Applicability

Base district standards that are not varied by the provisions set forth in the Elliston Place Urban Design Overlay shall apply as applicable to all property within the UDO boundary.

Section II: Development Standards

Modifications and Process

Process

Final site plans shall be submitted in the future for any development within the boundary of the UDO. Final site plans shall consist of a detailed set of construction plans that fully demonstrate compliance with the UDO and shall specifically describe the nature and scope of development to serve as the basis for the issuance of permits by the Codes Department and all other applicable Metro departments. Following the approval of the final site plan, a final subdivision plat may be required to establish lots, rights of way and easements. Bonding for these improvements will be required.

Prior to applying for a building permit, applicants shall submit to the Planning Department complete sets of final construction documents, including site plan and landscape plan, for review and approval prior to the issuance of permits.

Applicants are encouraged to work with Metro Planning staff early in the design and development process. Where obvious physical constraints exist on a site within the UDO, Planning staff will review alternative design solutions that achieve the intent of the UDO for that subdistrict. Where a single use or function spans more than one subdistrict, Planning staff will work with the applicant to determine alternative solutions that achieve the design intent of the UDO.

Modifications

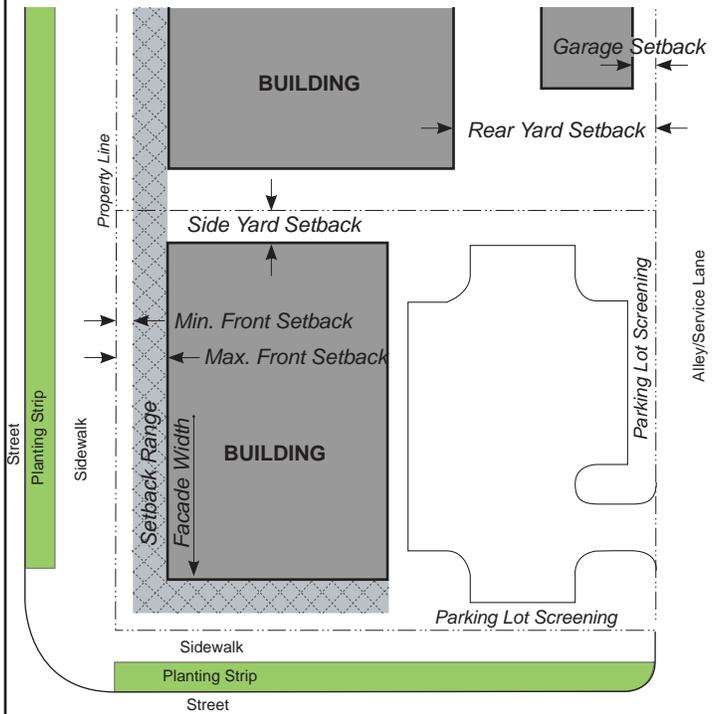
The natural landscape and man-made environment may present difficulties in compliance with some standards of the UDO. Based on site-specific issues, modifications to the standards may be necessary. Modifications may be permitted because of the exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of a property. The condition shall be unique to the subject property and generally not prevalent to other properties in the general area, or have been created by the previous actions of any person having an interest in the property after the effective date of this ordinance.

Any standard within the UDO may be modified, insofar as the intent of the standard is being met; the modification results in better urban design for the neighborhood as a whole; and the modification does not impede or burden existing or future development of adjacent properties. Any standards that shall not be modified are explicitly noted as such in the code.

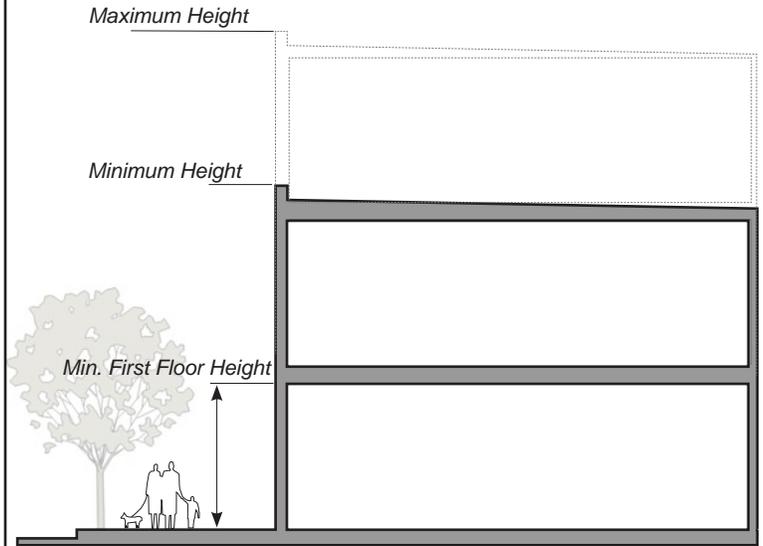
Modifications shall be approved by Planning Commission or its designee. Minor modifications – deviations of 20 percent or less – may be approved by the Planning Commission’s designee. Any determination made by the Planning Commission’s designee may be appealed to the Planning Commission within seven business days. Major modifications – deviations of 21 percent or more – may be approved by the Planning Commission.

Section II: Development Standards

Bulk Standards Calculations



Building Plan



Building Section

Calculations

Setbacks

A setback range (minimum and maximum) is indicated for the front yard setbacks. The setback shall be measured from the back of the sidewalk at the property line. If additional sidewalk is required by the Major and Collector Street Plan, the setback shall be measured from the back of the new sidewalk. The front yard setback shall also apply to secondary street frontages.

Height

Building height shall be measured from the average grade along the front property line to the top of eave or parapet.

Façade Width

The façade width is the length of building façade that is built within the setback range. The required façade width is determined by the Subdistrict. The façade width standard shall only apply to the predominant street frontage and no minimum shall be required along a secondary frontage if the property is located at the intersection of two or more streets. Canopies do not qualify as fulfilling the façade width requirement.

Section II: Development Standards

Bulk Standards Table

	Subdistrict 1	Subdistrict 2
Front yard setback	0' minimum – 5' maximum	10' minimum to 20' maximum
Minimum Façade Width	100%	60%
Side Yard Setback	0'	3'
Rear Yard Setback	None, unless a garage entrance faces an alley then the setback is 5'	
Maximum Building Height¹	2 stories in 25'	3 stories in 35'
First Floor Height Non-Residential	One story building:20' minimum Multi-story building:14' minimum	
Glazing Requirements	80% for first floor, 40% for second floor	40% for first floor, 25% for upper floors
Massing	No uninterrupted façade plane shall extend more than 25'. Pilasters, variations in the roof line or parapet wall, or building recesses shall be used to break up the mass of a single building into distinct bays no wider than 25'.	
Roof Form	Flat roofs with parapet walls	Flat roofs with parapet walls or pitched roofs with a slope between 6:12 and 12:12 are required (excluding porch and dormer roofs).
Parking	No parking required	Follow UZO parking standards

¹Existing structures that exceed the maximum building height are considered to be legally non-conforming and protected under state and local laws.

Section II: Development Standards

Architectural Treatment Standards

Architectural Treatment Standards

Permitted Attachments

- Balconies, stoops, and porches shall not encroach beyond the front setback.
- Porches shall be a minimum of 6 feet deep.
- Stoops and balconies shall be a minimum of 4 feet deep.
- Entry stairs, awnings, and canopies may encroach beyond the front setback, but shall not encroach into the public right-of-way without proper permitting from Metro Public Works.

Glazing

Minimum glazing requirements shall be calculated based on the façade area as follows:

- Non-Residential first floor: façade area shall be measured from the average grade at the sidewalk to 14 feet above grade.
- Residential first floor and all upper floors: façade area shall be measured from finished floor elevation to finished floor elevation.
- The glazing requirements for buildings on corner lots shall return a minimum of 20 feet along the side façade.

Primary Pedestrian Entrance

- All Buildings fronting a public street shall have a minimum of one primary pedestrian entrance along the street.

Materials

- Prohibited materials: plywood, plastics, unfinished concrete block (CMU), metal buildings, vinyl siding, E.I.F.S. (on ground floor), applied stone or brick - any system without cavity wall construction.
- Primary façade materials shall not change at outside corners.

Canopies and Awnings

- Awnings shall have a minimum clear height of 8 feet
- Materials: Plastic or vinyl shall not be permitted.

Fence and Wall Standards

- Fences and walls within the front setback and in front of buildings on side property lines facing public streets shall be constructed of wood, brick, masonry, vinyl, ornamental iron, aluminum, or similar materials. Chain-link shall not be permitted.
- Fences and walls constructed between the principal building and the street (excluding alleys) shall not exceed 4 feet in height.
- Fences and walls along rear lot lines, behind a principal building, and along side property lines not fronting a street shall not exceed 10 feet in height.
- All fences shall be installed so that the finished side faces outward; all bracing shall be on the inside of the fence.

Section II: Development Standards

Parking, Access and Sidewalks

Driveway Access

Vehicular access shall be permitted from alleys only.

Cross Access and Joint Access

- Cross Access, which allows for vehicles to pass between properties without entering the public right-of-way, and/or Joint Access, a shared driveway providing access to multiple properties via one driveway, shall be required. An easement agreement which provides for the mutual right of ingress and egress for both property owners shall be recorded with the Register of Deeds and be referenced on a final plat and in any restrictive covenants, and shall be referenced on the site plan.

Parking Structures

- The ground floor of any parking structure that fronts an at-grade public street (excluding alleys) shall be set behind a liner building with a minimum depth of 15 feet so the parking structure is not visible from the street except at the point of a driveway access.

Parking Location

- Parking shall be located behind, beside or beneath buildings. No parking shall be located within the front yard maximum setback.

Drive-throughs

- Drive-throughs should be located to the rear of buildings.

Vehicular Drop-offs

- Vehicular drop-off areas shall be articulated through paving patterns, bollards, landscaping and other means that limit the impact of conflicts between vehicles and pedestrians.

Section II: Development Standards

Landscaping, Buffering and Screening Standards

Parking areas adjacent to public streets

- Parking areas and driveways shall be separated from the edge of the right-of-way by a perimeter landscape strip a minimum of 5 feet wide and planted with a continuous row of evergreen shrubs.
 - All shrubs shall be a minimum of 2 feet, 6 inches in height at the time of installation, forming a hedge that provides screening year-round.
 - Vegetation shall be maintained at a maximum height of 3 feet.
- Landscape strips that include a fence or wall may be reduced to 3 feet wide and the evergreen shrubs may be deleted in lieu of other natural or plant material.
 - The wall shall be between 2 feet, 6 inches and 3 feet, 6 inches in height.
 - The fence shall be a minimum of 3 feet in height and a maximum of 4 feet in height. The fence shall be a minimum of 30 percent transparent.
 - Fences and walls shall be placed at the back of the planting strip, so any vegetation is between the wall or fence and the sidewalk.
- A minimum of one tree shall be preserved or planted in the perimeter landscape strip for each 35 feet of street frontage, or portion thereof.
 - If perimeter strips are less than 4 feet wide the required trees shall be planted interior to the parking area
 - Trees shall be a minimum of 2 inches in caliper and 6 feet in height at planting.

Parking areas adjacent to side or rear property lines

- The standards of the Metro Code for Side Property Lines, 17.24.150 B shall apply.

Interior Landscaping Requirements

- The standards of the Metro Code for Interior Planting, 17.24.160 shall apply.

Mechanical, Service, and Loading Screening

- All outdoor equipment, such as HVAC and ventilation systems, utility meters and panels shall be placed on the roof, to the rear or side of buildings, or otherwise visually screened from the street. Mechanical equipment shall not be allowed along the frontage of a public street. Mechanical equipment on the roof shall be screened from abutting streets with parapets or other types of visual screening.
- All solid waste, recycling, and yard trash containers, including grease containers, and loading docks shall be located in parking areas, or at the side, or rear of a building, furthest from the public sidewalk. They shall be screened to minimize sound and visibility from residences, abutting sidewalks and streets, excluding service lanes.

Screening methods include: Vegetative Material as well as Fences and Walls.

- Vegetative materials shall be planted in two rows in staggered fashion.
- All trees shall be evergreen with a minimum height at time of planting of at least six feet above the root ball.
- All shrubs shall be evergreen with the minimum height and spacing necessary to fully screen the item intended for screening (but no less than thirty inches in height) at the time of planting.
- Vegetative material shall be located immediately adjacent to the element being screened in a planting area a minimum of four feet wide.
- Fences and walls shall be a minimum of 2 feet higher than the element being screened. Gates may be required to fully screen elements that face public streets.

** In order to properly locate and screen mechanical equipment, approval may be required from Metro Water Services, NES, and/or Metro Codes.

Section II: Development Standards

Landscaping, Sidewalks and Street Trees

Sidewalks

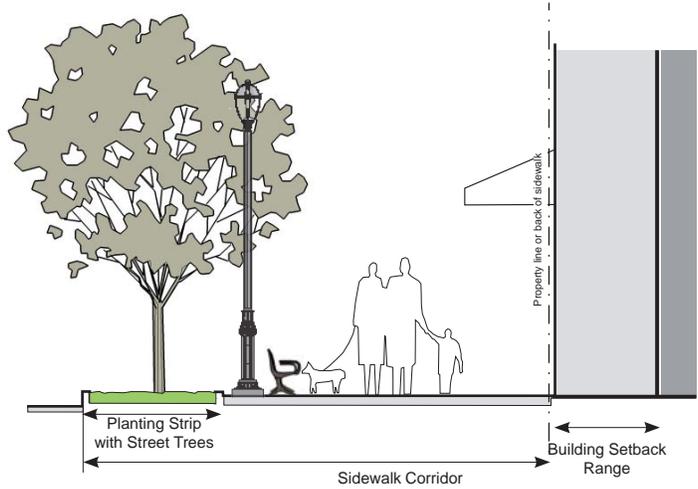
Provide sidewalks along all street frontages per the Major and Collector Street Plan and provide and required right-of-way improvements.

Street Trees

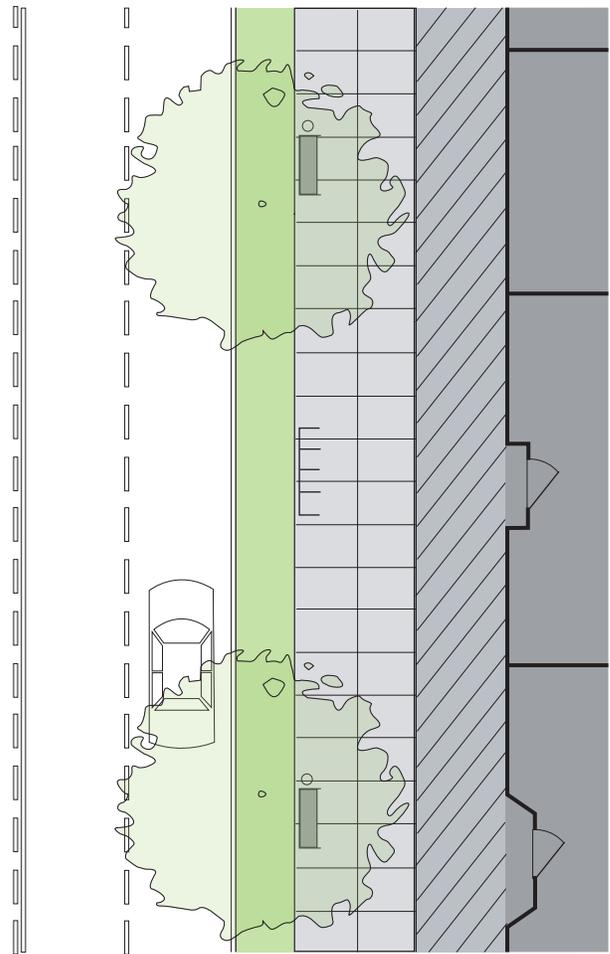
Street trees are required along all streets. Tree species should remain consistent along a given block, and should be chosen for drought tolerance and their ability to create an effective canopy. Street trees shall be maintained by the adjacent property owner.

- On all streets, street trees shall be installed at an average spacing of 35 feet.
- Trees planting areas shall be a minimum of 40 square feet at sidewalk grade. Tree grates are permitted and shall be modular to allow for removal as the tree grows.
- Tree species shall be chosen from the *Urban Forestry Recommended and Prohibited Tree and Shrub List*.

At planting all trees shall be a minimum of 2 caliper inches and 6 feet in height.



Sidewalk Corridor Section with on-street parking



Sidewalk corridor plan with on planting strip

Section II: Development Standards

Signage Standards

The Signage standards of the Elliston Place UDO allow each business to communicate its message clearly without clashing with the envisioned visual character of the area. The goal is to encourage attractive, appropriate-scaled signage that contributes positively to the surroundings, provides businesses with sufficient visibility to the community, and reduce visual clutter.

General Standards

- In addition to the standards of this section, signage shall comply with the following sections of Chapter 17.32 Sign Regulations: Exempt signs 17.32.040; Prohibited signs 17.32.050; Permitted On-premise Temporary signs 17.32.060; Computations 17.32.160; and Sign Procedure 17.40.490.
- Refer to Title 17.04.060 for the definition of “sign.”
- Signs shall not obscure architectural features or details including, but not limited to, fenestration details, doors, or cornices.
- Signs may encroach into the public right-of-way with proper permitting through Metro government.

Common Signage Plan

- When more than one use or business is located on a lot a common signage plan shall be required. The common signage plan shall establish an allowable area of signage and the general sign locations for existing and future tenants with regard both to on-premises building and on-premises ground signs. The common signage plan shall be approved prior to issuance of any permits.
- For a development existing prior to the effective date of the ordinance codified in this chapter, a common signage plan may be submitted. The common signage plan shall indicate existing nonconforming signs as well as the amount and location of on-premises signage to be allocated to each tenant under the new plan.
- A common signage plan that measures the façade of the larger building as opposed to individual tenant spaces can benefit tenants by slightly increasing the permitted size of individual signs.

Prohibited Signs

- Billboards
- Electronic changeable copy

Exempt signs

- Every restaurant use is permitted one Menu sign to be placed on the building adjacent to the main entry.

Illumination

- Externally lit signage using uplighting, downlighting, or backlighting techniques shall be permitted.
- Internal lighting shall be permitted to illuminate letters and logotype only. Sign backgrounds shall be opaque.
- Transformers and other mechanical equipment related to sign illumination shall be located inside the building or otherwise concealed from public view. Exposed raceways must be colored to match the sign or the building wall that the sign is attached to.
- External lighting sources shall be directed and shielded so that they do not produce glare off the site or on any object other than the sign.

Section II: Development Standards

Signage Standards: Sign Types

Permitted Sign Types

Building Signs

- Building Mounted Flush: a sign attached to a wall that does not project more than 1 foot.
- Building Mounted Projecting: a sign attached to a wall that projects outward from the wall more than twelve inches; or a sign suspended from any structure that constitutes a covering or shelter such as a canopy, portico or marquee. Usually, though not always, the face of a projecting sign will be perpendicular to or form a wide angle with the surface to which it is attached.
- Building Mounted Projecting – 2nd Story and Above
- Awning Sign: application of words, lettering and/or logos to an awning.
- Window Sign: any sign attached to or directly applied on a window or glass door; intended for viewing from the exterior.

Ground Signs

- Monument Sign: a low profile sign with a base that is at least 3' wide or 50% of the maximum width of the sign (whichever is greater).
- Hanging Sign: a ground sign with one vertical post, and one or two arms from which a sign hangs. The sign is intended for buildings with a deep setback and should be placed perpendicular to the sidewalk.

Permitted Sign Standards

- Each multi-tenant principal building may display no more than two on-premises building signs with a combined sign area of no more than thirty-two square feet.
- In addition to the principal building signage each occupant of a multiple occupancy complex may display on-premises building signs on any exterior viewed portion of the complex that is part of the occupant's unit. The total sign area shall not exceed fifteen percent of the facade area for the public entry side. Occupants may divide the permitted sign area among the applicable facades, but a sign area bonus is not given for an additional entry.
- Each single-tenant building may display on-premise building signs with a total sign area that shall not exceed fifteen percent of the facade area for the public entry side or a maximum of 128 square feet, whichever is greater. Occupants may divide their permitted sign area over all façades of the building, but a sign area bonus is not given for an additional entry.
- Where the owner of a multi-tenant building so chooses, a common signage plan in accordance with the standards for a single occupancy building may be submitted.
- Facade area shall be calculated by multiplying the façade length by a height of 14 feet.
- Ground sign area shall be permitted according to the Ground Signs Table.

Section II: Development Standards

Signage Standards: Sign Types

Building Signs

Ground Signs

Building Sign Flush

Monument Signs



Building Sign Projecting

Hanging Signs



Window Signs



Awning Signs



Section II: Development Standards

Signage Standards: Tables

Non-Residential Uses: Building Signage Table

Building Signs Table				
Sign Types	Maximum Display Surface area of Individual Signs	Maximum Height	Maximum Projection	Specifications
Wall Mounted Flush	5% of the building façade on the public entry side or a maximum of 64 square feet for single story buildings and 84 square feet for multi story buildings, whichever is less.	1' below top of parapet/eave	N/A	
Wall Mounted Projecting ¹	12 square feet	Below 2 nd story FFE or below top of parapet/eave, which ever is less.	6 feet from building façade	Minimum clearance is 8 feet or 10 feet within 10 feet of the right-of-way.
Wall Mounted Projecting – Second story and above	5% of the building façade on the public entry side or 64 square feet, whichever is less.	Below top of parapet/eave		
Awning	40% of all visible faces	N/A	N/A	On 1st story only On a maximum of 2 awning faces
Window	15% of window	N/A	N/A	On 1st and 2nd story only

Non-Residential Uses: Ground Signage Table - Subdistrict 2 only

Ground Signs Table ²					
Sign Types	Permitted	Maximum Display Surface Area of Individual Signs	Maximum Height	Minimum Setback from Side Property Line	Specifications
Monument	1 per street frontage	48 square feet	2'6" for any part of a sign within 15 feet of a driveway, 6 feet otherwise	3 feet	
Hanging	1 per street frontage for buildings with a set back greater than 15'	6 square feet	6 feet		The maximum projection shall be 2 feet 6 inches

Residential Uses: Signage Table

Sign Types	Permitted	Maximum Sign Area	Maximum Height	Maximum Projection	Specifications
Building Sign					
Buildings with 3 to 15 units	1 flush building sign per street facade	6 square feet	Below 2nd story Finished Floor Elevation (FFE) or below top of parapet/eave	N/A	Signs shall not contain internal lighting.
Buildings with 16 or more units		20 square feet			
Ground sign					
Monument	1 per street frontage	20 square feet	5 feet in height or 2'6" within 15 feet of a driveway.	N/A	A low wall may be substituted for a Monument sign.

¹ Any sign that encroaches on a public right-of-way must meet Metropolitan Government's current clearance standards and the encroachment must first be approved under the mandatory referral process.

² Ground signs not permitted in Subdistrict 1.