

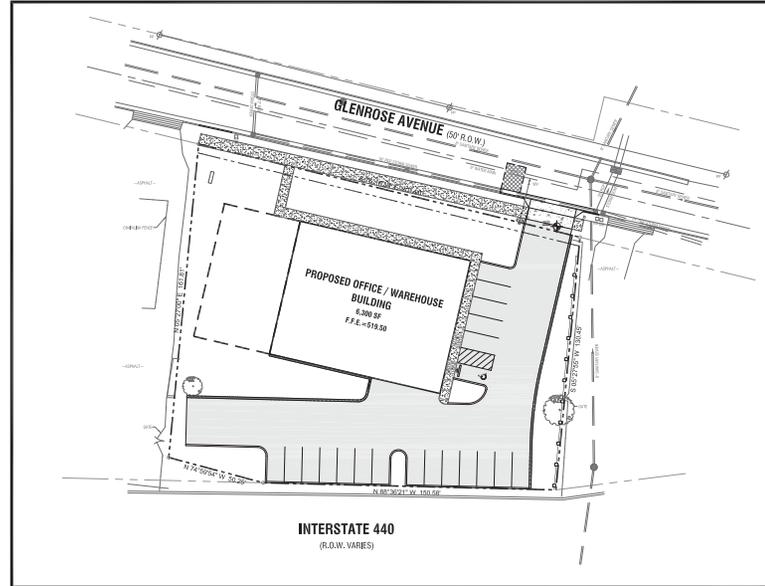
# PLANNING AND DESIGN COMMISSION SUBMITTAL FOR

# 95 GLENROSE AVENUE SP

## NASHVILLE, DAVIDSON COUNTY, TENNESSEE CASE NO. 2013SP-045-001

### INDEX OF DRAWINGS

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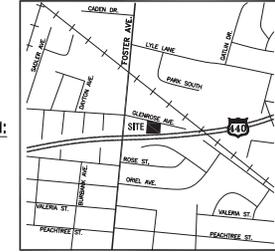
Know what's below.  
Call before you dig.

#### SOURCE OF VERTICAL DATUM:

811  
NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS) GPS STATION OR GPS RAPID STATIC SURVEY SESSION DATED SEPTEMBER 11, 2013.

TEAM  
P.S.C. NAME SET BY THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE.  
ELEVATION = 513.48 (NAVD 88)

CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



VICINITY MAP

#### SITE DATA TABLE

CITY:	NASHVILLE
COUNTY:	DAVIDSON
STATE:	TENNESSEE
COUNCIL/DISTRICT:	17A SANDRA NOOSE
ZONING CLASSIFICATION:	RS-5 (EXISTING); SP (PROPOSED)
PERMITTED LAND USE:	GENERAL OFFICE & WAREHOUSE & RETAIL
TOTAL ACRES OF SITE:	0.69 ± ACRES
TOTAL SQUARE FOOTAGE OF SITE:	30,044 SF
MAXIMUM FLOOR AREA RATIO (FAR):	0.80
MAXIMUM IMPERVIOUS SURFACE RATIO (ISIR):	0.80
MINIMUM BULK REQUIREMENTS:	
- BUILD TO ZONE REQUIRED:	5' - 20'
- SIDE YARD SETBACK REQUIRED:	5'
- REAR YARD SETBACK REQUIRED:	20'
SITE LOCATION:	95 GLENROSE AVENUE
PROPOSED BUILDING AREA:	6,300 SF + 2,400 SF (FUTURE)
MAXIMUM BUILDING HEIGHT:	29' - ONE STORY
PARKING REQUIREMENTS:	OFFICE: 1 SPACE PER 500 SF WAREHOUSE: 1 SPACE PER 1,000 SF
TOTAL PARKING REQUIRED:	16 SPACES
PARKING PROVIDED:	20 SPACES (INCL 1 ADA ACCESSIBLE SPACE)

#### GENERAL NOTE:

FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUN-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST FOR APPLICATION.

#### PURPOSE NOTE:

THE PURPOSE OF THIS PLAN IS TO PERMIT AN OFFICE/WAREHOUSE BUILDING AND REQUIRED PARKING FOR FACILITY.

PLANS PREPARED FOR:

1237 BEECH HOLLOW DR.  
NASHVILLE, TN 37211  
(615) 967-8855

PLANS PREPARED BY:

4209 GALLATIN PKE  
NASHVILLE, TN 37216  
TEL: (615) 227-5865 FAX: (615) 227-5866

**PROPOSED  
OFFICE / WAREHOUSE**

95 GLENROSE AVENUE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO. 2013SP-045-001



REV.	DATE	DESCRIPTION

DATE: 11-18-13

DMG Project No: 12137

COVER SHEET

**C0.0**

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



SCALE: 1"=20'

MAP 119-02 PARCEL 97



**LEGEND**

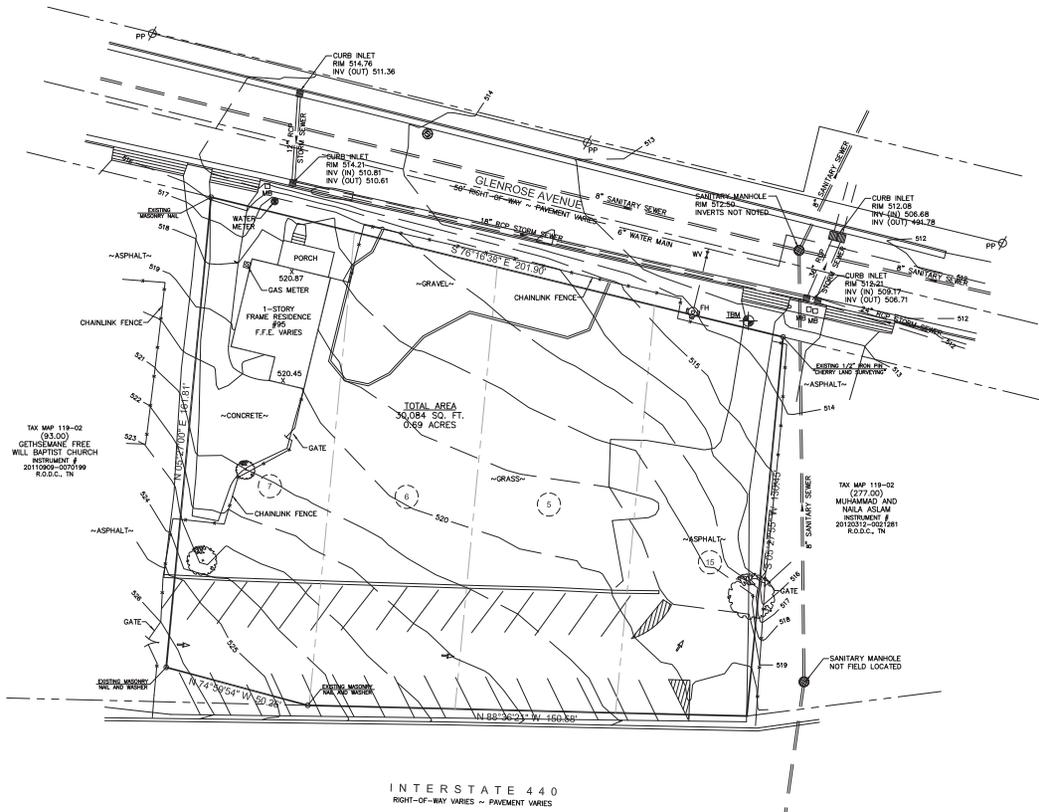
○ FOUND PIN OR PIPE (P/O)	⊙ TELEPHONE MANHOLE
⊙ SET IRON PIN (IR/P)	⊠ PHONE PEDESTAL
⊙ FOUND MONUMENT (MON/O)	⊠ GAS METER
⊠ SET MONUMENT (MON/M)	⊠ GAS VALVE
⊠ ELECTRIC JUNCTION BOX	⊙ STORM SEWER MANHOLE
⊠ CABLE PEDESTAL	⊙ CATCH BASIN OR CURB INLET
⊙ LIGHT POLE	⊙ SANITARY SEWER MANHOLE
⊙ POWER POLE	⊠ FENCE
→ GUY WIRE	⊠ GUARDRAIL
⊙ BENCHMARK	⊙ WATER METER
⊙ DECIDUOUS TREE	⊠ WATER VALVE
⊙ CONIFEROUS TREE	⊙ FIRE HYDRANT
⊙ FLOWERING TREE	⊠ POST INDICATOR VALVE
○ SHRUB / BUSH	⊙ MONITORING WELL
	⊙ GEOTECHNICAL TEST PIT



VICINITY MAP  
(N.T.S.)

**SURVEYOR'S NOTES:**

- The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.
- Subsurface and environmental conditions were not examined or considered as a part of this survey. No statement is made concerning the existence of underground containers, facilities, wells, wetlands, sinkholes, unmarked grave sites, or debris that may affect the use or development of this tract.
- This drawing was prepared in accordance with my field survey notes. It shows improvements as they exist to the best of my knowledge, but is not guaranteed to be correct in each and every detail.
- The property shown hereon is located within the City of Nashville, City Limits and Davidson County, Tennessee. All matters pertaining to construction, use, location of improvements, signage, parking, noise, vibration, emissions, fire hazards, landscape, radiation, illumination, setback provisions, etc., are subject to the Zoning Regulations as interpreted and regulated by the Department of Planning and Codes.  
Current Zoning is "RS-5" Residential Single Family  
Front Setback - 7'0"  
Side Setback - 1'0"  
Rear Setback - 2'0"
- The total area of the parcel as shown hereon is 0.65± Acres or 30,084± Square Feet.
- This property currently identified as Parcel 97.00 on Tax Map No. 11542. For designation shown thus (P/O) indicates Parcel Numbers for said map.
- Deed reference: Instrument # 20120713-0061745, as recorded in the Register's Office, Davidson County, Tennessee.
- Plat reference: Deed Book 332, Page 42, as recorded in the Register's Office, Davidson County, Tennessee.
- Bearings based on: Tennessee State Plane (NAD 83).
- By my review of available information, which is subject to map inaccuracies and scaling, this property is in Zone "X" of the Flood Insurance Rate Map Community Flood Number 4203/02038E effective date of April 30, 2001.  
Only an elevation certificate can determine the exact designation. Based on the information above, this property is NOT in a special flood hazard area.
- This survey was prepared from current deeds of record without the benefit of facts and does not represent a title search or a guarantee of title, and is subject to any state of facts as current, full or accurate search may reveal. No investigation or independent search for encumbrances, restrictive covenants, or ownership title evidence has occurred. The surveyor reserves the right to revise any assessment(s) not provided for or known of per the date of this survey.
- The Surveyor's liability for this document shall be limited to the party shown in the title of the survey, and does not extend to any unpaired person or entities without an expressed re-certification.
- Elevations and contours were derived using digital terrain modeling by: 1. Radial Triangulation with a Topcon 6205A Robotic Total Station and/or 2. GPS with a Topcon Hiper Lite 1 Dual Frequency RTK base and rover. Contour intervals are one (1) foot, and the source of vertical datum is as listed below.



INTERSTATE 440  
RIGHT-OF-WAY VARIES ~ PAVEMENT VARIES

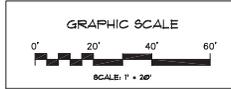
**PARTIAL TOPOGRAPHIC SURVEY**  
OF  
**LOTS 5, 6, 7 AND 15**  
OF  
**CUMBERLAND NURSERIES PLAN**  
ALSO KNOWN AS  
**MTLC PROPERTIES, LLC PROPERTY**  
95 GLENROSE AVENUE, 17TH COUNCILMANIC DISTRICT  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
PREPARED FOR  
**DEVELOPMENT MANAGEMENT GROUP, LLC**

**UTILITY OWNERS**

- |  |  |
|--|--|
| <b>WATER AND SEWER</b><br>METRO WATER AND SEWERAGE SERVICES<br>1600 SECOND AVENUE NORTH<br>NASHVILLE, TN 37208<br>(615) 862-4505 | <b>GAS</b><br>Piedmont Natural Gas<br>665 MAINSTREAM DRIVE<br>NASHVILLE, TN 37228<br>(704) 364-3120              |
| <b>CABLE</b><br>COMCAST<br>660 MAINSTREAM DRIVE<br>NASHVILLE, TN 37228<br>(615) 244-5900   | <b>ELECTRIC</b><br>NES NASHVILLE ELECTRIC SERVICE<br>1214 CHURCH STREET<br>NASHVILLE, TN 37203<br>(615) 747-3641 |

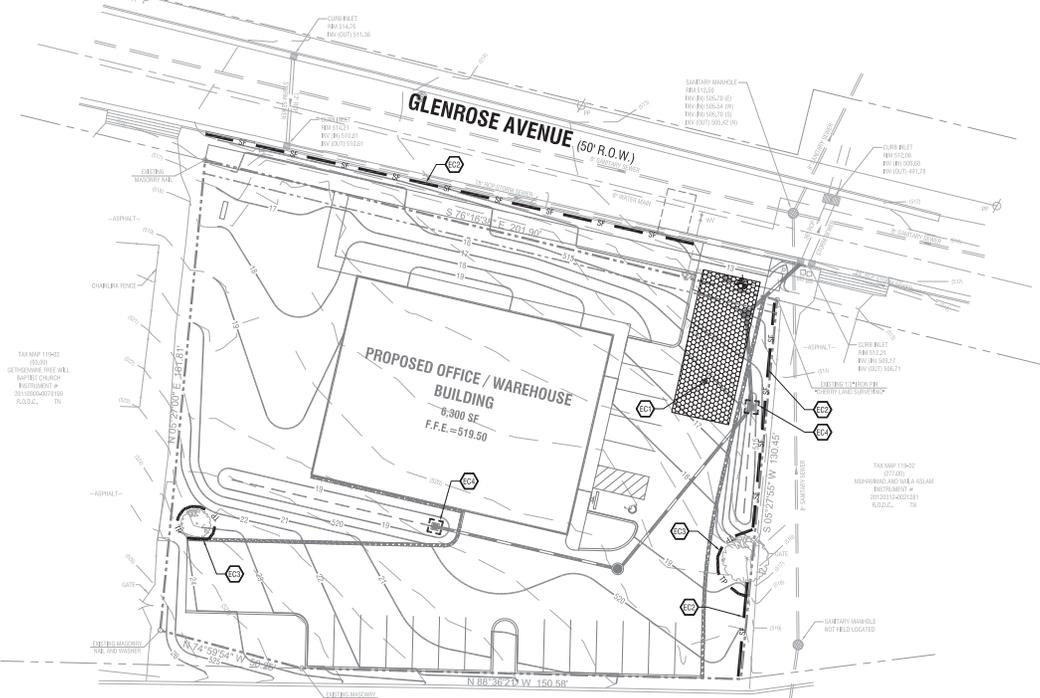
**SOURCE OF VERTICAL DATUM**

- IF YOU DIG IN TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW
- TELEPHONE**  
AT&T  
2501 PARK PLAZA  
NASHVILLE, TN 37203  
(615) 344-5269
- BM**  
NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS)  
GPS STATIC OR GPS RAPID STATIC SURVEY SESSION DATED 9/11/13.
- IBM**  
P.K. NAL SET IN THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE.  
ELEVATION 513.48 (NAVD 88)



DESIGNED BY:  
**BLUE RIDGE SURVEYING, INC.**  
145 WEST MAIN STREET, P.O. BOX 807, GALLATIN, TENNESSEE  
OFFICE (615) 484-8799 CELL (615) 428-4449  
BLUESURV@GMAIL.COM

4208 GALLATIN PIKE  
NASHVILLE, TENNESSEE 37216  
DATE OF SURVEY: SEPTEMBER 11, 2013  
DATE OF DRAWING: SEPTEMBER 13, 2013



**INTERSTATE 440**  
(R.O.W. VARIES)

**STORMWATER NOTE:**

1. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 29-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
3. CONTRACTOR TO PROVIDE AN AREA FOR TRUCK WASH AND/OR EQUIPMENT WASHING, IF PROPOSED, IN ACCORDANCE WITH METRO CP-10 AND/OR CP-13, RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT.
4. ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO ANY AS-BUILT APPROVALS.

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 19, AS-BUILT CERTIFICATION, MISSISSIPPIAN DEVELOPMENT SHALL APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION & WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION & WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SIGNATURE ALTERATIONS

THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

**FLOOD NOTE:**

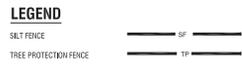
THE DESCRIBED PROPERTY IS LOCATED IN A FLOOD HAZARD ZONE "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 4705020005F WHICH BEARS AN EFFECTIVE DATE OF APRIL 20, 2001.

**NOTE:**

GRADING PERMITTEE TO INCLUDE BMPs DESIGNED TO CONTROL SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND / OR NOTES REFERRING TO S&D BMPs SHALL BE SHOWN ON THE EPSC PLAN.

**NOTES BY SYMBOL**

CODE	DESCRIPTION	DETAIL
①	TEMPORARY CONSTRUCTION ENTRANCE - TCE-03	2/E/1
②	SILT FENCE - TCE-13	1/E/1
③	TREE PROTECTION FENCE	4/E/1
④	PILE PROTECTION	3/E/1



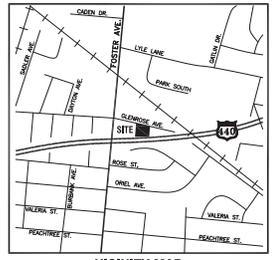
Know what's below.  
Call before you dig.

**SOURCE OF VERTICAL DATUM:**

811 NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS) GPS STATIC OR GPS RAPID STATIC SURVEY SESSION DATED SEPTEMBER 11, 2015.

THE POINT NAME SET BY THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE. ELEVATION = 513.48 (NAVD 88)

CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



**TYPICAL NOTES**

1. ALL CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND THE CONTRACT DOCUMENTS. PRELIMINARY INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INAPPROPRIATELY OR INCORRECTLY, THE CONTRACTOR MUST REPLACE OR MODIFY THE CONTROL FOR SITE CONDITIONS.
2. IF SEGMENT ESCAPES THE CONSTRUCTION SITE OR OFF-SITE ACCUMULATIONS OF SEGMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS. PERMITTEES SHALL NOT DELAY REMEDIATION/RESTORATION OF A STREAM WITHOUT CONSULTING THE DOWNSTREAM AGENCIES. THIS PERMIT DOES NOT, HOWEVER, AUTHORIZE ACCESS TO PRIVATE PROPERTY.
3. SEGMENT SHOULD BE REMOVED FROM SEGMENT TRAPS, SILT FENCES, SEDIMENTATION PITS, AND OTHER SEGMENT CONTROLS AS NECESSARY, AND MUST BE REMOVED WHEN CARRYING CAPACITY HAS BEEN REDUCED BY 50%.
3. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
4. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 14 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDING AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
5. CLEANING AND GRUBBING MUST BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION.
6. CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENuded AREAS.
7. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE MAINTAINED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
8. THE FOLLOWING RECORDS SHALL BE MAINTAINED ON-SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE OR A PORTION OF THE SITE; AND THE DATES WHEN STABILIZATION MEASURES ARE INSTALLED.
9. STABILIZATION MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO SITUATIONS: (1) WHERE THE MEASUREMENT OF STABILIZATION MEASURES BY THE SEVENTH DAY IS PRECIPITATED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL; OR (2) WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTHMOVING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INSTALLED ON THAT PORTION OF SITE.
10. CONSTRUCTION MUST BE PHASE FOR PROTECTION WHICH COVER 50 ACRES OF SOIL, WILL BE OBTAINED. AREAS OF THE COMPLETED PHASE MUST BE STABILIZED WITHIN 15 DAYS AFTER ANOTHER PHASE HAS BEEN INITIATED OR OTHERS PREVIOUSLY PROVIDED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES. AFTER USE, SILT FENCES SHOULD BE REMOVED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
11. TEMPORARY OR PERMANENT SOIL STABILIZATION SHALL BE ACCOMPLISHED WITHIN 10 DAYS AFTER FINAL GRADING OR OTHER EARTH WORK. PERMANENT STABILIZATION (PERMANENT VEGETATION OR OTHER PERMANENTLY STABLE, NON-ERODING SURFACE) SHALL REPLACE ANY TEMPORARY MEASURES AS SOON AS PRACTICABLE.
12. NO SOLID MATERIALS INCLUDING BUILDING MATERIAL, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES EXCEPT AS AUTHORIZED BY A DESIGNATED POINT AND/OR THROUGH A DESIGNATED TREATMENT POINT.
13. OFF-SITE VEHICLE TRACKING OF SEGMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED.

**SCHEDULE OF INSPECTIONS AND MAINTENANCE NOTES**

1. INSPECTIONS SHALL BE DONE BEFORE ANTICIPATED STORM EVENTS (OR SERIES OF STORM EVENTS SUCH AS INTERMITTENT SHOWERS OVER ONE OR MORE DAYS), AND WITHIN 24 HOURS AFTER THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER, AND AT LEAST TWICE A WEEK, BUT AT LEAST 72 HOURS APART, WHEN PORTIONS OF THE SITE HAVE BEEN FULLY OR TEMPORARILY STABILIZED, OR FLOODING IS LIKELY DUE TO LIMITED CONDITIONS (E.G. SOIL COVERED WITH SNOW, ETC. OR FROZEN GROUND). EACH INSPECTION ONLY HAS TO BE CONDUCTED ONCE PER MONTH.
2. INSPECTIONS AND ASSOCIATED NECESSARY REPAIRS DURING 80 HOURS BEFORE A RAIN EVENT CONSTITUTE COMPLIANCE WITH "BEFORE ANTICIPATED STORM EVENTS" AND INSPECTIONS AND REPAIRS ON A RAIN EVENT MEET THE REQUIREMENTS FOR RAIN EVENTS OVER THE WEEKEND.
3. QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FULLY STABILIZED. AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
4. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES INSTALLED IN THE STORM WATER POLLUTION PREVENTION PLAN AND BY THE CONTRACT DOCUMENTS SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY.
5. OUTFALL POINTS (WHERE DEBRIS FROM THE SITE ENTERS DITCHES OR NEAR WEATHER CONVEYANCES) SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS, WHERE DISCHARGE LOCATIONS ARE ACCESSIBLE. NEARBY DOMESTIC WATER LOCATIONS SHALL BE INSPECTED IF POSSIBLE. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR DEBRIS OR OFF-SITE SEDIMENT TRACKING.
6. BASED ON THE RESULTS OF THE INSPECTION, ANY INADEQUATE CONTROL MEASURES OR CONTROL MEASURES IN DEEPER FAIL SHALL BE REPLACED OR IMPROVED, OR REPAIRED AS NECESSARY, BEFORE THE RAIN EVENT IF POSSIBLE, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE NEXT RAIN EVENT. IF MAINTENANCE IS NOT COMPLETED BY THE NEXT ANTICIPATED STORM EVENT, MAINTENANCE MUST BE SCHEDULED AND ACCOMPLISHED AS SOON AS PRACTICABLE.
7. BASED ON THE RESULTS OF THE INSPECTION, THE SITE DESCRIPTION PROVIDED, AND THE POLLUTION PREVENTION MEASURES PRESENTED IN THIS PLAN MAY BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS SHALL PRIOR TO THEIR APPLICATION OF ANY CHANGES TO THIS PLAN IN NO CASE LATER THAN 14 CALENDAR DAYS FOLLOWING THE INSPECTION.
8. INSPECTIONS SHALL BE DOCUMENTED AND INCLUDE THE SCOPE OF THE INSPECTION, NAME(S) AND TITLE OR QUALIFICATION OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATIVE TO THE MAINTENANCE OF THE STORM WATER POLLUTION PREVENTION PLAN, INCLUDING THE LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE AND OF ANY CONTROL MEASURES THAT SHALL BE REPAIRED AS DECIDED OR PROVIDED BACKGROUND FOR A PARTICULAR LOCATION AND ACTIONS TAKEN IN ACCORDANCE IN PARAGRAPH 4 ABOVE.

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



SCALE: 1"=20'



PLANS PREPARED FOR:

**MTLC**  
BUILDING GROUP

1237 BEECH HOLLOW DR.  
NASHVILLE, TN 37211  
(615) 967-8855

PLANS PREPARED BY:

**Development Management Group, LLC**

4209 GALLATIN PKE  
NASHVILLE, TN 37216  
TEL: (615) 227-5865 FAX: (615) 227-5866

**PROPOSED**

**OFFICE / WAREHOUSE**

95 GLENROSE AVENUE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO. 2013SP-045-001



REVISIONS

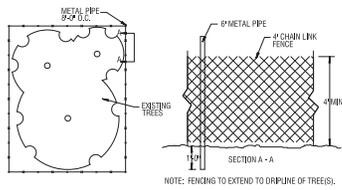
NO.	DATE	DESCRIPTION

DATE: 11-18-13

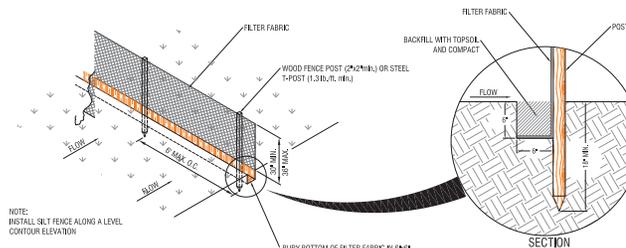
DMG Project No: 12137

EROSION & SEDIMENT CONTROL PLAN

**C1.0**

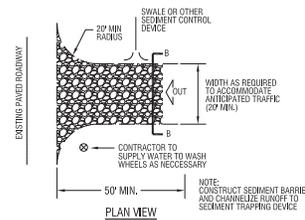
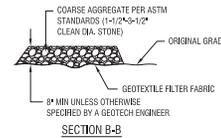


**4 TREE PROTECTION DETAIL**  
NTS

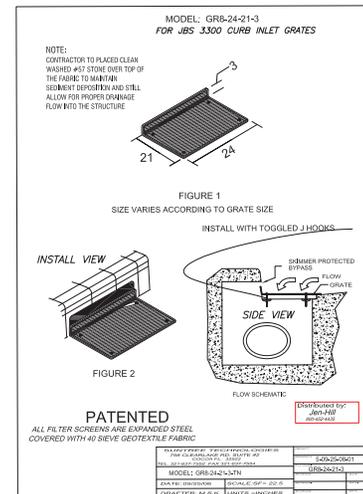


SPECIFICATIONS	
Tensile Strength (40c, Min.) (1) (ASTM D-4832)	Warp-120 Fill-100
Elongation (% Min.) (ASTM D-4832)	40
ASS (Apparent Opening Size) (Max. 50 Mic. Size) (ASTM D-4751)	#30
Flow Rate (Gal/Min/Sq. Ft.) (GDI-87)	25
Drainage Stability (2) (ASTM D-4832 after 300 hours weathering in accordance with ASTM D-4355)	80
Burning Strength (PSI Min.) (ASTM D-3786 Uplamin Burning Strength Tester)	175
Minimum Fabric Width (Inches)	36

**1 SILT FENCE**  
NTS



**2 TEMPORARY CONSTRUCTION EXIT**  
NTS



**3 INLET PROTECTION**  
NTS

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION

SCALE: AS NOTED

PLANS PREPARED FOR:  
**MTLC BUILDING GROUP**  
1237 BEECH HOLLOW DR.  
NASHVILLE, TN 37211  
(615) 967-2855

PLANS PREPARED BY:  
**Development Management Group, LLC**  
4209 GALLATIN PKE  
NASHVILLE, TN 37216  
TEL: (615) 227-5865 FAX: (615) 227-5866

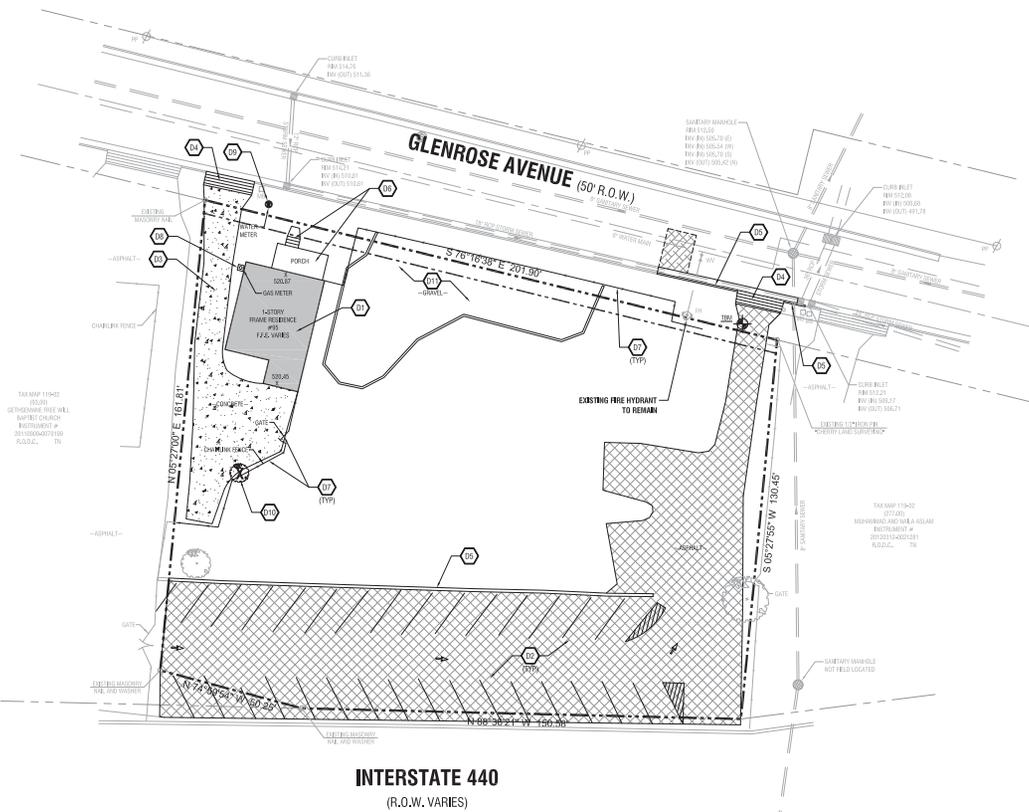
**PROPOSED OFFICE / WAREHOUSE**  
95 GLENROSE AVENUE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO. 2013SP-045-001



REV.	DATE	DESCRIPTION

DATE: 11-18-13  
DMG Project No: 12137

EROSION & SEDIMENT CONTROL DETAILS  
**C1.1**



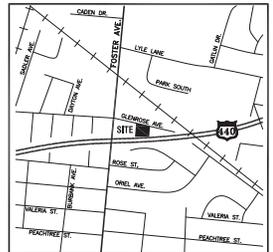
Know what's below.  
Call before you dig.

**SOURCE OF VERTICAL DATUM:**

**811**  
NATIONAL GEODETIC SURVEY (NAD83) ONLINE POSSESSION USER SERVICE (GPS) GPS STATIC OR GPS RAPID STATIC SURVEY SESSION DATED SEPTEMBER 11, 2015.

**TEAM**  
P.C. HAS SET IN THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE. ELEVATION = 513.48 (NAVD 88)

CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



**SITE DEMOLITION NOTES**

1. THE CONTRACTOR SHALL CONFORM TO LOCAL CODES, OBTAIN ALL PERMITS AND GIVE ALL NOTICES REQUIRED FOR EXECUTION OF THE WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNERS REPRESENTATIVE.
4. SAW CUT TO PROVIDE A CLEAN EDGE IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED. THE EXTENT OF PAVEMENT DEMOLITION SHALL BE COORDINATED WITH THE LIMIT OF NEW IMPROVEMENTS ON THE PROPOSED SITE IMPROVEMENT PLANS.
5. THE CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNERS REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES.
6. GATES LEFT BY STRUCTURE REMOVAL SHALL BE SURFACED, BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING RECOMMENDATIONS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL USE WATER SPRINKLING AND/OR OTHER SUITABLE METHODS AS NEEDED TO CONTROL DUST CAUSED BY THE DEMOLITION.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
9. THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS AT NO COST TO THE OWNER.
10. SITE LIGHTING DEMOLITION AND LAYOUT SHALL BE COORDINATED WITH THE ELECTRICAL DRAWINGS.
11. RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE.
12. EXISTING SHRUBS TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION.
13. NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED, INSPECTED, AND ARE PLACED INTO OPERATION.
14. THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES WHILE DEMOLISHING EXISTING UTILITY LINES.

**UTILITY NOTES & OWNERS:**

The information shown herein was taken from actual field notes, utility agency records, or any other available sources. Other utilities may exist and may not be shown, or may vary from what shown. No guarantee is expressed or implied in regard to the accuracy of the information shown herein. The Owner and Contractor shall assume responsibility for any utility relocation, line location, depth, and availability of services, and be solely responsible for contacting the utility location service prior to commencing construction.

**WATER AND SEWER**  
METRO WATER AND SEWERAGE SERVICES  
1600 SECOND AVENUE NORTH  
NASHVILLE, TN 37208  
(615) 862-4505

**GAS**  
PIEDMONT NATURAL GAS  
685 MAINSTREAM DRIVE  
NASHVILLE, TN 37208  
(704) 364-5120

**CABLE**  
COMCAST  
680 MAINSTREAM DRIVE  
NASHVILLE, TN 37208  
(615) 244-5900

**ELECTRIC**  
NES NASHVILLE ELECTRIC SERVICE  
1214 CHURCH STREET  
NASHVILLE, TN 37203  
(615) 747-5641

**TELEPHONE**  
AT&T  
2901 PARK PLAZA  
NASHVILLE, TN 37203  
(615) 344-5288

DEMOLITION NOTES BY SYMBOL		
CODE	DESCRIPTION	DETAIL
(Symbol)	REMOVE EXISTING BUILDING, SLAB, FOOTINGS & FOUNDATIONS	
(Symbol)	REMOVE EXISTING ASPHALT PAVEMENT	
(Symbol)	REMOVE EXISTING CONCRETE PAVEMENT	
(Symbol)	REMOVE EXISTING CONCRETE SIDEWALK/DRIVEWAY RAMP	
(Symbol)	REMOVE EXISTING CONCRETE CURB	
(Symbol)	REMOVE EXISTING PORCH AND STEPS	
(Symbol)	REMOVE EXISTING CHAIN LINK FENCE & GATES	
(Symbol)	REMOVE EXISTING GAS METER & SERVICE	
(Symbol)	REMOVE EXISTING WATER METER & SERVICE & CAP	
(Symbol)	REMOVE EXISTING TREE	
(Symbol)	REMOVE EXISTING GRAVEL	

**PROPOSED FEATURE LEGEND**

- BUILDING TO BE REMOVED
- ASPHALT TO BE REMOVED
- CONCRETE TO BE REMOVED
- TREE TO BE REMOVED

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



SCALE: 1"=20'

MAP 119-02 PARCEL 97

PLANS PREPARED FOR:  
**MTLC BUILDING GROUP**  
1237 BEECH HOLLOW DR.  
NASHVILLE, TN 37211  
(615) 997-8885

PLANS PREPARED BY:  
**Development Management Group, LLC**  
4209 GALLATIN PKE  
NASHVILLE, TN 37216  
TEL: (615) 227-5865 FAX: (615) 227-5866

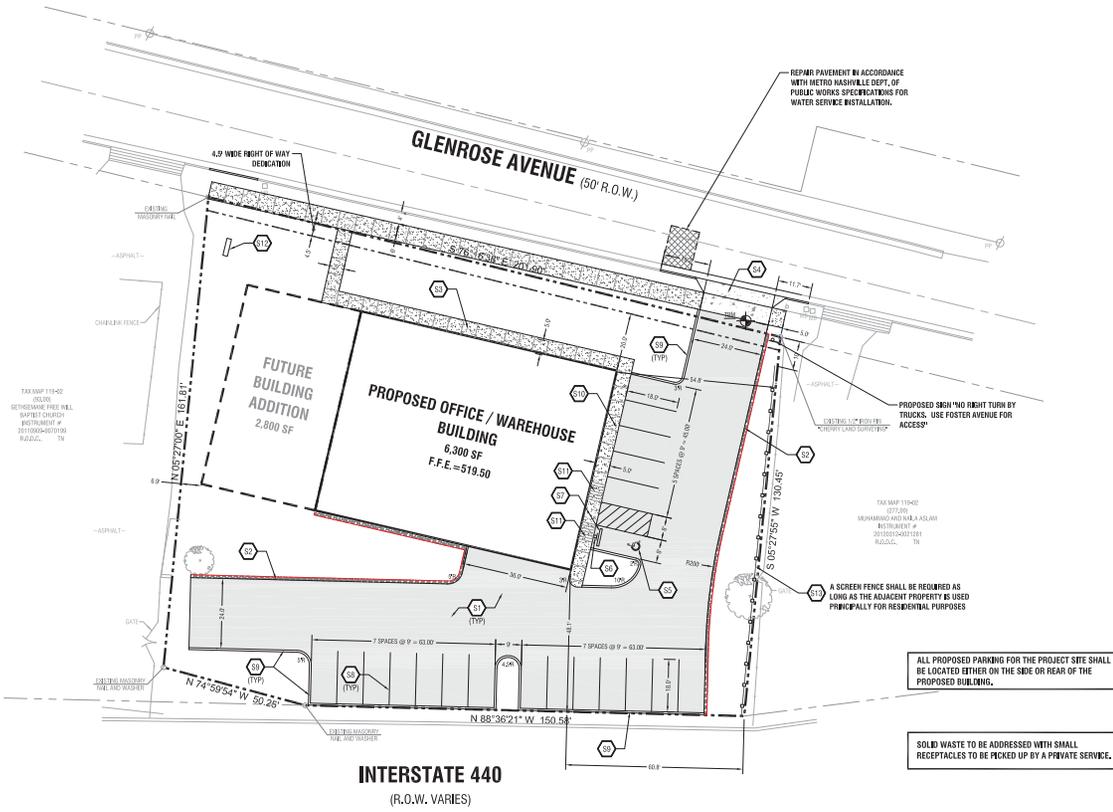
**PROPOSED OFFICE / WAREHOUSE**  
95 GLENROSE AVENUE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO. 2013SP-045-001



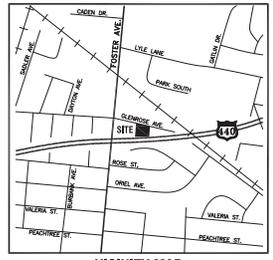
REV.	DATE	DESCRIPTION

DATE: 11-18-13  
DMG Project No: 12137

SITE DEMOLITION PLAN  
**C2.0**



**SOURCE OF VERTICAL DATUM:**  
 811 NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITONING USER SERVICE (OPUS) GPS STATION OR OPUS HARD STATION SURVEY SESSION DATED SEPTEMBER 11, 2015.  
 TBM P.C. NAME SET BY THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE. ELEVATION = 513.48 (NAVD 88)  
 CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



- SITE IMPROVEMENT NOTES:**
1. BASE INFORMATION WAS TAKEN FROM AN ALTA/CMR LAND TITLE SURVEY PREPARED BY BLUE RIDGE SURVEYING, INC. DATED SEPTEMBER 2014. DEVELOPMENT MANAGEMENT GROUP, LLC SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
  2. THE PROJECT SITE IS LOCATED AT 95 GLENROSE AVENUE, NASHVILLE, TENNESSEE.
  3. THE SITE LAYOUT IS BASED ON DIMENSIONS AS NOTED.
  4. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, E.G., INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF UTILITY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
  5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
  6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL, WHERE NECESSARY BEFORE CONSTRUCTION.
  7. EXISTING PAVEMENT OF PUBLIC ROADSWAYS SHALL BE PATCHED OR AS OTHERWISE DIRECTED BY ACCORDANCE WITH LOCAL AGENCY STANDARDS. WHEREVER FULLY INSTALLATION IS REQUIRED FOR THE EXISTING PAVEMENT.
  8. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY, WHERE IT BECOMES NECESSARY TO REMOVE EXISTING PAVEMENT. IT SHALL BE ACCOMPANIED WITH A SAW CUT TO ACHIEVE A SMOOTH TRANSITION.
  9. DIMENSIONS ARE TO EDGE OF PAVEMENT. FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
  10. CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3,000 PSI CONCRETE.
  11. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR AS OTHERWISE DIRECTED BY ACCORDANCE WITH LOCAL AGENCY STANDARDS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER OWNERS' EXPENSE TO THE OWNER.
  12. ADA ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:10.
  13. THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.
  14. THE CONTRACTOR SHALL NOT BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
  15. ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL GOVERNING AGENCY.
  16. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE LOCAL GOVERNING AGENCY REGULATIONS AND SPECIFICATIONS.
  17. ALL PAVEMENT MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LOCAL GOVERNING AGENCY AND DOT STANDARDS AND SPECIFICATIONS.
  18. ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
  19. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING THE SITE UNTIL THE WORK IS ACCEPTED BY TOTAL BY THE OWNER.
  20. ANY DEFICIENCIES WITHIN THE SITE PRIOR TO TOTAL ACCEPTANCE BY THE OWNER MUST BE REPLACED BY AND PER STANDARD DIMENSIONS.
  21. CURBS SHALL BE PARALLEL TO THE CENTERLINE OF DOWNS. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (P.C. & P.T. OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
  22. THE PROPOSED BUILDING SHALL BE Laid OUT PER THE DIMENSIONS PROVIDED AND THE ARCHITECTURAL PLANS. DIMENSIONS SHOWN TO THE PROPOSED BUILDING ARE CALCULATED TO THE FACE OF THE EXTERIOR WALL, REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

PLANS PREPARED FOR:  
**MTLC BUILDING GROUP**  
 1237 BEECH HOLLOW DR.  
 NASHVILLE, TN 37211  
 (615) 997-8855

PLANS PREPARED BY:  
**Development Management Group, LLC**  
 4209 GALLATIN PKE  
 NASHVILLE, TN 37216  
 TEL: (615) 227-5865 FAX: (615) 227-5866

**PROPOSED OFFICE / WAREHOUSE**  
 95 GLENROSE AVENUE  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE NO. 2013SP-045-001



**INTERSTATE 440**  
 (R.O.W. VARIES)

ALL PROPOSED PARKING FOR THE PROJECT SITE SHALL BE LOCATED EITHER ON THE SIDE OR REAR OF THE PROPOSED BUILDING.

SOLID WASTE TO BE ADDRESSED WITH SMALL RECEPTACLES TO BE PICKED UP BY A PRIVATE SERVICE.

NOTES BY SYMBOL		
CODE	DESCRIPTION	DETAIL
ASPH	ASPHALT PAVEMENT SECTION	1.0x6.0
UNCUR	UNCURED PAVEMENT EDGE: PROVIDE 12" WIDE, 2" DEEP GRAVEL STRIP AT PAVEMENT EDGE	11x0.0
CONCR	CONCRETE SIDEWALK	4.0x6.0
COMM	COMMERCIAL DRIVEWAY RAMP	18.0x3.0
ADA	ADA ACCESSIBLE SYMBOL	0.4x0.6
ADA	ADA ACCESSIBLE PARKING SIGN	0.6x0.6
CONCR	CONCRETE WHEELSTOP	0.6x0.6
4"	4" WIDE WHITE PAINTED LINE (S HEL. PARK)	0.6x
CONCR	CONCRETE EXTRUDED CURB	6.0x0.6
CONCR	CONCRETE SIDEWALK WITH TURN DOWN CURB	3.0x0.6
ADA	ADA ACCESSIBLE RAMP	3.0x0.6
WIRING	WIRING SHOWN BY OTHER CONTRACTOR TO PROVIDE ELECTRIC TO SIGN	
6"	6" TALL WOOD SCREEN FENCE	

SITE DATA TABLE	
CITY:	NASHVILLE
COUNTY:	DAVIDSON
STATE:	TENNESSEE
COUNCILMANIC DISTRICT:	17th. SANDRA MOORE
ZONING CLASSIFICATION:	RS-5 (EXISTING); SP (PROPOSED)
PERMITTED LAND USE:	GENERAL OFFICE & WAREHOUSE & RETAIL
TOTAL ACREAGE OF SITE:	0.69± ACRES
TOTAL SQUARE FOOTAGE OF SITE:	30,84± SF
MAXIMUM FLOOR AREA RATIO (FAR):	0.60
MAXIMUM IMPERVIOUS SURFACE RATIO (IRSI):	0.80
MINIMUM BULK REQUIREMENTS:	
- BUILD TO ZONE REQUIRED:	0'-20"
- SIDE YARD SETBACK REQUIRED:	0'
- REAR YARD SETBACK REQUIRED:	20'
SITE LOCATION:	
PROPOSED BUILDING AREA:	6,300 SF ± 2,800 SF (FUTURE)
MAXIMUM BUILDING HEIGHT:	25' - ONE STORY
PARKING REQUIREMENTS:	
OFFICE:	1 SPACE PER 300 SF
WAREHOUSE:	1 SPACE PER 1,000 SF
TOTAL PARKING REQUIRED:	
16 SPACES	
PARKING PROVIDED:	
20 SPACES (INCL 1 ADA ACCESSIBLE SPACE)	

**GENERAL NOTE:**  
 FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUNICIPAL ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

**PROPOSED FEATURE LEGEND**

PROPOSED ASPHALT PAVEMENT	
PROPOSED CONCRETE PAVEMENT	
PROPOSED CONCRETE SIDEWALK	



MAP 119-02 PARCEL 97

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



SCALE: 1"=20'

REV.	DATE	DESCRIPTION

DATE: 11-16-13  
 DMG Project No: 12137

SITE GEOMETRY PLAN

**C3.0**



Know what's below.  
Call before you dig.

**SOURCE OF VERTICAL DATUM:**

**811 NATIONAL GEODETIC SURVEY (NAD 83) ONLINE POSINGROUND USER SERVICE (GPS) GPS STATIC OR GPS HIGH STATIC SURVEY SESSION DATED SEPTEMBER 11, 2015.**

**TEMPORARY DATUM:** NAME SET BY THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE. ELEVATION = 513.48 (NAVD 83)

CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



VICINITY MAP

PLANS PREPARED FOR:  
**MTLC BUILDING GROUP**  
1327 BEECH HOLLOW DR.  
NASHVILLE, TN 37211  
(615) 967-8855

PLANS PREPARED BY:  
**Development Management Group, LLC**  
4209 GALATIN PKE  
NASHVILLE, TN 37216  
TEL: (615) 227-5855 FAX: (615) 227-5866

**PROPOSED OFFICE / WAREHOUSE**  
95 GLENROSE AVENUE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO. 2013SP-045-001

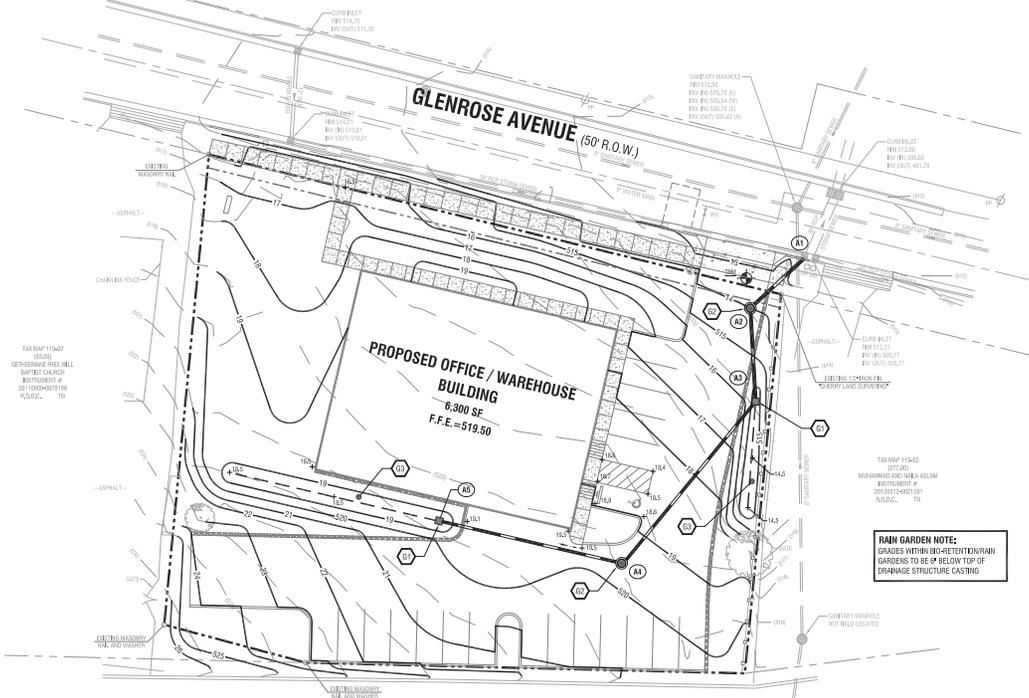


REVISIONS

NO.	DATE	DESCRIPTION

DATE: 11-18-13  
DMG Project No: 12137

**SITE GRADING & DRAINAGE PLAN**  
**C4.0**



**PROPOSED OFFICE / WAREHOUSE BUILDING**  
6,300 SF  
F.F.E. = 519.50

**RAIN GARDEN NOTE:**  
GRADES WITHIN BIO-RETENTION/RAIN GARDENS TO BE 6" BELOW TOP OF DRAINAGE STRUCTURE CASTING.

**STORM DRAINAGE PIPE**

FROM STRUCTURE ID	TO STRUCTURE ID	PIPE (SIZE/TYPE)	INVERT OUT	INVERT IN	LENGTH (LIN. FT.)	SLOPE (%)
A5	A1	10" HDPE	513.00	513.00	04	1.00
A4	A3	10" HDPE	513.00	510.20	22	5.00
A3	A2	10" HDPE	510.10	508.00	22	1.00
A2	A1	10" HDPE	508.70	508.20	25	2.00

**STORM DRAINAGE STRUCTURES**

STRUCTURE ID	STRUCTURE TYPE	ELEVATE	CASTING
A1	EXTINGUISHER	NA	
A2	JUNCTION MANHOLE	514.00	JBS 2072
A3	DRAIN INLET	513.00	JBS 4310
A4	JUNCTION MANHOLE	510.00	JBS 2072
A5	DRAIN INLET	510.00	JBS 4310

**STORMWATER NOTE:**

ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE NO. 2004 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

**NOTES BY SYMBOL**

CODE	DESCRIPTION	DETAIL
○	CATCH BASIN (SINGLE)	1.06L
⊕	JUNCTION MANHOLE	6.06L
⊖	BIO-RETENTION POND	SEE LANDSCAPE PLANS

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT ORDINANCE, VOLUME 1, SECTION 1.5, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE METRO DEPARTMENT OF WATER SERVICES PRIOR TO COMMENCEMENT OF THE PROJECT.

UNDESIRABLE VEGETATION AND WEEDS SHALL BE REMOVED AND THE AREA SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. ALL WEEDS SHALL BE COLLECTED AND DISPOSED OF AT AN APPROPRIATE FACILITY.

**NOTE:**  
CONTRACTOR, ENGINEER, OR OWNER REPRESENTATIVE SHALL NOTIFY THE DEVELOPMENT REVIEW STAFF AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF THE PLANTING SOIL.

**TENNESSEE CONSTRUCTION GENERAL PERMIT NOTICE OF COVERAGE (NOC) CERTIFICATION**

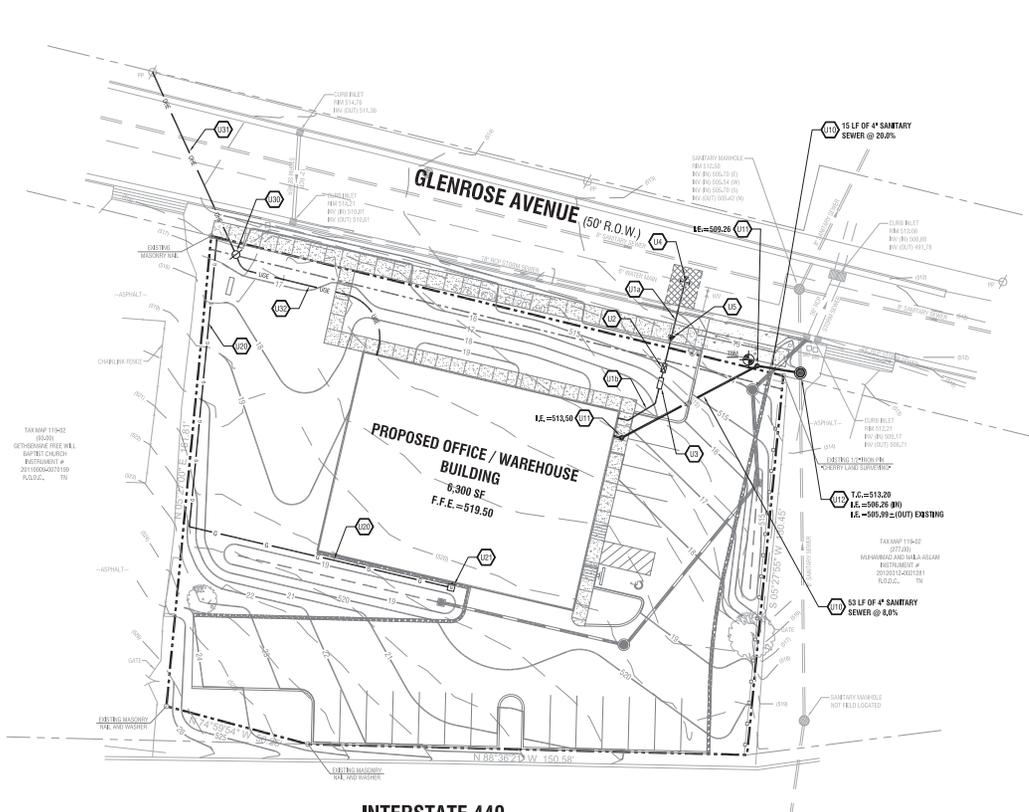
THE PROJECT ASSOCIATED WITH THESE PLANS IS COVERED UNDER TENNESSEE CONSTRUCTION GENERAL PERMIT TN-... AS DETERMINED BY APPROXIMATELY 1.0X RATES.

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



SCALE: 1"=20'

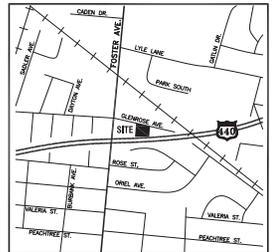
MAP 119-02 PARCEL 97



Know what's below.  
Call before you dig.

**SOURCE OF VERTICAL DATUM:**

811 NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS) GPS STATION: OR GPS RAPID STATIC SURVEY SESSION DATED SEPTEMBER 11, 2015.  
 TBM: NAME SET BY THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE. ELEVATION = 513.48 (NAVD 88)  
 CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



VICINITY MAP

**SITE UTILITY NOTES:**

1. THE PROJECT SITE IS LOCATED AT 95 GLENROSE AVENUE, NASHVILLE, DAVIDSON COUNTY, TENNESSEE.
2. THE SANITARY SEWER SHALL BE SDR 35 PVC UNLESS NOTED OTHERWISE. CONTRACTOR SHALL MAINTAIN THE LOCATION OF ALL NEW PVC LINES WITH 18" MIN. COVERS.
3. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL TAKE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED PRIOR TO THE PROJECT, THE WORK WILL REMAIN IN PLACE. OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.
4. PROVIDE A MINIMUM 3" OF COVER OVER ALL WATER LINES.
5. THE CONTRACTOR SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES, WHERE THIS CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL MAINTAIN 14" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING OF CONSTRUCTION FOR ALL UTILITIES SO THAT WATER LINES ARE NOT COVERED BY SANITARY SEWERS, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE, CHUTE OR PROPOSED.
8. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OF THE OWNERS. THE NOTIFICATION SHALL BE MADE AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
9. BEFORE CONNECTIONS ARE MADE TO EXISTING UTILITIES, THE NEW LINES ARE TO BE PUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH METRO WATER SERVICES SPECIFICATIONS.
10. ALL TRENCHES CUT IN EXISTING ROADS OR DRIVES SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100%) TO FINAL SUBGRADE WITH 4:1 STONE.
11. REPAIR ALL DAMAGE TO EXISTING FEATURES (SIL, DRIVES, ROADS, YARDS, LANDSCAPING, ETC.) TO PRE-CONSTRUCTION CONDITION.
12. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BEADS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BEADS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES. ALL BEADS AND BRACES NECESSARY MAY NOT BE ACTUALLY SHOWN. PROVIDE BRACING AND/OR PROTECTIVE ALL BEADS AND TEES AS SPECIFIED BY METRO WATER SERVICES SPECIFICATIONS.
13. REDUCED PRESSURE BACKFLOW PREVENTER (RPBP) OR DUAL CHECK WILL BE REQUIRED ON ALL TESTS AND FIRE LINES (AS APPROPRIATE) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY METRO WATER SERVICES.
14. COORDINATE THE EXACT LOCATION OF ALL UTILITIES EXISTING IN THE BUILDING WITH THE PLUMBING PLANS.
15. WATER METERS SHALL BE NO DEEPER THAN 24" FROM TOP OF METER TO PROPOSED FINISHED GRADE.
16. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF LOCAL PREVENTION AND CONSTRUCTION ISSUED BY AACE OF AMERICA.
17. THE CONTRACTOR SHALL VERIFY REQUIRED PIPE LENGTHS, EXISTING PIPE MATERIALS AND SIZES AS SHOWN ON PLANS.
18. REPAIR EXISTING SITE FEATURES THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
19. THE PROPOSED ELECTRIC, GAS, AND TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE APPROPRIATE LOCAL GOVERNING UTILITY AGENCY BY THE CONTRACTOR.
20. WHERE OVERHEAD OR UTILITY LINES OCCUR IN HILL AREAS, THE HILL MATERIAL IS TO BE REMOVED AND COMPACTED TO 95% OF MAXIMUM DENSITY ACCORDING TO ASTM D-1586 PRIOR TO INSTALLATION OF OVERHEAD OR UTILITY LINES. HILL SLOPES AND BRACES SHALL BE INSPECTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER TESTING FIRM EMPLOYED BY THE OWNER. RESULTS OF THE TEST SHALL BE FURNISHED TO THE OWNERS REPRESENTATIVE. CONTRACTOR TO PAY FOR ALL TESTING.
21. THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER LINES HORIZONTALLY AND/OR VERTICALLY TO ALLOW THE REQUIRED BRACING AT BEADS AND TEES.
22. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFE GUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THE PROJECT. IN THE EVENT THAT SPECIAL TREATMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
23. CONTRACTORS FOR WATER AND SEWER WORK MUST BE APPROVED BY METRO WATER SERVICES.
24. ALL WATER LINES AND APPURTENANCES SHALL BE OF MATERIALS AND CONSTRUCTION THAT CONFORM TO METRO WATER SERVICES SPECIFICATIONS.
25. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING MANHOLES OR SANITARY SEWER LINES AT THE POINT OF CONNECTION PRIOR TO THE COMMENCEMENT OF OPERATIONS OF WATER MAINS. CONSTRUCTION OR REPAIR ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
26. CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR LOCATION OF ANY ELECTRICAL SERVICE TO THE BUILDING.
27. MAIN LINE WATER A SEWER TAPS WILL BE MADE BY THE CONTRACTOR AND COORDINATED WITH METRO WATER SERVICES.

**METRO WATER SERVICES NOTES:**

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS DECALAS BY THE METRO WATER SERVICES.
2. THE CONTRACTORS RESPONSIBLE FOR REPAIRING THE METRO WATER SERVICES THE COST OF DISRUPTIONS.
3. THE CONTRACTORS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TOLERANCE OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VERIFYING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
5. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY GOING AND PRESSURE CONNECTOR METHOD.
6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FIRE LINES (AS APPROPRIATE) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
7. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 30" BELOW FINISHED GRADE.
8. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWERS, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON WATER SERVICE UNLESS BY REVERSE AND ORIGNAL (CONTRACTOR) SEWER PLANS SHALL BE SCALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND THE LOCATION, THE STRAIGHT OF THE END OF THE SERVICE LINES TO THE PROPERTY CORNERS AND LINES AND/OR CURBS AND OFFSET FROM CURB CONTRIBUTE TO THE SERVICE LINE. THE TOP OF THE TOP OF THE END OF THE SERVICE LINE AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SCALED BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED LAND SURVEYOR AND SHALL INCLUDE ORIGIN POINT FROM THE ROADWAY CENTERLINE, OR PROPERTY, OR FRONT-OF-WAY, LINE DEPTH, LOCATION OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CORRECTIONS BEING MADE.
9. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
11. ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.

**UTILITY NOTES & OWNERS:**

The utility information shown herein was taken from actual field inspections, city agency records, or any other available resources. Other utilities may exist and may not be shown, or may vary from what is shown. No warranty is expressed or implied in respect to the utility locations shown herein. The Owner and Contractor shall assume responsibility for utility relocation, the location, depth, and availability of all utilities, and shall be solely responsible for contacting the utility location and/or for connecting to construction.

**WATER AND SEWER**  
 METRO WATER AND SEWERAGE SERVICES  
 1600 SECOND AVENUE NORTH  
 NASHVILLE, TN 37208  
 (615) 862-4505

**GAS**  
 FREMONT NATURAL GAS  
 600 MAINSTREAM DRIVE  
 NASHVILLE, TN 37228  
 (704) 364-3120

**ELECTRIC**  
 NES NASHVILLE ELECTRIC SERVICE  
 1214 CHURCH STREET  
 NASHVILLE, TN 37203  
 (615) 747-3641

**CABLE**  
 COMCAST  
 600 MAINSTREAM DRIVE  
 NASHVILLE, TN 37208  
 (615) 244-5900

**TELEPHONE**  
 AT&T  
 2501 PARK PLAZA  
 NASHVILLE, TN 37203  
 (615) 344-5288

NOTES BY SYMBOL		
CODE	DESCRIPTION	DETAIL
(Symbol)	1" WATER SERVICE	N/A
(Symbol)	12" WATER SERVICE	N/A
(Symbol)	1" DOMESTIC WATER (UNDERGROUND)	4.06.1
(Symbol)	1" REDUCED PRESSURE BACKFLOW PREVENTER (UNDERGROUND)	5.06.1
(Symbol)	1/2" TAPPING GLOBE & VALVE	N/A
(Symbol)	2" TAP REDUCER	N/A
(Symbol)	SANITARY SEWER SERVICE (4" PVC 808-35)	N/A
(Symbol)	SANITARY SEWER CLEWOUT	2.06.1
(Symbol)	SANITARY SEWER MANHOLE	3.06.1
(Symbol)	GAS SERVICE	N/A
(Symbol)	GAS METER	N/A
(Symbol)	POLE MOUNTED TRANSFORMER	N/A
(Symbol)	OVERHEAD ELECTRICAL LINE	N/A
(Symbol)	UNDERGROUND ELECTRICAL LINE	N/A

**PROPOSED FEATURE LEGEND**



MAP 119-02 PARCEL 97

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



SCALE: 1"=20'

PLANS PREPARED FOR:  
**MTLC BUILDING GROUP**  
 1327 BEECH HOLLOW DR.  
 NASHVILLE, TN 37211  
 (615) 972-8855

PLANS PREPARED BY:  
**Development Management Group, LLC**  
 4209 GALLATIN PKE  
 NASHVILLE, TN 37216  
 TEL: (615) 227-5855 FAX: (615) 227-5866

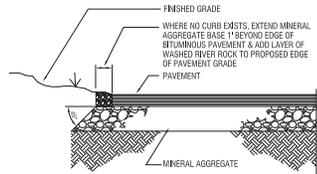
**PROPOSED OFFICE / WAREHOUSE**  
 95 GLENROSE AVENUE  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE NO. 2013SP-045-001



REV.	DATE	DESCRIPTION

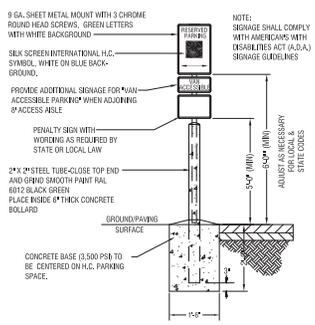
DATE: 11-16-13  
 DMG Project No: 12137  
 UTILITY SERVICES PLAN

**C5.0**



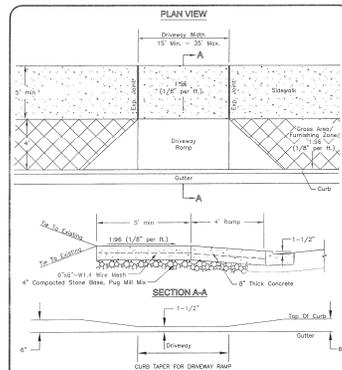
11

**UNCURBED PAVEMENT EDGE**  
NTS



9

**ADA ACCESSIBLE SIGN**  
NTS



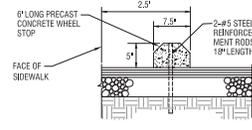
NOTE: 1. Cross-slope of sidewalk shall not exceed 1:48 (vertical/horizontal).  
2. Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the batch plant at the rate of 1 1/2 pounds per cubic yard.  
3. Concrete shall be 8" min. thick.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS  
NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP  
DWG. NO. ST-324  
DATE: 11/14/09  
REVISED: 07/27/02  
REVISED: 05/04/03

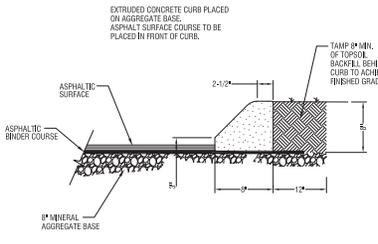
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**COMMERCIAL DRIVEWAY RAMP**  
NTS



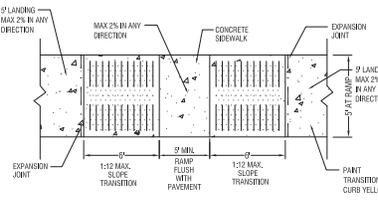
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**CONCRETE WHEELSTOP**  
NTS



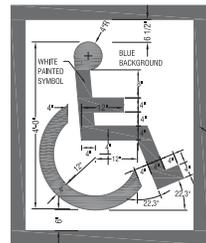
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**CONCRETE EXTRUDED CURB**  
NTS



7

**ADA ACCESSIBLE RAMP**  
NTS



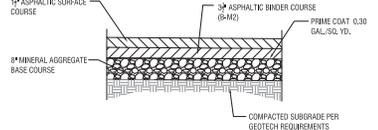
8

**ADA ACCESSIBLE SYMBOL**  
NTS

**ASPHALT PAVEMENT NOTE:**  
1. THE CONTRACTOR TO INCLUDE ADD-ON TERMINAL PRIOR TO THE FOLLOWING. THE PAVEMENT SECTIONS SHOWN HEREON REFLECT A DESIGN FOR FULL DEPTH REPAIRS AS DESCRIBED BY THE OWNER. THE WORK CONTRACTOR IS REQUIRED TO FURNISH THE OWNER WITH A 2-48 HOUR WARRANTY ON THESE SECTIONS OR SHALL PROVIDE AN ALTERNATE PAVEMENT DESIGN THAT INCLUDES A 2-48 HOUR WARRANTY AND WORKING FROM THE PAVEMENT SECTIONS SHOWN HEREON. APPROVAL BY THE OWNER PRIOR TO CONSTRUCTION.  
2. AT THE TIME OF INSTALLATION, EACH AND EVERY PULL SHALL BE SUPERFLUOUS OVERLAPPED WITH THE ADJACENT PULL. EACH PULL SHALL BE FULLY COMPACTED BETWEEN PULLS.  
3. THE OWNER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR AND ITS TESTING COMPANY TO PROVIDE AS MANY ASPHALT CORE SAMPLES AS THE OWNER DEEMS NECESSARY AND SUPERFLUOUS IN THE LOCATIONS SELECTED BY THE OWNER AND TO BE SURE THAT THE WORK IS COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ADDITIONAL SAMPLES AS DIRECTED BY THE OWNER AND THE SUBSEQUENT REPAIR WORK WILL BE CONSIDERED AN EXTRA.

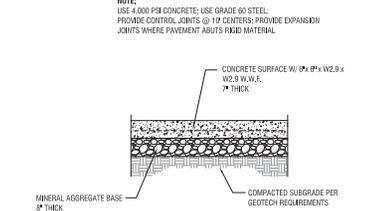
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**ASPHALT PAVEMENT SECTION**  
NTS



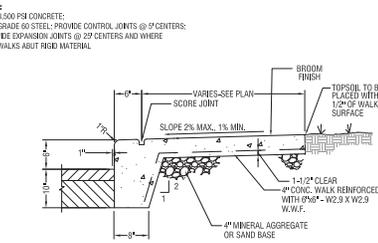
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**CONCRETE PAVEMENT SECTIONS**  
NTS



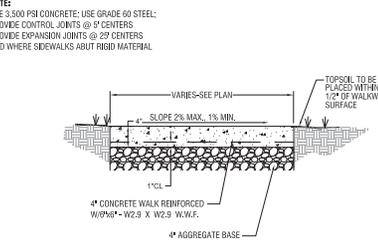
3

**SIDEWALK WITH TURN DOWN CURB**  
NTS



4

**CONCRETE SIDEWALK**  
NTS



PLANS PREPARED FOR:  
**MTLC BUILDING GROUP**  
1327 BEECH HOLLOW DR.  
NASHVILLE, TN 37211  
(615) 957-8855

PLANS PREPARED BY:  
**Development Management Group, LLC**  
4209 GALLATIN PKE  
NASHVILLE, TN 37216  
TEL: (615) 227-5865 FAX: (615) 227-5866

**PROPOSED OFFICE / WAREHOUSE**  
95 GLENROSE AVENUE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO. 2013SP-045-001



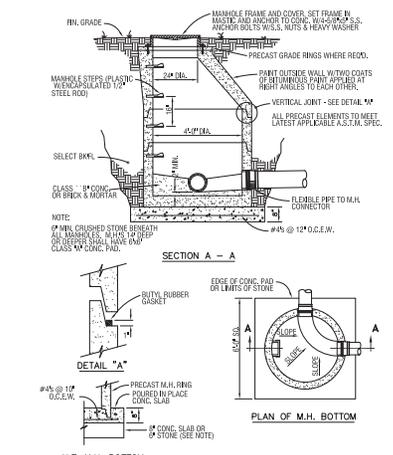
NO.	DATE	DESCRIPTION

DATE: 11-18-13  
DMG Project No: 12137

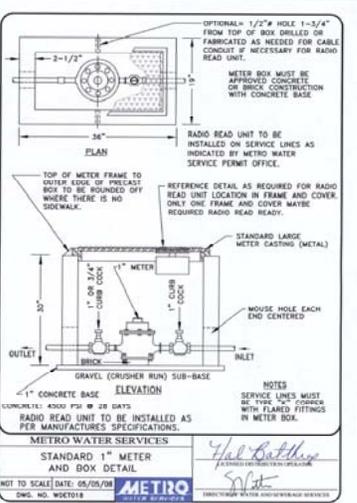
SITE DEVELOPMENT DETAILS  
**C6.0**

**GENERAL NOTES**

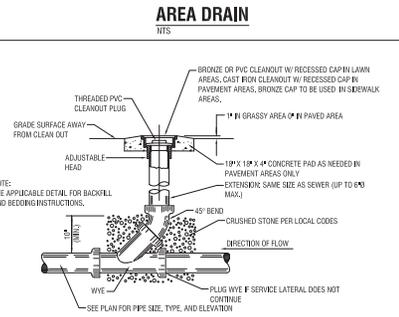
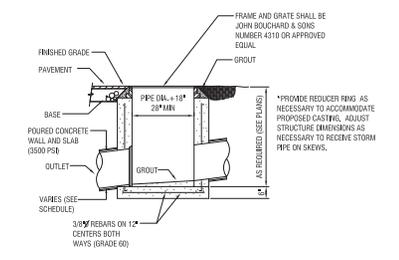
1. RAIL THROUGH MANHOLES SHALL BE AS PROVIDED BY THE GRADE OF THE SEWER IN STRAIGHT-THROUGH MANHOLES OR ANGLE MANHOLES UNDER 45 DEGREES WHERE THE GRADE IS 1.0% OR MORE. FOR STRAIGHT-THROUGH OR ANGLE MANHOLES OVER 45 DEGREES WHERE GRADE OF SEWER IS LESS THAN 1.0% OR FOR JUNCTION MANHOLES A MINIMUM FALL OF 0.10 SHALL BE PROVIDED THROUGH THE MANHOLES.
2. JPE CONNECTIONS INTO MANHOLES SHALL BE MADE WITH A RESILIENT CONNECTOR CAST INTO MANHOLE SECTION AT THE TIME OF MANUFACTURE.
3. INVERTS FOR MANHOLES SHALL BE FIELD FORMED OF MASS CONCRETE USING PREFABRICATED FORMS.
4. ALL COCKS OF MANHOLES MUST HAVE BRASS FIT AND BRUSH FIT.
5. WHENEVER POSSIBLE THE ECCENTRIC CONE SHALL BE PLACED PERPENDICULAR TO THE LINE OF THE SEWER TO MINIMIZE FUTURE MEASUREMENT ERRORS ALONG THE SEWER LINE.
6. ALL WIRE LEADS IN MANHOLES OBSERVED DURING CONSTRUCTION OR INSPECTION SHALL BE CORRECTED EVEN THOUGH THEY MAY BE COVERED BY AN EXISTING RECEPT.
7. UNLESS OTHERWISE INDICATED OR SPECIFIED, UNREINFORCED CONCRETE FOR GRADES AND ENCASMENT SHALL BE CLASS "A" (2009) P.5.5.1. MANHOLE INVERTS AND REINFORCED BASE AND TOP SLABS SHALL BE CLASS "B" (2009) P.5.5.1. CONCRETE.



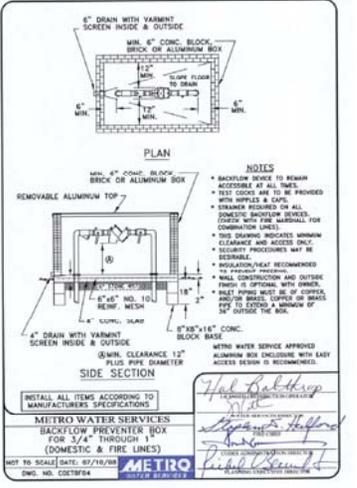
**6 JUNCTION MANHOLE**  
NTS



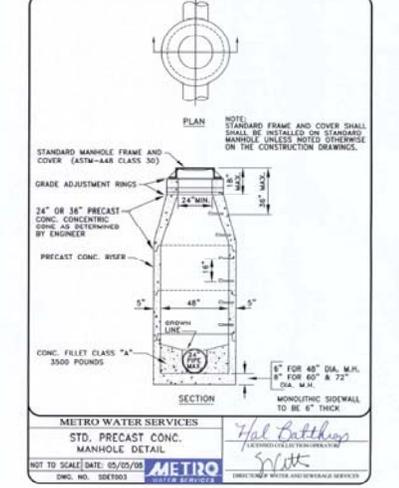
**4 1" WATER METER**  
NTS



**2 CLEANOUT**  
NTS



**5 1" BACKFLOW PREVENTER**  
NTS



**3 SANITARY SEWER MANHOLE**  
NTS

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION

SCALE: AS NOTED

PLANS PREPARED FOR:

**MTLC BUILDING GROUP**

JOHN BOURCHARD & SONS  
1327 BEECH HOLLOW DR.  
NASHVILLE, TN 37211  
(615) 967-8855

PLANS PREPARED BY:

**Development Management Group, LLC**

4209 GALLATIN PIKE  
NASHVILLE, TN 37216  
TEL: (615) 227-5865 FAX: (615) 227-5866

**PROPOSED OFFICE / WAREHOUSE**

95 GLENROSE AVENUE  
NASHVILLE, DAVIDSSON COUNTY, TENNESSEE  
CASE NO. 2013SP-045-001



NO.	DATE	REVISIONS	DESCRIPTION

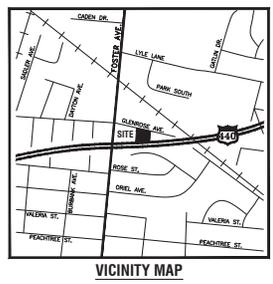
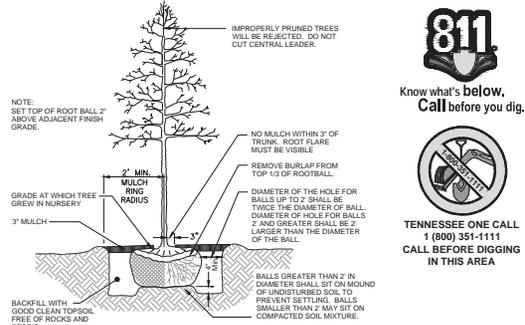
DATE: 11-18-13  
DMG Project No: 12137

SITE DEVELOPMENT DETAILS  
**C6.1**

PLANT SCHEDULE							
QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	TRUNK	TDU	COMMENTS
<b>CANOPY TREES</b>							
5	River Birch	Betula nigra	12' - 14'	8' - 10'	2" Cal.	2.5	Multi-trunk
3	Red Maple	Acer rubrum	12' - 14'	8' - 10'	2" Cal.	1.5	Strong Central Leader
4	Green Giant Arborvitae	Thuja plicata 'Green Giant'	6' Min.	4' Min.	2" Cal.	2.0	Full to ground
4	Tulip Poplar	Liriodendron tulipifera	12' - 14'	6' - 8'	2" Cal.	2.0	Strong Central Leader
4	Shumard Oak	Quercus shumardii	12' - 14'	6' - 8'	2" Cal.	2.0	Well formed
20	<b>TOTAL - CANOPY TREES</b>					10.0	
<b>UNDERSTORY TREES</b>							
3	Yoshino Cherry	Prunus yedoensis	8' - 10'	5' - 6'	2" Cal.	1.5	Specimen
3	Nellie R. Stevens Holly	Ilex x 'Nellie R. Stevens'	6' Min.	2' Min.		1.5	Full to ground
6	<b>TOTAL - UNDERSTORY TREES</b>					3.0	
26	<b>TOTAL - ALL TREES</b>					13.0	
<b>SHRUBS</b>							
30	Dwarf Burford Holly	Ilex cornuta 'Burfordii nana'	18' Min.	18' Min.	3 Gal.		Full and heavy
13	English Laurel	Prunus laurocerasus	30" Min.	24" Min.	5 Gal.		Full and heavy
8	Magic Carpet Spruce	Spirea japonica 'Magic Carpet'	12" Min.	12" Min.	3 Gal.		
30	Inkberry Holly	Ilex glabra	18' Min.	18' Min.	3 Gal.		Full and heavy
81	<b>TOTAL - SHRUBS</b>						
<b>ORNAMENTAL GRASSES</b>							
6	Morning Light Miscanthus	Miscanthus sinensis 'Morning Light'	24" Min.	24" Min.	5 Gal.		
<b>GROUND COVER / PERENNIALS</b>							
<b>TURF</b>							
500	Hybrid Fescue	Festuca x hybrid 'Falcon IV, Hound Dog V, Jaguar 3, Ultimate Inferno'					Hogan's Blend #89-224-6438

TREE DENSITY CALCULATIONS		
SITE ACREAGE:	(30,020 SF)	0.69 AC
MINUS BLDG. AREA:	(6,300 SF)	-0.14 AC
ADJUSTED SITE ACREAGE:		0.55 AC
		X 14 TDU
<b>TOTAL REQUIRED:</b>		<b>7.7 TDU</b>
PROTECTED TREES:		0.0
EX. TREES: (3)		
26 - 2" CAL. X 0.5 =		13.0
<b>TOTAL TDU PROVIDED:</b>		<b>13.0</b>

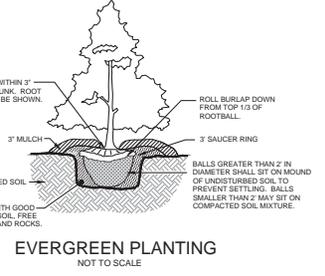
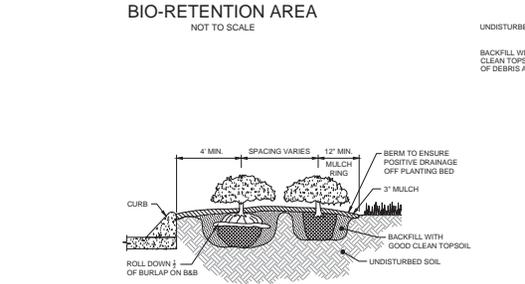
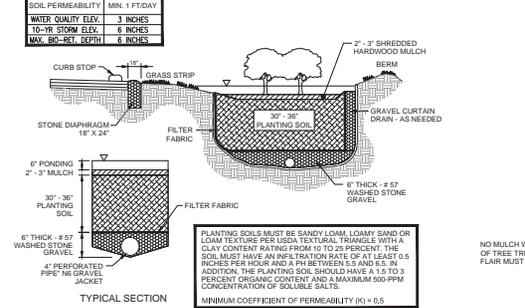
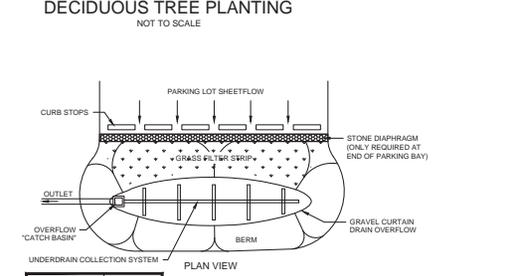
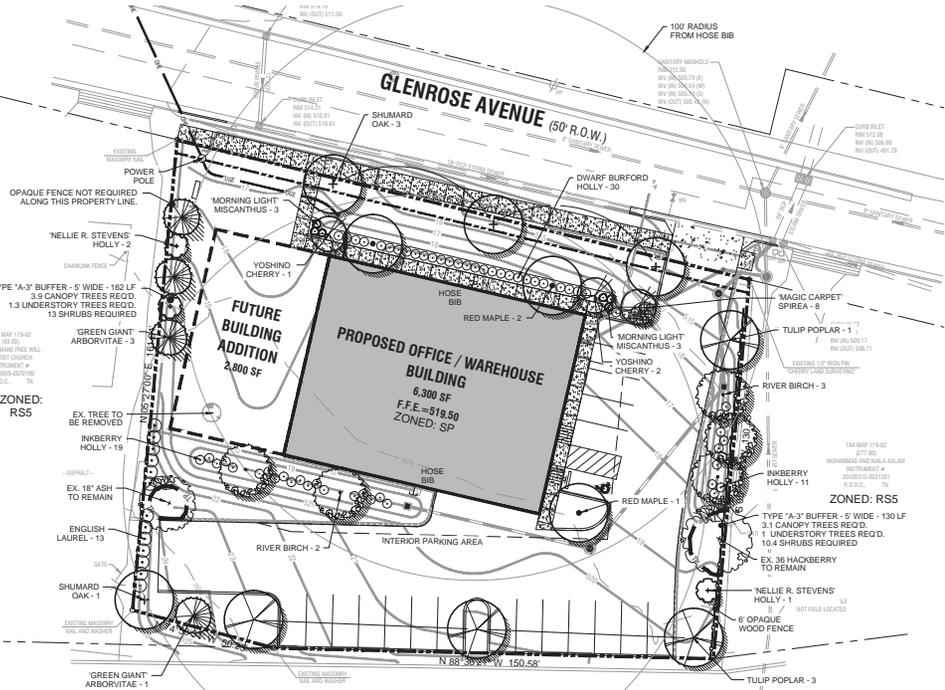
INTERIOR PLANTING	
INTERIOR PARKING SPACES:	5
1 TREE/15 SPACES:	
TREES REQUIRED:	1
TREES PROVIDED:	1
INTERIOR PARKING AREA:	1,350 SF
X 0.08:	0.08%
PLANTING AREA REQUIRED:	108 SF
PLANTING AREA PROVIDED:	250 SF



**811**  
Know what's below.  
Call before you dig.

**TENNESSEE ONE CALL**  
1 (800) 351-1111  
CALL BEFORE DIGGING  
IN THIS AREA

- LANDSCAPE NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
  - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGE TO UTILITIES.
  - ALL PLANTING BEDS OR MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP OR HAND WEEDER (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS. INSURE POSITIVE DRAINAGE OFF LANDSCAPE BERMS.
  - ALL PLANTING AREAS SHALL BE FERTILIZED WITH 10 lbs./1000 S.F. OF 12-24-12 FERTILIZER.
  - ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF MULCH. NO MULCH WITHIN 3" OF TREE TRUNK.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
  - THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
  - SOO ALL DISTURBED AREAS. SEE PLANT SCHEDULE FOR SEED VARIETY.
  - ANY SHRUBS PLANTED WITHIN THE SIGHT TRIANGLE MUST BE MAINTAINED AT A MAXIMUM HEIGHT OF 24".
  - ALL TREES AND SHRUBS TO BE GRADE "A" QUALITY. INTERIOR PLANTS WILL BE REJECTED. ALL PLANTS MUST MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN ANS206.1-2004 OR LATEST REVISION.
  - ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST. OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE (3) MONTHS.
  - SITE TO BE IRRIGATED BY HOSE BIBS LOCATED ON THE BUILDING OR BY YARD WARRIORS. WATER MUST BE PROVIDED WITHIN 10' OF ALL NEW PLANTINGS.



**KITA**  
Landscape Design  
2101 Masters Drive, Springfield, TN 37172  
Ph. (615) 469-1222 Fax (615) 469-1223

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



**CASE NO: 2013SP-045-001**  
**MAP 119-02 PARCEL 97**  
**PERMIT NO: T201329507**

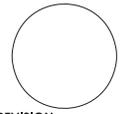
PLANS PREPARED FOR:  
**MTLC**  
BUILDING GROUP  
1537 BEGIN HOLLOW DR.  
NASHVILLE, TN 37216  
(615) 967.5855

PLANS PREPARED BY:  
**Development Management Group, LLC**  
4509 GALLATIN PIKE  
NASHVILLE, TN 37216  
TEL: (615) 227-5883; FAX: (615) 227-5866

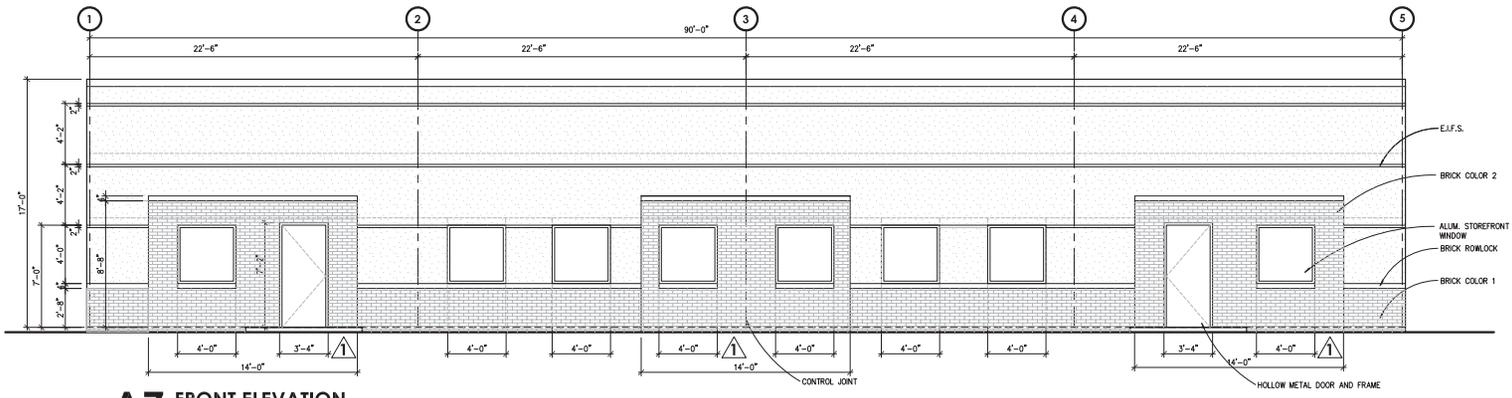
**95 GLENROSE AVENUE SP**  
95 GLENROSE AVENUE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	DATE	REVISIONS / DESCRIPTION

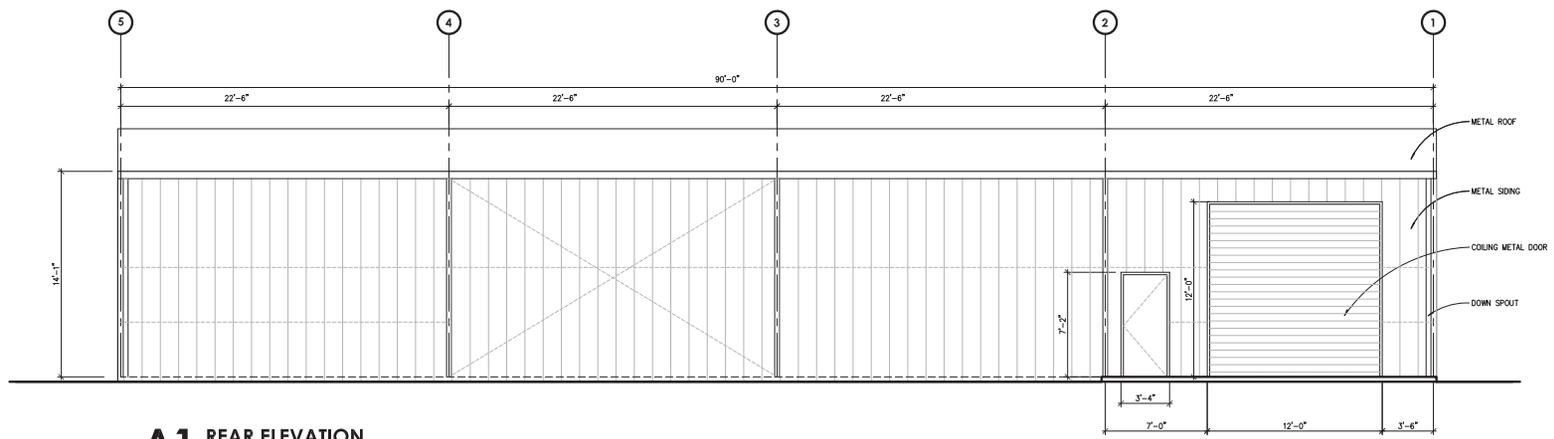
DATE: 10-31-13  
DMG Project No: 12137  
LANDSCAPE PLAN  
**L1.0**



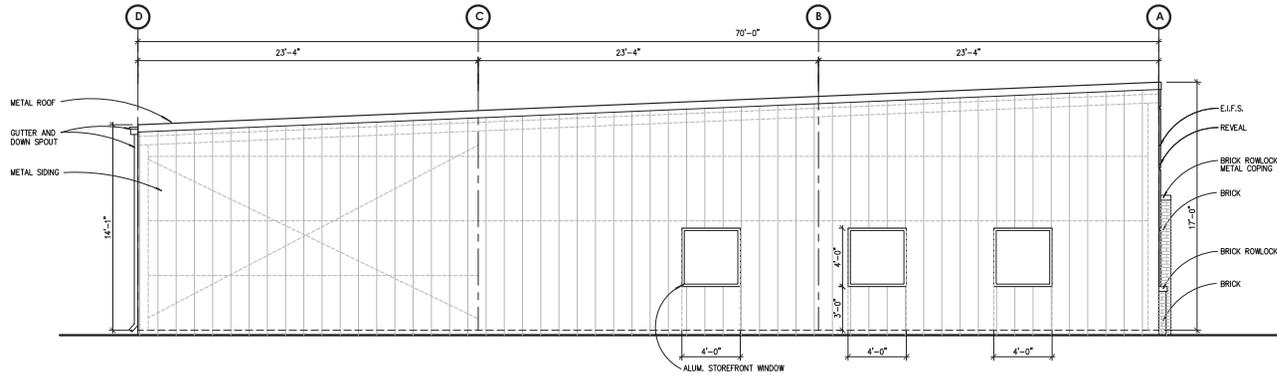
REVISION	DATE	NOTE
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2	12.03.13	REVISION FOR REVIEW



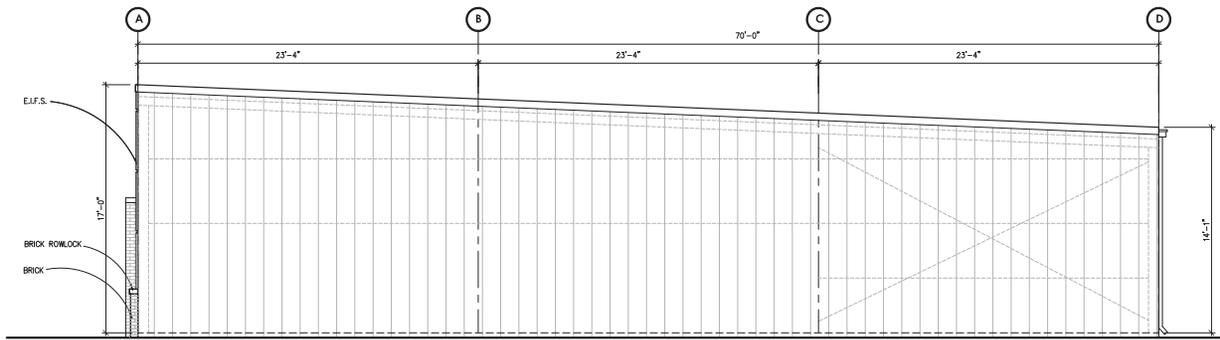
**A7 FRONT ELEVATION**  
 1/4" = 1'-0"



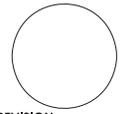
**A1 REAR ELEVATION**  
 1/4" = 1'-0"



**A7 SIDE ELEVATION**  
1/4" = 1'-0"



**A1 SIDE ELEVATION**  
1/4" = 1'-0"



REVISION:	DATE:	NOTE:
1	10.31.13	FOR REVIEW
2	12.03.13	REVISION FOR REVIEW