

EROSION CONTROL & GRADING NOTES

- 1) EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- 2) ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 15POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
- 3) EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME FOUR, SECTION TCM-14.
- 4) DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- 6) ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
- 7) THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 6" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOIL, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
- 8) THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION, THREE DAYS PRIOR TO BEGINNING THE WORK.
- 9) THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE EASEMENTS AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
- 10) SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- 11) THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 13) ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
- 14) ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
- 15) CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE NPDES DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.

WATER & SEWER NOTES

- 1) ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
- 3) THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- 4) ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
- 5) REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- 6) ALL WATER METERS SHALL BE A MINIMUM OF 2" NOT TO EXCEED A MAXIMUM OF 2" BELOW FINISHED GRADE.
- 7) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
- 8) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.

ADJACENT FIRE HYDRANT RESULTS

LANDSCAPE NOTES

- 1) THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
- 2) ALL PLANTING AND MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- 3) PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- 4) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- 5) ALL PLANTING AREAS SHALL BE FERTILIZED WITH 120/1000 S.F. OF 10-10-10 FERTILIZER.
- 6) ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HAWWOOD BARK MULCH.
- 7) THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- 8) THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- 9) EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
- 10) ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
- 11) ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4" MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
- 12) THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
- 13) NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY DALE & ASSOCIATES. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
- 14) ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURGLAR SHOULD BE REMOVED OR PUNCTURED AT LEAST 3 FEET. REMOVE ALL TWINE FROM BURGLARIED MATERIALS.
- 15) GUYING IS NOT ALLOWED UNLESS REQUIRED BY MUNICIPALITY OR SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL REMOVE WIRES AFTER A ONE YEAR PERIOD.
- 16) NO CANOPY TREE SHALL BE LOCATED WITHIN 15' OF AN OVERHEAD UTILITY. NO TREE SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT. LOCATING PLANT MATERIALS WITHIN A DRAINAGE EASEMENT IS ACCEPTABLE, BUT ONLY IF INSTALLED, THE MATERIALS SHALL BE LOCATED NO CLOSER THAN 5' FROM THE CENTERLINE OF DRAINAGE.
- 17) LIGHTING PLAN TO BE COORDINATED WITH PROPOSED PLANTING PLAN. NO LIGHT POLES TO BE LOCATED IN TREE ISLANDS. SEE LIGHTING PLAN FOR PROPOSED LIGHT LOCATIONS.

PUBLIC WORKS NOTES

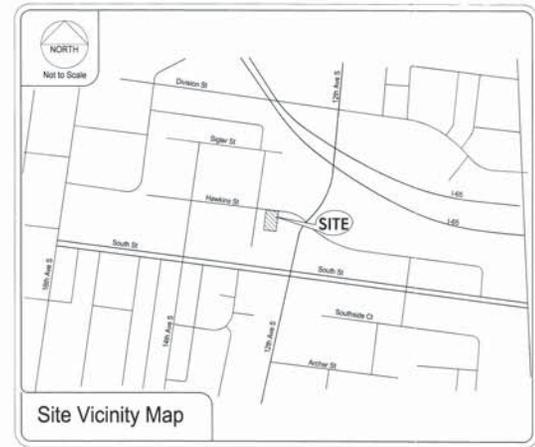
- 1) ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- 2) PROOF-ROLLING OF ALL STREET SUBGRASSES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
- 3) STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
- 4) STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
- 5) ALL PAVEMENT MARKING ARE TO BE THERMOPLASTIC.

GENERAL PLAN CONSISTENCY NOTE

THE SUBJECT PROPERTY AND ITS IMMEDIATE SURROUNDINGS ARE LOCATED WITHIN SUBAREA 10 (GREEN HILLS/ANTHONY COMMUNITY PLAN); THE SPECIFIED LAND USE POLICY FOR THE SUBJECT SITE AND ITS SURROUNDINGS IS NEIGHBORHOOD GENERAL (NG).
 THE NG STRUCTURE PLAN IS PRELIMINARILY INTENDED TO ACCOMMODATE RESIDENTIAL DEVELOPMENTS WITH A MIXTURE OF HOUSING TYPES THAT ARE CAREFULLY ARRANGED AND NOT RANDOMLY LOCATED. APPROPRIATE LAND USES INCLUDE SINGLE FAMILY, DETACHED DWELLING UNITS WITH ATTACHED MULTI-FAMILY MEDIUM DENSITY SUCH AS TOWNHOMES BEING APPROPRIATE IN CERTAIN CIRCUMSTANCES. SMALL OPEN SPACES SUCH AS PARKS, PLAZAS OR COMMUNITY GREENS ARE ALSO APPROPRIATE WITHIN THE NG STRUCTURE POLICY. BUILDING SETBACKS SHOULD BE SHALLOW FOR HIGHER DENSITY USES AND DEEPER FOR LOWER DENSITY USES. ACCESS IS RECOMMENDED TO BE PROVIDED FROM NEAR ALLEYS WITH FRONT LOADED PRODUCT CONDENSED APPROPRIATE IN CERTAIN CIRCUMSTANCES. ON-SITE PARKING WITH ALLEY ACCESS IS HIGHLY RECOMMENDED ON LOTS OF 30 FEET OR LESS.
 AS PROPOSED, THIS APPLICATION YIELDS A DENSITY RANGE THAT FALLS WITHIN THE NG POLICY'S DESIGNATED DENSITY RANGES AND IS COMPARABLE TO THE EXISTING MULTI-FAMILY COMMERCIAL USES IMMEDIATELY TO THE EAST ALONG 17TH AVENUE SOUTH. FURTHERMORE, THE SPECIFIC USE OF TOWNHOMES IS LISTED AS APPROPRIATE AND ALL ACCESS IS LIMITED TO THE EXISTING ALLEY, WHICH IS ANOTHER PLANNING GOAL FOR THE NG POLICY DISTRICT.

STANDARD SP NOTES

- 1) THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT THE DEVELOPMENT OF 4 MULTI-FAMILY UNITS AS SHOWN.
- 2) ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- 3) THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47037C0218F (PANEL HAS NOT BEEN PRINTED FOR THIS LOCATION).
- 4) ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- 5) WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- 6) THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- 7) SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL, MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 10 CMP.
- 8) METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- 9) INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH UNIT.
- 10) SOLID WASTE PICKUP TO BE PROVIDED BY DUMPSTERS SHOWN ON THIS PLAN.
- 11) MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- 12) FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM20-ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- 13) THIS DRAWING FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.



SPECIFIC PLAN DEVELOPMENT SUMMARY	
USE	MULTIFAMILY
PROPERTY ZONING	R6 (LU2)
MINIMUM LOT SIZE	NONE
NUMBER OF UNITS/DENSITY	4 RESIDENTIAL UNITS (20 UNITS PER ACRE)
FAR	80% MAXIMUM 78% PROPOSED
FSR	70% MAXIMUM 45% PROPOSED
FRONT YARD SETBACK	5' MEASURED FROM PROPOSED RIGHT OF WAY
SIDE YARD	5' MEASURED FROM EAST & WEST PROPERTY LINE(S)
REAR YARD	20' MEASURED FROM SOUTHERN PROPERTY LINE
HEIGHT STANDARDS	2 STORES TO A MAXIMUM OF 30FT
PARKING AND ACCESS	
RAMP LOCATION AND NUMBER	ACCESS ON ALLEY # 428
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	N/A
DISTANCE TO INTERSECTION	N/A
REQUIRED PARKING BASED ON USES	8 STALLS (1.8 STALLS PER UNIT)
PARKING PROPOSED	8 STALLS (4 GARAGE STALLS / 4 OFFSTREET)
*NOTE: SPECIFIC ENCROACHMENTS PERMITTED BY SP: (NOT TO ENCRACH INTO RIGHT OF WAY)	
	6 FT - COVERED PORCHES
	2 FT - BAY WINDOWS
	6 FT - STOOPS & BALCONIES



REVISIONS:

Preparation Date: Jan 2014

Hawkins Street Townhomes SP
Preliminary Specific Plan
 1209 Hawkins Street
 Being Parcel 359 on Tax Map 93-13
 Nashville, Davidson County, Tennessee



FORTHCOMING

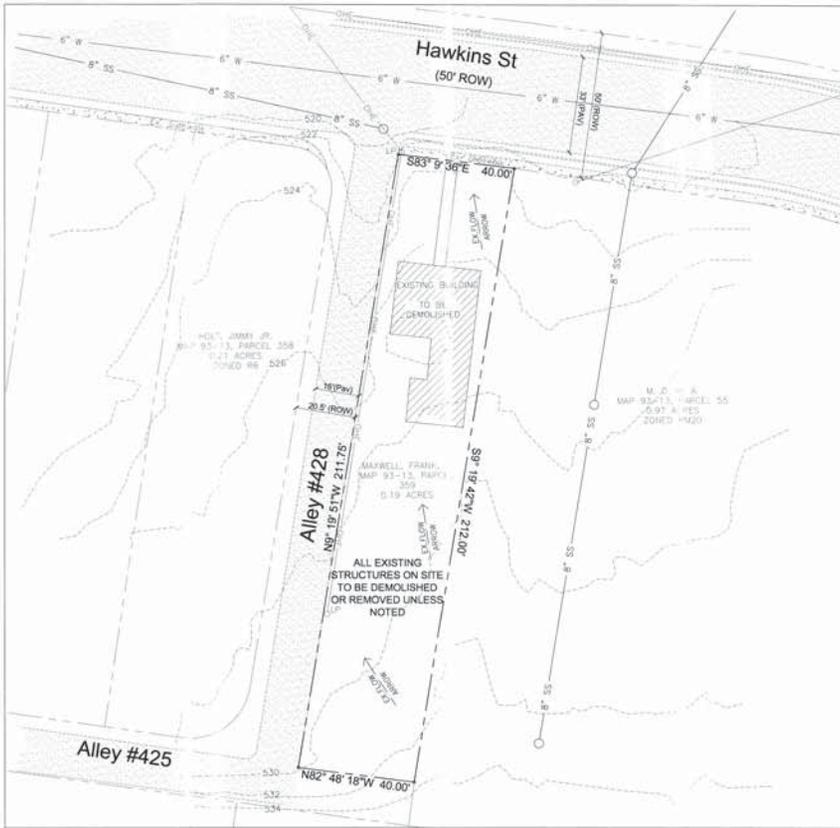
Property Information	Owners of Record	Developer	Civil Engineer	Floodnote
1209 Hawkins St (Map 93-13, Parcel 359) Nashville, Tennessee 37203 8,276.4 Square Feet or 0.19 Total Acres County District 19 (Erica Gilmore)	Maxwell, Frank, III 1611B Stokes Ln Nashville, Tennessee 37203	Chip Maxwell P.O. Box 159313 Nashville, Tennessee 37215 Phone: 615-337-0237 Email: cmax1290@aol.com	Dale & Associates 516 Heather Place Nashville, Tennessee 37204 Contact: Michael Garrison, PE Phone: 615.297.5166 Email: michael@daleandassociates.net	This property is not located within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037C0218F. (Panel has no been printed for this location).

Sheet Schedule

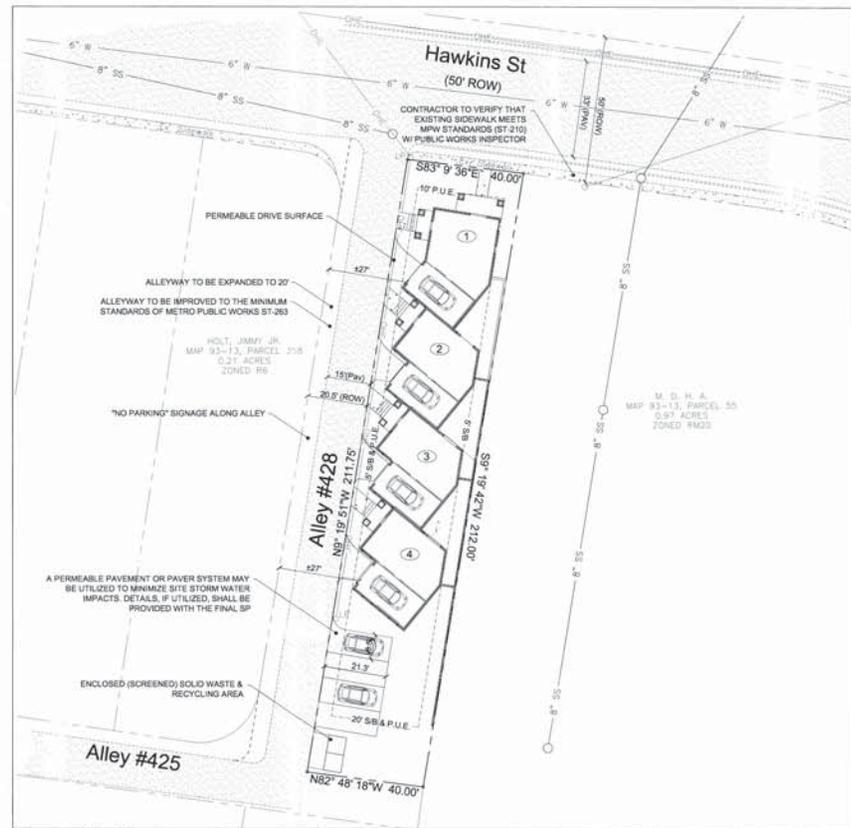
- 1 C1.0 Notes & Project Standards
- 2 C2.0 Existing Conditions & Layout
- 3 C3.0 Utility & Landscape Plans

Notes & Project Standards

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying
 116 Heather Place
 Nashville, Tennessee 37204
 (615) 297-5166
 MFC Case Number: 2014SP-014-001
 D&A Project #18012
 Hawkins Street Townhomes SP
C1.0
 Sheet 1 of 3



Existing Conditions (1"=20')



Layout (1"=20')

SPECIFIC PLAN DEVELOPMENT SUMMARY

USE	MULTIFAMILY
PROPERTY ZONING (R) (LZO)	SURROUNDING ZONING (R) RM20, ON
MINIMUM LOT SIZE	NONE
NUMBER OF UNITS/DENSITY	4 RESIDENTIAL UNITS (20 UNITS PER ACRE)
FAR	80% MAXIMUM 78% PROPOSED
FSR	70% MAXIMUM 45% PROPOSED
FRONT YARD SETBACK	5' MEASURED FROM PROPOSED RIGHT OF WAY
SIDE YARD	5' MEASURED FROM EAST & WEST PROPERTY LINE(S)
REAR YARD	20' MEASURED FROM SOUTHERN PROPERTY LINE
HEIGHT STANDARDS	2 STORIES TO A MAXIMUM OF 35FT
PARKING AND ACCESS	
RAMP LOCATION AND NUMBER	ACCESS ON ALLEY # 428
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	N/A
DISTANCE TO INTERSECTION	N/A
REQUIRED PARKING BASED ON USES	8 STALLS (1.5 STALLS PER UNIT)
PARKING PROPOSED	8 STALLS (4 GARAGE STALLS / 4 OFF-STREET)
NOTE: SPECIFIC ENCROACHMENTS PERMITTED BY SP: (NOT TO ENCRACH INTO RIGHT OF WAY)	6 FT - COVERED PORCHES 2 FT - BAY WINDOWS 6 FT - STOODS & BALCONIES

Property Information
 1209 Hawkins St (Map 93-13, Parcel 359)
 Nashville, Tennessee 37203
 8,276.4 Square Feet or 0.19 Total Acres
 Council District 19 (Erica Gilmore)

Owners of Record
 Maxwell, Frank, III
 1611B Stokes Ln
 Nashville, Tennessee 37203

Civil Engineer
 Dale & Associates
 516 Heather Place
 Nashville, Tennessee 37204
 Contact: Michael Garrigan, PE
 Phone: 615.297.5165
 Email: michael@daleandassociates.net

Floodnote
 This property is not located within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037C0218F. (Panel has not been printed for this location.)

Developer
 Chip Maxwell
 P.O. Box 159313
 Nashville, Tennessee 37215
 Phone: 615-337-0237
 Email: cmax12950@aol.com



Existing Conditions & Layout Plan



REVISIONS:

 Preparation Date Jan 2014

Hawkins Street Townhomes SP
 Preliminary Specific Plan
 1209 Hawkins Street
 Being Parcel 359 on Tax Map 93.13
 Nashville, Davidson County, Tennessee



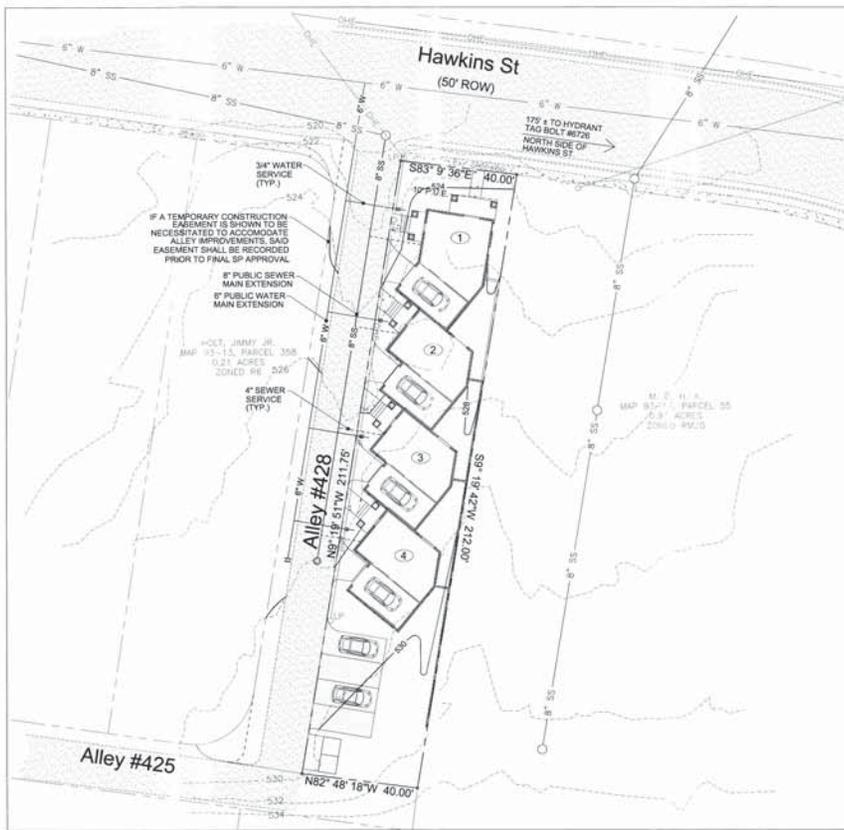
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MPC Case Number
 2014SP-014-001

D&A Project #14012
 Hawkins Street
 Townhomes SP

C2.0
 Sheet 2 of 3

516 Heather Place
 Nashville, Tennessee 37204
 (615) 297-3166



Grading & Utilities (1"=30')

Grading Permit Exemption Notes (Per SWMM, Volume 1, Section 3.4.3)

- Fill material contains only inert soil, rock, concrete without rebar and no more than 24 inches in length, and no block rubble.
-SATISFIED. Earthwork amounts minor as shown.
- Fill is not in the 100-year floodplain and is less than five (5) feet in vertical depth at its deepest point.
-SATISFIED. Mapped floodplains exist but not on-site and fill depths will not exceed five (5) feet.
- Does not result in a total quantity of more than 100 cy of material being removed from, deposited on, or disturbed on any lot, parcel or subdivision.
-SATISFIED. Earthwork amounts minor as shown. No material haul-off anticipated.
- Does not impair existing surface storm water management systems, constitute a potential erosion hazard, or act as a source of sedimentation to any adjacent land or watercourse.
-SATISFIED. Surface runoff remains in the same flow path in sheet flow conditions with no potential for erosion or sedimentation.
- Has no fill placed on a surface having a slope steeper than 5:1 (Slopes may be allowed if justified by calculations for appropriate stabilization measures).
-SATISFIED. No slopes in excess of 5:1 are proposed.
- Has no final slopes steeper than 3:1.
-SATISFIED. No slopes (cut or fill) proposed to exceed 3:1.
- Has temporary or permanent soil stabilization measures applied to denuded areas within 75 days of disturbance.
-SATISFIED. All denuded areas will be stabilized with grass seed & straw, or Type II Erosion Control Matting as Specified.
- Does not contain hazardous substances.
-SATISFIED. No hazardous substances.
- Is not partially or totally within a watershed with outlet to a stable or drainage well.
-SATISFIED. No known sink holes or wells within the site's boundary.
- Does not result in the exposure or disturbance of more than 10,000 square feet of land.
-SATISFIED. Utilization of the Existing Alley #428 will result in the minimization of land disturbance. Disturbance proposed consists primarily of the proposed building and parking area and does not exceed 10,000 square feet in size. Total land disturbance (including landscaping & alleyway improvements) is estimated to be 9,469 square feet.

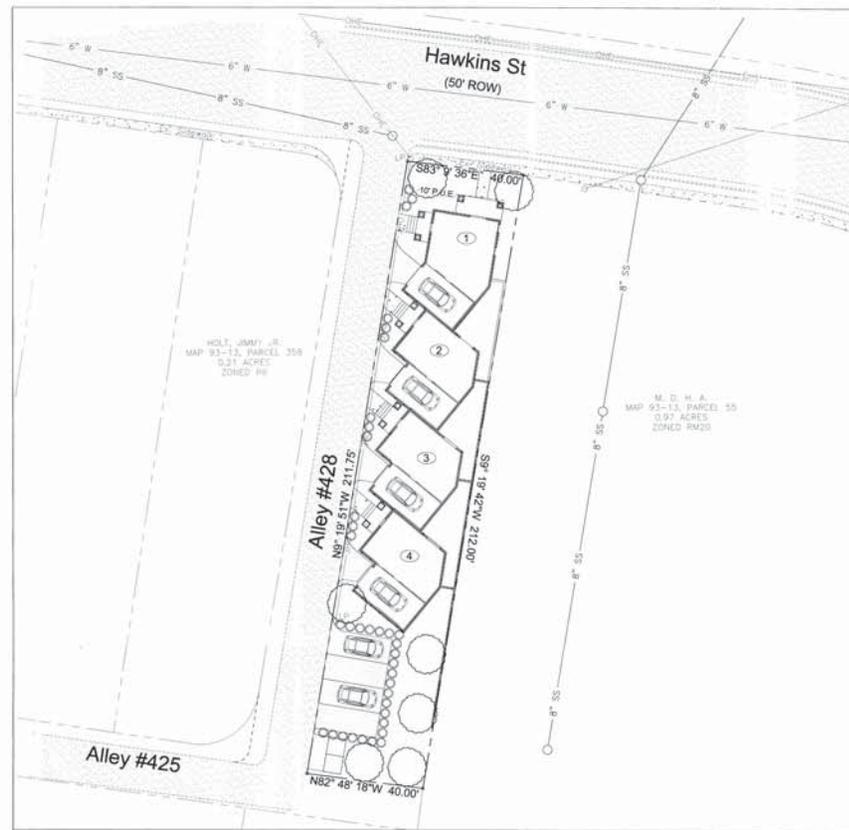
PRE/POST CALCULATIONS

PRE-DEVELOPMENT	
TOTAL SITE AREA =	0.19 ACRES
PRE-DEVELOPED IMPERVIOUS	+0.04 AC @ 98
PRE-DEVELOPED GRASS	+0.15 AC @ 79
COMPOSITE C _N =	83

POST-DEVELOPMENT	
TOTAL SITE AREA =	0.19 ACRES
POST-DEVELOPED IMPERVIOUS	+0.08 AC @ 98
POST-DEVELOPED GRASS	+0.11 AC @ 79
COMPOSITE C _N =	87

STORMWATER NOTES

- THE SOIL TYPE FOR THIS SITE IS MCB (MAURY) WHICH FALLS WITHIN THE "B" HYDROLOGICAL SOIL GROUP.
- THIS SITE MEETS GRADING PERMIT EXEMPTION REQUIREMENTS. NO WATER QUALITY OR QUANTITY REQUIRED. HOWEVER, PREVIOUS MATERIALS HAVE BEEN SPECIFIED FOR PARKING AREA AND DRIVEWAYS.
- STORM SEWER SYSTEM ON THIS PLAN IS SHOWN SCHEMATICALLY. FINAL DESIGN WILL BE PROVIDED DURING THE FINAL SP PROCESS AND WILL MEET THE REQUIREMENTS OF THE STORMWATER MANAGEMENT MANUAL.



Landscape (1"=30')

UTILITY NOTES

- WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES.
- WATER AND SEWER SERVICES ARE SCHEMATICALLY SHOWN. FINAL WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING FINAL SP PROCESS.
- WATER SERVICE SHALL BE PROVIDED BY A 6" PUBLIC WATER MAIN EXTENSION WITH INDIVIDUAL 3/4" METERS PROVIDED SUCH THAT EACH UNIT HAS ITS OWN SERVICE LINE & METER.
- SEWER SERVICE SHALL BE PROVIDED VIA A NEW 8" PUBLIC SEWER MAIN EXTENSION WITH 4" SERVICE TIES TO EACH UNIT.

TREE DENSITY NOTES

METRO TREE DENSITY REQUIREMENTS WILL BE ADDRESSED IN FINAL CONSTRUCTION DOCUMENTS. AT THE PRELIMINARY PHASE OF THIS PROJECT NO TREE INFORMATION IS AVAILABLE.

TREE DENSITY UNITS:

0.19 AC-0.07 AC = 1.68 AC x 14 = 1.7 TDU'S REQ'D
 7 PROPOSED 2" CALIPER TREES = 3.5 TDU PROV.
 (NOTE: DOES NOT INCLUDE EX. TREES TO BE PRESERVED)
 *TDU EXCEEDED

DISTURBANCE SUMMARY:

BUILDING FOOTPRINT W/PORCHES	3,538 Sq Ft
SIDEWALKS & CONCRETE	182 Sq Ft
MISCELLANEOUS GRADING & LANDSCAPING	3,371 Sq Ft
PARKING AND DRIVES	1,185 Sq Ft
ALLEY PAVING	1,193 Sq Ft
TOTAL DISTURBANCE:	9,469 Sq Ft

The new pavement along the south west of Alley is not within the site boundaries but has been accounted for in the figure above.



EXISTING TOTAL AREA = 0.19 ACRES ±
 = 8,276.4 S.F. ±
 SCALE: 1" = 30'

Grading, Utilities, & Landscape Plan



REVISIONS:

Preparation Date: Jan 2014

Hawkins Street Townhomes SP
 Preliminary Specific Plan
 1209 Hawkins Street
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 Sheet 3 of 3

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