



Metropolitan Council

**PROPOSED SUBSTITUTE ORDINANCES,
AMENDMENT TO SECOND SUBSTITUTE
ORDINANCE, THIRD SUBSTITUTE
ORDINANCE, AMENDMENT TO
SUBSTITUTE ORDINANCE, AND CAPITAL
IMPROVEMENTS BUDGET
AMENDMENTS TO BE FILED WITH THE
METRO CLERK
FOR THE COUNCIL MEETING OF
TUESDAY, JUNE 9, 2020**

AMENDMENT NO. ____

TO

SECOND SUBSTITUTE ORDINANCE NO. BL2019-48

Mr. President –

I hereby move to amend Second Substitute Ordinance No. BL2019-48 as follows:

I. By amending Section 1, proposed Section 17.16.250, Subsection D.5 is hereby amended as follows:

5. Activities

- a. The storage of materials or goods shall be permitted in connection with a home occupation provided such storage complies with the following standards.
 - i. All materials or goods shall be stored completely within the space designated for home occupation activities.
 - ii. Only those materials or goods that are utilized or produced in connection with the home occupation may be stored within the dwelling unit or accessory building.
 - iii. All materials or goods shall be stored completely within the dwelling unit or accessory building.
 - iv. All flammable or combustible compounds, products or materials shall be maintained and utilized in compliance with Fire Code NFPA-30.
- b. The following are permitted as home occupations that are allowed customer visits under subsection D.3:
 - i. Personal instruction, defined for the purposes of this section as services for training individuals or groups in academics, arts, fitness, personal defense, crafts, or other subjects of a similar nature;
 - ii. General office, defined for the purposes of this section as provision of executive, management, administrative, or professional services, but not involving medical services;
 - iii. Personal care services, defined for the purposes of this section as spa services and beauty and barber care;
 - iv. Multimedia production, defined for the purposes of this section as staging and recording of video or audio productions that occur indoors and do not require sound to leave the premises; and
 - v. Artisan manufacturing, defined for the purposes of this section as the shared or individual use of hand tools, mechanical tools, and electronic tools for the manufacture of finished products or parts as well as the incidental storage, sales, and distribution of such products within the limitations of this section.
- c. The following are not permitted as home occupations regardless of whether customer visits are allowed:
 - i. The manufacture or repair of automobiles and other transportation equipment.
 - ii. The repair of equipment that takes place outdoors.
 - iii. The outdoor storage of construction, scrap, or salvage materials.

II. By amending Section 1, Proposed Section 17.16.250 by deleting the phrase “1. Permit Requirements” and substituting in lieu thereof “~~6~~. Permit Requirements”.

III. By amending Section 1, proposed Section 17.16.250, Subsection D.6 is hereby amended by adding a new subsections d., e., f., and g. as follows:

- d. The owner of the property: (1) must be a natural person or persons or trust; (2) may not be a limited liability entity, including without limitation a corporation or limited liability company;

- and (3) may not be an unincorporated entity, including without limitation a partnership, or joint venture.
- e. The permit applicant must be the owner of the property, a relative of the owner of the property, or, if a renter, must have at least a one-year lease for the property. The applicant shall verify by affidavit that they comply with this subsection.
- f. Only one permit may be issued per property owner, regardless of the number of properties owned by the property owner and regardless of whether the property owner is the applicant.
- g. No person may be issued more than one permit.
- IV. By amending Section 1, Proposed Section 17.16.250 by deleting the phrase "2. Transferability and Enforcement" and substituting in lieu thereof "2. Transferability and Enforcement".

SPONSORED BY:

Dave Rosenberg
Member of Council

AMENDMENT NO. ____

TO

SECOND SUBSTITUTE ORDINANCE NO. BL2019-48

Mr. President –

I hereby move to amend Second Substitute Ordinance No. BL2019-48 as follows:

- I. That Section 1, proposed Section 17.16.250, Subsection D.6.a is hereby deleted in its entirety and the subsequent subsections be renumbered accordingly:
 - a. ~~Home occupations that meet both of the following conditions are not required to acquire a permit for activity under this section:~~
 - i. ~~The home occupation does not serve customers on the property; and~~
 - ii. ~~The home occupation does not employ anyone who does not live within the dwelling.~~
- II. That Section 1, proposed Section 17.16.250, Subsection D.7.b, Transferability and Enforcement, is hereby amended as follows:
 - b. Revocation of Permit. Upon the filing of ~~three~~ two or more verified complaints within a calendar year regarding a permit issued for activities under this section, the Zoning Administrator, or his or her designee, shall notify the permit holder in writing of such complaints and the Zoning Administrator, or his or her designee, will determine whether such complaints are valid. If it is determined that violations have occurred, the Zoning Administrator may revoke a permit as provided in Section 17.40.590. The permit holder may appeal the Zoning Administrator's decision to the Board of Zoning Appeals for a public hearing as provided in this Title. Other violations of this Subsection D are punishable by a fine of fifty dollars per day, per violation.

SPONSORED BY:

Thom Druffel
Member of Council

SECOND THIRD SUBSTITUTE ORDINANCE NO. BL2019-48

An ordinance amending Section 17.16.250 of Title 17 of the Metropolitan Code of Laws relative to home occupation (Proposal No. 2019Z-020TX-001).

WHEREAS, current regulations prohibit even one client from visiting a home-based business; and

WHEREAS, these regulations create a hardship on residents seeking additional income to survive in a city with a skyrocketing cost of living; and

WHEREAS, these regulations create a significant barrier for children seeking tutoring services, music lessons, and other enrichment; and

WHEREAS, 5.7% of Nashville workers aged 16 and older work from home; and

WHEREAS, permitting limited home-based business activity will protect the residential character of neighborhoods while allowing more Nashvillians to earn supplemental income to remain in their homes.

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Subsection D of Section 17.16.250 of the Metropolitan Code of Laws is hereby amended by deleting it in its entirety and substituting in lieu thereof the following:

D. Home Occupation. A home occupation shall be considered an accessory use to a residence subject to the following:

1. Classes of permits. There shall be the following two classes of home occupation permits:

a. Home occupation – Type 1, which allows limited customer visits as provided below. The number of home occupation – type 1 permits are limited to no more than 3% of the single-family or detached two-family residential units within each census tract as determined by the Zoning Administrator.

b. Home occupation – Type 2, which does not allow customer visits.

21. Location for both Type 1 and Type 2 home occupations.

a. A home occupation must be conducted entirely within the dwelling unit or accessory building.

b. The home occupation shall not occupy more than twenty percent of the total floor area of the principal structure to a maximum of 500 square feet of floor area plus the area of any legally permitted accessory buildings.

32. Employees and Vehicles

a. No more than one part-time or full-time employee not living within the dwelling may work at the home occupation location.

b. Parking a commercial vehicle on the premises or on a street adjacent to residentially zoned property is prohibited. Vehicles associated with the home occupation shall be limited to one passenger vehicle such as a motorcycle, automobile, pick-up truck, sport utility vehicle, van or similar, with a maximum axle load capacity of one and one-half tons.

c. No truck deliveries or pick-ups, except by public or private parcel services, are permitted.

43. Customer Visits

a. Customer visits shall be prohibited for home occupation – Type 2 permit holders.

b. For Type 1 permit holders, cCustomer visits must occur by scheduled appointment and only between the hours of 8 a.m. and 7 p.m., Monday through Saturday. Further,

b. Ccustomer visits shall be limited to no more than three visits per hour and a maximum of six total visits per day.

be. Type 1he permit holders shall maintain and make available to the Codes Department a log or register

of customer appointments for each calendar year.

54. Outward Appearance

- a. Signs, as defined in Section 17.32.030.B, exterior or interior displays of goods visible from the outside, or any exhibit that would indicate the dwelling unit or accessory building is being used for any purpose other than a residence are prohibited.
- b. The residential character of the lot and dwelling must be maintained. A home occupation that requires a structural alteration of the dwelling to comply with a nonresidential construction code is prohibited. This prohibition does not apply to modifications to comply with accessibility requirements.
- c. A home occupation may not produce noise, vibration, smoke, dust or other particulate matter, odorous matter, heat, glare, humidity, fumes, electrical interference, waste run-off, or other objectionable effects outside the dwelling unit or garage.

65. Activities

- a. The storage of materials or goods shall be permitted in connection with a home occupation provided such storage complies with the following standards.
 - i. All materials or goods shall be stored completely within the space designated for home occupation activities.
 - ii. Only those materials or goods that are utilized or produced in connection with the home occupation may be stored within the dwelling unit or accessory building.
 - iii. All materials or goods shall be stored completely within the dwelling unit or accessory building.
 - iv. All flammable or combustible compounds, products or materials shall be maintained and utilized in compliance with Fire Code NFPA-30.
- b. The following are permitted as home occupations:
 - i. Personal instruction;
 - ii. General office;
 - iii. Personal care services;
 - iv. Multimedia production; and
 - v. Artisan manufacturing.

71. Permit Requirements

- a. Home occupations that meet both of the following conditions are not required to acquire a permit for activity under this section:
 - i. The home occupation does not serve customers on the property; and
 - ii. The home occupation does not employ anyone who does not live within the dwelling.
- b. Prior to issuance of a permit, the applicant shall provide the Codes Department with a statement that the applicant has confirmed that operating the proposed home occupation would not violate any home owners association agreement or bylaws, condominium agreement, covenants, codes and restrictions, lease or any other agreement governing and limiting the use of the property proposed for the home occupation. If the applicant is not the property owner, the applicant shall also certify that the property owner is aware of the application and does not object to pursuit of the home occupation permit. Further, the applicant shall provide proof of written notification to the owner of each adjacent property prior to filing the application. For each such adjacent property, proof of written notification shall be: (a) a signature of an owner; (b) a signed receipt of U.S. registered or certified mail addressed to an owner; or (c) notice from the U.S. Postal Service that registered or certified mail to an owner was refused or not timely accepted.
- c. In single-family and two-family zoning districts, no more than one home occupation permit may be issued per lot.

82. Transferability and Enforcement

- a. Permit Transferability. A permit issued for activities under this section shall not be transferred or assigned to another person, entity, or address, nor shall the permit authorize any person, other than the person named therein, to commence or carry on the business. Upon termination of the occupant's residency, the home occupation permit shall become null and void.
- b. Revocation of Permit. Upon the filing of three or more verified complaints within a calendar year regarding a permit issued for activities under this section, the Zoning Administrator, or his or her designee, shall notify the permit holder in writing of such complaints and the Zoning Administrator, or his

or her designee, will determine whether such complaints are valid. If it is determined that violations have occurred, the Zoning Administrator may revoke a permit as provided in Section 17.40.590. Once a permit has been revoked pursuant to this subsection, no home occupation permit shall be issued to the applicant for the same property for a period of one year from the date of the revocation. The permit holder may appeal the Zoning Administrator's decision to the Board of Zoning Appeals for a public hearing as provided in this Title.

Section 2. This Ordinance shall take effect from and after its final passage, and such change shall be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

SPONSORED BY:

Courtney Johnston
Member of Council

AMENDMENT NO. ____
TO
SUBSTITUTE ORDINANCE NO. BL2020-187

Mr. President –

I hereby move to amend Substitute Ordinance No. BL2020-187 by amending Section 4 by adding the following new subsection m.:

"m. Any future ordinance amending this section 6.28.030 shall require a public hearing before the metropolitan council prior to its enactment. Notice of such public hearing shall be published in a newspaper of general circulation in Davidson County no less than 21 days prior to the public hearing."

SPONSORED BY:

Russ Pulley
Member of Council

SUBSTITUTE ORDINANCE NO. BL2020-215

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from R8 to RM20 SP zoning for a portion of property located at West Trinity Lane (unnumbered), northwest of the terminus of Alice Street (0.77 acres), all of which is described herein (Proposal No. 2019Z-115PR-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from R8 to RM20 SP zoning for a portion of property located at West Trinity Lane (unnumbered), northwest of the terminus of Alice Street (0.77 acres), being a portion of Property Parcel No. 042 as designated on Map 070-07 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the attached sketch, which is attached to and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 070 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to all uses permitted by the RM20 zoning district with the exception that Short Term Rental Property – Not Owner Occupied shall be prohibited.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
2. One final site plan shall be reviewed for compliance with SP standards.
3. This property shall only be eligible for short-term rental property (STRP) permits for Owner Occupied STRPs under Chapter 17.16 of the Metropolitan Code of Laws. Short Term Rental Property (STRP) – Non-Owner Occupied uses shall be prohibited.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee, based upon final architectural, engineering, or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increases the permitted density or floor area, adds uses not otherwise permitted, eliminates specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or adds vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from

the SP plan and/or Council approval, the property shall be subject to the standards, regulations, and requirements of the RM20 zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 3 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Kyonzté Toombs

2019Z-115PR-001
Map 070-07, Portion of Parcel(s) 042
Subarea 03, Bordeaux - Whites Creek - Haynes Trinity
District 02 (Toombs)
Application fee paid by: D & M Development, LLC

A request to rezone from R8 to ~~RM20~~ SP zoning for a portion of property located at West Trinity Lane (unnumbered), northwest of the terminus of Alice Street (0.77 acres), requested by Clint Elliott Survey, applicant; D&M Development, LLC, owner.



SUBSTITUTE ORDINANCE NO. BL2020-219

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by amending a Specific Plan on properties located at 4105, 4125, 4225, 4241, and 4301 Whites Creek Pike, at the southeast corner of Knight Drive and Whites Creek Pike, zoned SP (169.20 acres), to add additional land uses, modify location of rooming units and make changes to the definitions specified in the SP, all of which is described herein (Proposal No. 2009SP-022-013).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By amending a Specific Plan on properties located at 4105, 4125, 4225, 4241, and 4301 Whites Creek Pike, at the southeast corner of Knight Drive and Whites Creek Pike, zoned SP (169.20 acres), to add additional land uses, modify location of rooming units and make changes to the definitions specified in the SP, being Property Parcel Nos. 093, 163 as designated on Map 040-00 and Property Parcel Nos. 200.01, 140, 319 as designed on Map 049-00 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 040 and Map 049 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited as specified on the plan to the specific uses as described in the SP documents. Rooming units shall be limited to a maximum of 150 units.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. All applicable conditions from BL2016-282 shall remain in effect.
2. Any relevant Public Works' requirements related to access, traffic, special event traffic management, reporting and number of parking spaces shall be met with all future development.
3. Parking on the east side of Whites Creek shall be used for overflow parking only.
4. With the corrected copy, replace Event Management Note 1 with the following: The maximum number of ticketed events over 750 people in one calendar year shall not exceed 12.
5. With the corrected copy, add the following note to the Event Management table: For any event, ticketed or not ticketed, with more than 2,500 attendees, submit a traffic management plan to Public Works for review and approval.
6. With the corrected copy, remove all references to Special Event Permit.
7. Comply with all conditions and requirements of Metro reviewing agencies.
8. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.

Section 4 ~~5~~. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 5 ~~6~~. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 6 ~~7~~. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the ~~plan~~ CN zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 7 ~~8~~. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Jennifer Gamble

SP PRELIMINARY DEVELOPMENT PLAN THE MANSION AT FONTANEL

PHASE V REVISION
CASE # 2009SP-022-013

WHITES CREEK PIKE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

COUNCIL DISTRICT 3 - JENNIFER GAMBLE

PREPARED FOR:

BlueRoad Fontanel, LLC
180 N. Stetson Ave.
Suite 2880
Chicago, IL 60601

December 30th, 2019

Rev: February 19th, 2020

Corrected Set: February 28th, 2020

LANDSCAPE ARCHITECT (APPLICANT)

EDGE

PLANNING • LANDSCAPE ARCHITECTURE • GRAPHIC DESIGN
210 12th Ave, South, Suite 202
Nashville, Tennessee 37203
P 615-250-8154 F 615-250-8155

ARCHITECT

D A A D

2520 White Ave.
Nashville, TN 37204
615-248-3223

CIVIL ENGINEER

Ei ENERGY LAND & INFRASTRUCTURE
ENGINEERS • SURVEYORS • INFRASTRUCTURE • ENVIRONMENTAL

1420 Donelson Pike
Suite A-2
Nashville, TN 37217
615-383-6300

PREVIOUS SP REVISIONS

#2009SP-022-003 - June 14th, 2012
#2009SP-022-007 - September 24th, 2013
#2009SP-022-008 - July 3rd, 2014
#2009SP-022-011 - October 6th, 2016

PURPOSE NOTE

THE PURPOSE OF THIS SP AMENDMENT IS TO REVISE AND ENHANCE THE PRELIMINARY PLAN FOR THE 150-ROOM RURAL RESORT. THE RURAL RESORT SLEEPING UNITS WILL NOW BE IMPLEMENTED THROUGH A COMBINATION OF BUNGALOWS/CABINS AND YURTS ALONG WITH STANDARD UPSCALE RESORT AMENITIES.

INDEX OF DRAWINGS

COVER SHEET.....	C-0.00
SP REGULATING PLAN.....	R-1.00
REGULATING PLAN ENLARGEMENT.....	R-1.01
REGULATING PLAN ENLARGEMENT.....	R-1.02
ARCHITECTURAL CHARACTER.....	A-1.00



NORTH
VICINITY MAP
NOT TO SCALE



- DEVELOPMENT SUMMARY:**
- PROPERTY LOCATED IN DAVIDSON COUNTY - TAX MAP 49 AS PARCELS 140, 200.01 AND 319. ALSO TAX MAP 40, AS PARCELS 93.00 AND 163.00.
 - DEED OF RECORD IN BOOK 6798, PAGE 390 AND BOOK 7764, PAGE 792.
 - EXISTING LAND USE - MIXED USE DEVELOPMENT
 - COUNCIL DISTRICT: 03
 - COUNCIL MEMBER: JENNIFER GAMBLE
 - OWNER: BlueRoad Fontanel, LLC
 - 180 N. Stetson Suite 2880 Chicago, IL 60601 Contact: Tim Farrell
- NAME: FONTANEL**
- SP NUMBER: 2009SP-022-013**
- PLAN DATE: 12/27/19**
- SCALE: 1"=200'**
- FEMA FIRM #: 47037C0114F EFFECTIVE: APRIL 20, 2001**

BULK STANDARDS:

MAX FAR	.05
MAX ISR	.10
MIN. FRONT SETBACK	100' (ALONG WHITES CREEK PIKE)
MIN. FRONT PARKING SETBACK	75' (ALONG WHITES CREEK PIKE)
MIN. REAR SETBACK	20'
MIN. SIDE SETBACK	10'
MAX. BUILDING HEIGHT	50'

- BUILDING MATERIALS:**
- ALL BUILDING MATERIALS SHALL BE IN KEEPING WITH THE RURAL CHARACTER OF WHITES CREEK PIKE AND/OR THE IMAGES AS DEPICTED IN THE SUPPLEMENTAL INFORMATION BOOKLET.

- ROOF MATERIALS:**
- PERMITTED:**
- DIMENSIONAL ASPHALT SHINGLES
 - LAMINATED SHINGLES
 - COPPER FINISHES
 - STANDING SEAM METAL ROOFS
 - WOOD SHINGLES
 - CANVAS

- PROHIBITED:**
- ASBESTOS CEMENT SHINGLES
 - BRIGHTLY COLORED METAL ROOFING
 - FLAT-ROOF SYSTEM WITH PARAPET WALL

- EXTERIOR SIDING MATERIALS:**
- PERMITTED:**
- BRICK
 - STONE
 - NATURAL WOOD & WOOD ACCENTS
 - HARDWOOD BOARD
 - METAL PANEL SIDING (LIMITED TO NON-FRONTAGE SIDE ONLY FOR MUSEUM & DISTILLERY)
 - BATTEN SIDING
 - HARDPLANK

- PROHIBITED:**
- PLYWOOD
 - DESIGN BRICK
 - STUCCO
 - EFS
 - COMPOSITE BLOCK
 - UNFINISHED CONCRETE BLOCK

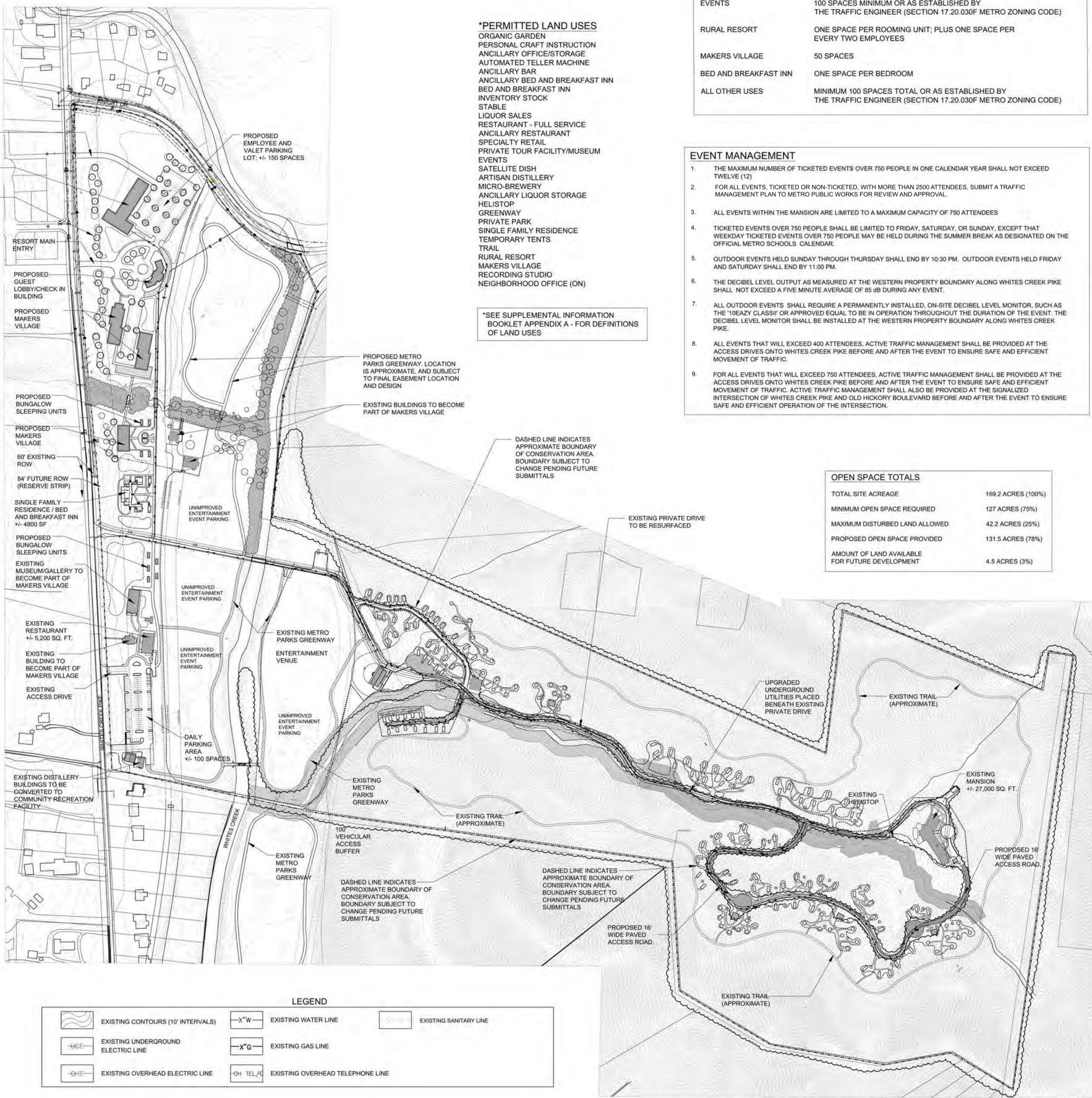
- SIGNAGE REQUIREMENTS:**
- ALL SIGNS SHALL CONFORM TO METRO SIGN ORDINANCE.
 - ALL SIGNAGE SHALL BE REVIEWED AND APPROVED BY METRO PLANNING STAFF.

- PROHIBITED SIGNS:**
- ALL SIGNS PROHIBITED BY SECTION 17.32.050 OF THE METRO ZONING ORDINANCE.
 - ROOF MOUNTED, POLE MOUNTED, BILLBOARDS, AND SIGNS THAT FLASH, ROTATE, SCINTILLATE, BLINK, FLICKER OR VARY IN INTENSITY OR COLOR, INCLUDING ALL ELECTRONIC SIGNS.

- PERMITTED SIGNS:**
- BUILDING SIGNS OR FREE STANDING GROUND SIGNS.
 - PROJECTION MOUNTED SIGNS
 - INFORMATIONAL SIGNS
 - PORTABLE SIGNS
 - TEMPORARY ON-PREMISES SIGN

- SIGN LIGHTING:**
- SIGNS SHALL BE EXTERNALLY LIT WITH STEADY, STATIONARY, DOWN DIRECTED AND COMPLETELY SHIELDED LIGHT SOURCES OR MAY BE INTERNALLY ILLUMINATED OR BACKLIT WITH A DIFFUSED OR SHIELDED LIGHT SOURCE.
 - SIGN BACKGROUNDS SHALL BE OPAQUE, ONLY LETTERS AND LOGOS MAY BE ILLUMINATED. FREESTANDING GROUND SIGNS MAY BE LIT FROM A GROUND LIGHTING SOURCE.

- SIGN CONSTRUCTION:**
- ALL SIGNS SHALL BE CONSTRUCTED USING HIGH-QUALITY DURABLE MATERIALS SUCH AS METAL, STONE, BRICK, AND HARDWOOD, AND SHALL COMPLEMENT MATERIALS AND FEATURES OF BUILDINGS ON THE SAME PROPERTY. ANY PHASE OF DEVELOPMENT SHALL SUBMIT AN OVERALL SIGNAGE PLAN WITH THE FINAL SITE PLAN.



- *PERMITTED LAND USES**
- ORGANIC GARDEN
 - PERSONAL CRAFT INSTRUCTION
 - ANCILLARY OFFICE/STORAGE
 - AUTOMATED TELLER MACHINE
 - ANCILLARY BAR
 - ANCILLARY BED AND BREAKFAST INN
 - BED AND BREAKFAST INN
 - INVENTORY STOCK
 - STABLE
 - LIQUOR SALES
 - RESTAURANT - FULL SERVICE
 - ANCILLARY RESTAURANT
 - SPECIALTY RETAIL
 - PRIVATE TOUR FACILITY/MUSEUM
 - EVENTS
 - SATELLITE DISH
 - ARTISAN DISTILLERY
 - MICRO-BREWERY
 - ANCILLARY LIQUOR STORAGE
 - HELISTOP
 - GREENWAY
 - PRIVATE PARK
 - SINGLE FAMILY RESIDENCE
 - TEMPORARY TENTS
 - TRAIL
 - RURAL RESORT
 - MAKERS VILLAGE
 - RECORDING STUDIO
 - NEIGHBORHOOD OFFICE (ON)

*SEE SUPPLEMENTAL INFORMATION BOOKLET APPENDIX A - FOR DEFINITIONS OF LAND USES

PARKING STANDARDS

EVENTS	100 SPACES MINIMUM OR AS ESTABLISHED BY THE TRAFFIC ENGINEER (SECTION 17.20.030F METRO ZONING CODE)
RURAL RESORT	ONE SPACE PER ROOMING UNIT; PLUS ONE SPACE PER EVERY TWO EMPLOYEES
MAKERS VILLAGE	50 SPACES
BED AND BREAKFAST INN	ONE SPACE PER BEDROOM
ALL OTHER USES	MINIMUM 100 SPACES TOTAL OR AS ESTABLISHED BY THE TRAFFIC ENGINEER (SECTION 17.20.030F METRO ZONING CODE)

- EVENT MANAGEMENT**
- THE MAXIMUM NUMBER OF TICKETED EVENTS OVER 750 PEOPLE IN ONE CALENDAR YEAR SHALL NOT EXCEED TWELVE (12)
 - FOR ALL EVENTS, TICKETED OR NON-TICKETED, WITH MORE THAN 2500 ATTENDEES, SUBMIT A TRAFFIC MANAGEMENT PLAN TO METRO PUBLIC WORKS FOR REVIEW AND APPROVAL.
 - ALL EVENTS WITHIN THE MANSION ARE LIMITED TO A MAXIMUM CAPACITY OF 750 ATTENDEES
 - TICKETED EVENTS OVER 750 PEOPLE SHALL BE LIMITED TO FRIDAY, SATURDAY, OR SUNDAY, EXCEPT THAT WEEKDAY TICKETED EVENTS OVER 750 PEOPLE MAY BE HELD DURING THE SUMMER BREAK AS DESIGNATED ON THE OFFICIAL METRO SCHOOLS CALENDAR.
 - OUTDOOR EVENTS HELD SUNDAY THROUGH THURSDAY SHALL END BY 10:30 PM. OUTDOOR EVENTS HELD FRIDAY AND SATURDAY SHALL END BY 11:00 PM.
 - THE DECIBEL LEVEL OUTPUT AS MEASURED AT THE WESTERN PROPERTY BOUNDARY ALONG WHITES CREEK PIKE SHALL NOT EXCEED A FIVE MINUTE AVERAGE OF 85 dB DURING ANY EVENT.
 - ALL OUTDOOR EVENTS SHALL REQUIRE A PERMANENTLY INSTALLED, ON-SITE DECIBEL LEVEL MONITOR, SUCH AS THE '10EZY CLASSII' OR APPROVED EQUAL, TO BE IN OPERATION THROUGHOUT THE DURATION OF THE EVENT. THE DECIBEL LEVEL MONITOR SHALL BE INSTALLED AT THE WESTERN PROPERTY BOUNDARY ALONG WHITES CREEK PIKE.
 - ALL EVENTS THAT WILL EXCEED 400 ATTENDEES, ACTIVE TRAFFIC MANAGEMENT SHALL BE PROVIDED AT THE ACCESS DRIVES ONTO WHITES CREEK PIKE BEFORE AND AFTER THE EVENT TO ENSURE SAFE AND EFFICIENT MOVEMENT OF TRAFFIC.
 - FOR ALL EVENTS THAT WILL EXCEED 750 ATTENDEES, ACTIVE TRAFFIC MANAGEMENT SHALL BE PROVIDED AT THE ACCESS DRIVES ONTO WHITES CREEK PIKE BEFORE AND AFTER THE EVENT TO ENSURE SAFE AND EFFICIENT MOVEMENT OF TRAFFIC. ACTIVE TRAFFIC MANAGEMENT SHALL ALSO BE PROVIDED AT THE SIGNALIZED INTERSECTION OF WHITES CREEK PIKE AND OLD HICKORY BOULEVARD BEFORE AND AFTER THE EVENT TO ENSURE SAFE AND EFFICIENT OPERATION OF THE INTERSECTION.

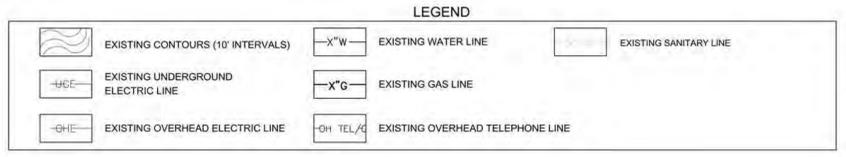
OPEN SPACE TOTALS

TOTAL SITE ACREAGE	169.2 ACRES (100%)
MINIMUM OPEN SPACE REQUIRED	127 ACRES (75%)
MAXIMUM DISTURBED LAND ALLOWED	42.2 ACRES (25%)
PROPOSED OPEN SPACE PROVIDED	131.5 ACRES (78%)
AMOUNT OF LAND AVAILABLE FOR FUTURE DEVELOPMENT	4.5 ACRES (3%)

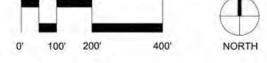
- GENERAL NOTES:**
- THE PURPOSE OF THIS SP AMENDMENT IS TO REVISE AND ENHANCE THE PRELIMINARY PLAN FOR THE 150-ROOM RURAL RESORT. THE RURAL RESORT SLEEPING UNITS WILL NOW BE IMPLEMENTED THROUGH A COMBINATION OF BUNGALOWS/CABINS AND YURTS ALONG WITH STANDARD UPSCALE RESORT AMENITIES.
 - USES WITHIN THIS SP SHALL BE LIMITED TO THE SPECIFIC USES AS DESCRIBED IN THE SP DOCUMENT.
 - ANY ADDITIONAL DEVELOPMENT NOT SHOWN ON THE COUNCIL APPROVED PLAN SHALL REQUIRE PLANNING COMMISSION AND/OR COUNCIL APPROVAL.
 - EXCESSIVE GRADING OF THE PRIVATE DRIVE SHALL NOT BE PERMITTED. IF THE FINAL SITE PLAN CALLS FOR GRADING THAT INCLUDES RETAINING WALLS OVER FIVE FEET IN HEIGHT AND/OR IT IS DETERMINED THAT THE GRADING WILL DESTROY THE EXISTING CHARACTER OF THE DRIVE, THEN IT SHALL REQUIRE COMMISSION AND/OR COUNCIL APPROVAL.
 - ALL PUBLIC WORKS REQUIREMENTS RELATED TO ACCESS, TRAFFIC, AND EVENT TRAFFIC MANAGEMENT, REPORTING AND NUMBER OF PARKING SPACES SHALL BE MET WITH ALL FUTURE DEVELOPMENT.
 - THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
 - LOCATIONS OF TRASH DUMPSTERS AND LOADING DOCKS WILL BE PROVIDED AT FINAL SITE PLAN.
 - A 16' UNOBSTRUCTED AREA FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT SHALL BE MAINTAINED ALONG ALL PROPOSED PRIVATE DRIVES.
 - CROSS-SECTIONS, GRADES & CROSS-SLOPES, VERTICAL DESIGN, SPEED, HORIZONTAL RADIUS, AND TANGENTS BETWEEN REVERSE CURVES FOR ALL PROPOSED DRIVES SHALL BE PROVIDED AT FINAL SITE PLAN.
 - ADEQUATE INTERSECTION AND STOPPING SITE DISTANCE SHALL BE PROVIDED AT ALL PROJECT DRIVES ONTO WHITES CREEK PIKE PER AASHTO STANDARDS FOR THE POSTED SPEED LIMIT.
 - ALL WATER QUALITY PONDS AND DEVICES WILL BE LOCATED AND CLEARLY IDENTIFIED AND LABELED ON THE FINAL SITE PLAN FOR EACH PHASE.
 - ALL PROPOSED METHODS FOR THE DISCHARGE OF ON-SITE STORM WATER, WILL BE LOCATED AND CLEARLY IDENTIFIED ON THE FINAL SITE PLAN FOR EACH PHASE.
 - THE SUBJECT PROPERTY IS REFERENCED ON FEMA FIRM #: 47037C0114H EFFECTIVE: APRIL 5th, 2017. THIS MAP DEPICTS THAT A PORTION OF THE SITE LIES WITHIN A FLOODWAY (FW) AND FLOODWAY FRINGE (FF) BOUNDARY.
 - ALL LANDSCAPING SHALL MEET THE METRO ORDINANCE CHAPTER 17.24 LANDSCAPING, BUFFERING AND TREE REPLACEMENT.
 - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES ON THIS SITE.
 - THE TOTAL NUMBER OF PARKING SPACES PROVIDED AS WELL AS A TOTAL BREAKDOWN FOR EACH INDIVIDUAL BUILDING USE WILL BE PROVIDED AT FINAL SITE PLAN.
 - FINAL BUILDING LOCATIONS, SQUARE FOOTAGE, NUMBER OF STORIES, HEIGHT, AND SETBACKS WILL BE PROVIDED AT FINAL SITE PLAN.
 - FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE CN ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
 - THERE ARE NO HISTORICALLY REGISTERED BUILDINGS ON SITE.
 - THERE ARE NO CEMETERIES ON SITE.
 - ALL ASSOCIATED PARKING LOTS, DRIVES, AND DRIVEWAYS ARE PRIVATE.
 - ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78.840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 - THE BUFFER ALONG WATERWAYS, WITH THE EXCEPTION OF METRO PARKS GREENWAYS, WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL - VOLUME 1 - REGULATIONS.
 - DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROAD IS 15" CMP.)
 - ALL PROPOSED BUILDING ELEVATIONS SHALL BE SUBMITTED AT FINAL SITE PLAN & REVIEWED & APPROVED BY PLANNING STAFF.
 - ANY NEW BUILDINGS TO BE LOCATED ON SLOPES BETWEEN 20 AND 25 PERCENT SHALL BE REVIEWED AND APPROVED BY PLANNING STAFF USING THE PROCESS FOR ANY BUILDINGS PROPOSED FOR CRITICAL LOTS AS DEFINED IN THE SUBDIVISION REGULATIONS.
 - THE LOCATION, SIZE AND DESIGN OF THE STABLE BUILDING SHALL BE REVIEWED AND APPROVED BY PLANNING STAFF.
 - PARKING LOCATED ON THE EAST SIDE OF WHITES CREEK SHALL BE USED FOR OVERFLOW PARKING ONLY.
 - THE APPLICANT SHALL AGREE TO MAINTAIN A MINIMUM OF 75% OF THE OVERALL SITE AREA, OR 127 ACRES, AS OPEN SPACE. THE OPEN SPACE SHALL BE MADE AVAILABLE TO THE PUBLIC THROUGH AN ALL ACCESS PUBLIC EASEMENT WITH LIMITATIONS DURING THE USE OF THE SEASONAL EVENT VENUE.
 - SOLID WASTE AND RECYCLING SERVICES WILL BE PROVIDED BY A PRIVATE COMPANY.
 - TOTAL DISTURBED LAND AREA FOR DEVELOPMENT ON SITE SHALL NOT EXCEED 42.2 ACRES OR 25% OF THE OVERALL SITE AREA.
 - THE MAXIMUM NUMBER OF SLEEPING UNITS AT THE RURAL RESORT SHALL BE 150.

STORMWATER PRELIMINARY NOTE:

DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL/COMMENTS ONLY. DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF APPLICATION.



SEE SHEETS R-1.01 & R-1.02 FOR ENLARGEMENTS OF THE DEVELOPMENT PLAN SHOWN ABOVE.



THE MANSION AT FONTANEL
SP PRELIMINARY DEVELOPMENT PLAN
CASE # 2009SP-022-013
NASHVILLE, TN

CLIENT
BLUEROAD
FONTANEL, LLC

PROJECT NO. 19018

Date 12/30/19

Revisions

REVISIONS PER METRO COMMENTS - 01/21/20
REVISIONS PER METRO COMMENTS - 02/19/20
CORRECTED SET - 02/28/20

Sheet Title
SP REGULATING PLAN
 Sheet Number

R-1.00

CONSULTANTS



PROJECT TITLE

THE MANSION AT FONTANEL
SP PRELIMINARY DEVELOPMENT PLAN
CASE # 2009SP-022-013
NASHVILLE, TN

CLIENT

BLUEROAD
FONTANEL, LLC

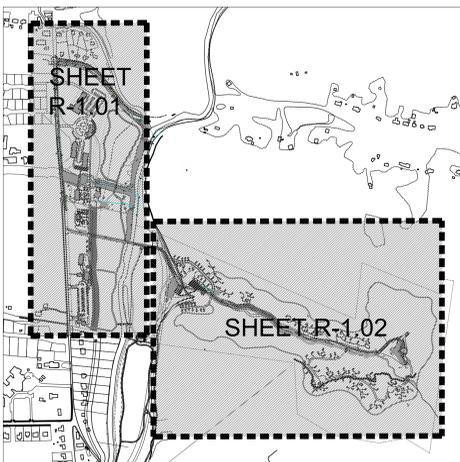
PROJECT NO. 19018
Date 12/30/19
Revisions
REVISIONS PER METRO COMMENTS - 01/21/20
REVISIONS PER METRO COMMENTS - 02/19/20
CORRECTED SET - 02/28/20

Sheet Title

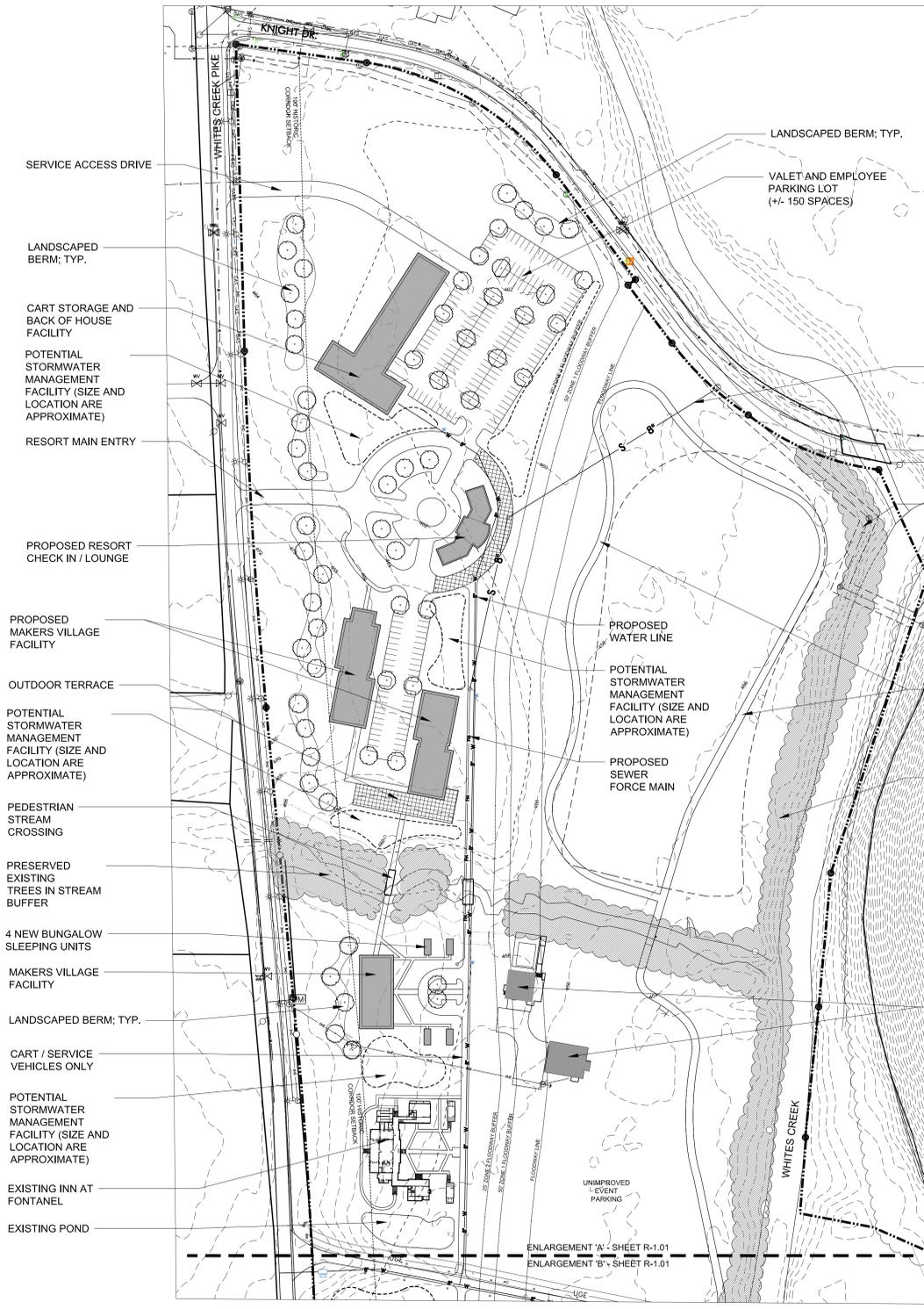
SP REGULATING
PLAN ENLARGEMENTS

Sheet Number

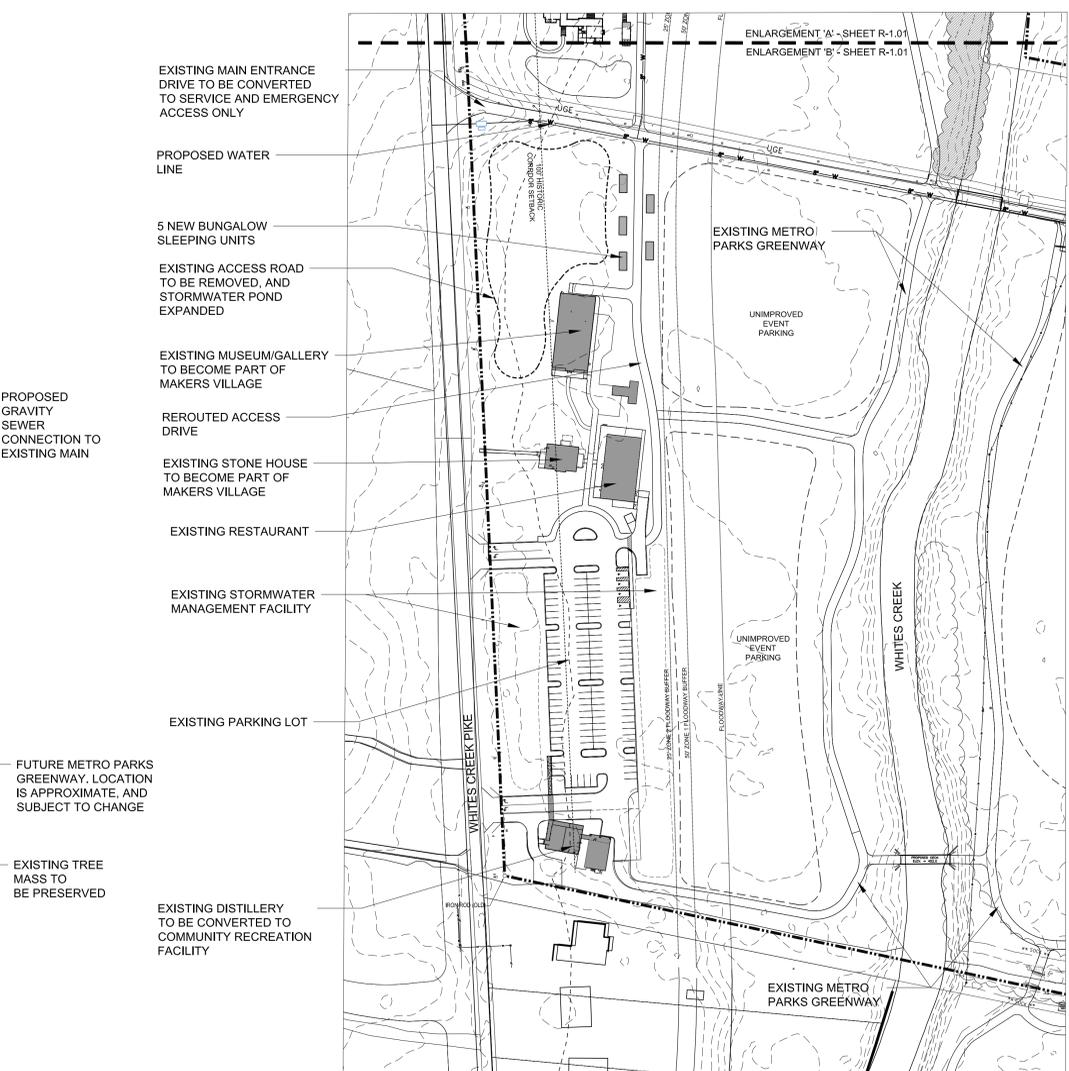
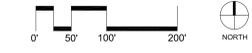
R-1.01



SHEET REFERENCE PLAN
NTS



SITE PLAN - ENLARGEMENT 'A'



SITE PLAN - ENLARGEMENT 'B'



- SERVICE ACCESS DRIVE
- LANDSCAPED BERM; TYP.
- CART STORAGE AND BACK OF HOUSE FACILITY
- POTENTIAL STORMWATER MANAGEMENT FACILITY (SIZE AND LOCATION ARE APPROXIMATE)
- RESORT MAIN ENTRY
- PROPOSED RESORT CHECK IN / LOUNGE
- PROPOSED MAKERS VILLAGE FACILITY
- OUTDOOR TERRACE
- POTENTIAL STORMWATER MANAGEMENT FACILITY (SIZE AND LOCATION ARE APPROXIMATE)
- PEDESTRIAN STREAM CROSSING
- PRESERVED EXISTING TREES IN STREAM BUFFER
- 4 NEW BUNGALOW SLEEPING UNITS
- MAKERS VILLAGE FACILITY
- LANDSCAPED BERM; TYP.
- CART / SERVICE VEHICLES ONLY
- POTENTIAL STORMWATER MANAGEMENT FACILITY (SIZE AND LOCATION ARE APPROXIMATE)
- EXISTING INN AT FONTANEL
- EXISTING POND

LANDSCAPED BERM; TYP.

VALET AND EMPLOYEE PARKING LOT (+/- 150 SPACES)

PROPOSED GRAVITY SEWER CONNECTION TO EXISTING MAIN

FUTURE METRO PARKS GREENWAY. LOCATION IS APPROXIMATE, AND SUBJECT TO CHANGE

EXISTING TREE MASS TO BE PRESERVED

EXISTING STRUCTURES TO BE CONVERTED TO ADMINISTRATIVE AND/OR MAKERS VILLAGE USES

EXISTING MAIN ENTRANCE DRIVE TO BE CONVERTED TO SERVICE AND EMERGENCY ACCESS ONLY

PROPOSED WATER LINE

5 NEW BUNGALOW SLEEPING UNITS

EXISTING ACCESS ROAD TO BE REMOVED, AND STORMWATER POND EXPANDED

EXISTING MUSEUM/GALLERY TO BECOME PART OF MAKERS VILLAGE

REROUTED ACCESS DRIVE

EXISTING STONE HOUSE TO BECOME PART OF MAKERS VILLAGE

EXISTING RESTAURANT

EXISTING STORMWATER MANAGEMENT FACILITY

EXISTING PARKING LOT

EXISTING DISTILLERY TO BE CONVERTED TO COMMUNITY RECREATION FACILITY

ENLARGEMENT 'A' - SHEET R-1.01

ENLARGEMENT 'B' - SHEET R-1.01

EXISTING METRO PARKS GREENWAY

UNIMPROVED EVENT PARKING

UNIMPROVED EVENT PARKING

EXISTING METRO PARKS GREENWAY

CONSULTANTS



PROJECT TITLE
THE MANSION AT FONTANEL
 SP PRELIMINARY DEVELOPMENT PLAN
 CASE # 2009SP-022-013
 NASHVILLE, TN

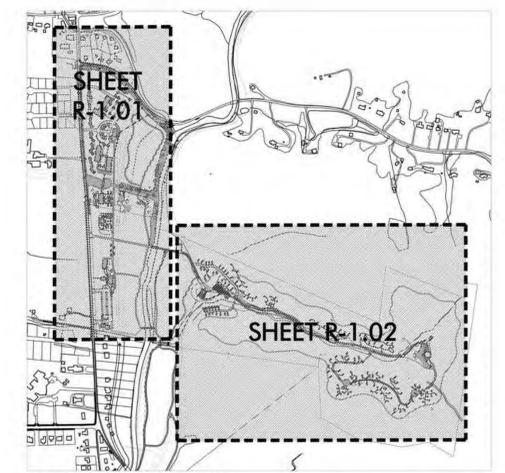
CLIENT
BLUEROAD FONTANEL, LLC

PROJECT NO. 19018
 Date 12/30/19
 Revisions
 REVISIONS PER METRO COMMENTS - 01/21/20
 REVISIONS PER METRO COMMENTS - 02/19/20
 CORRECTED SET - 02/28/20

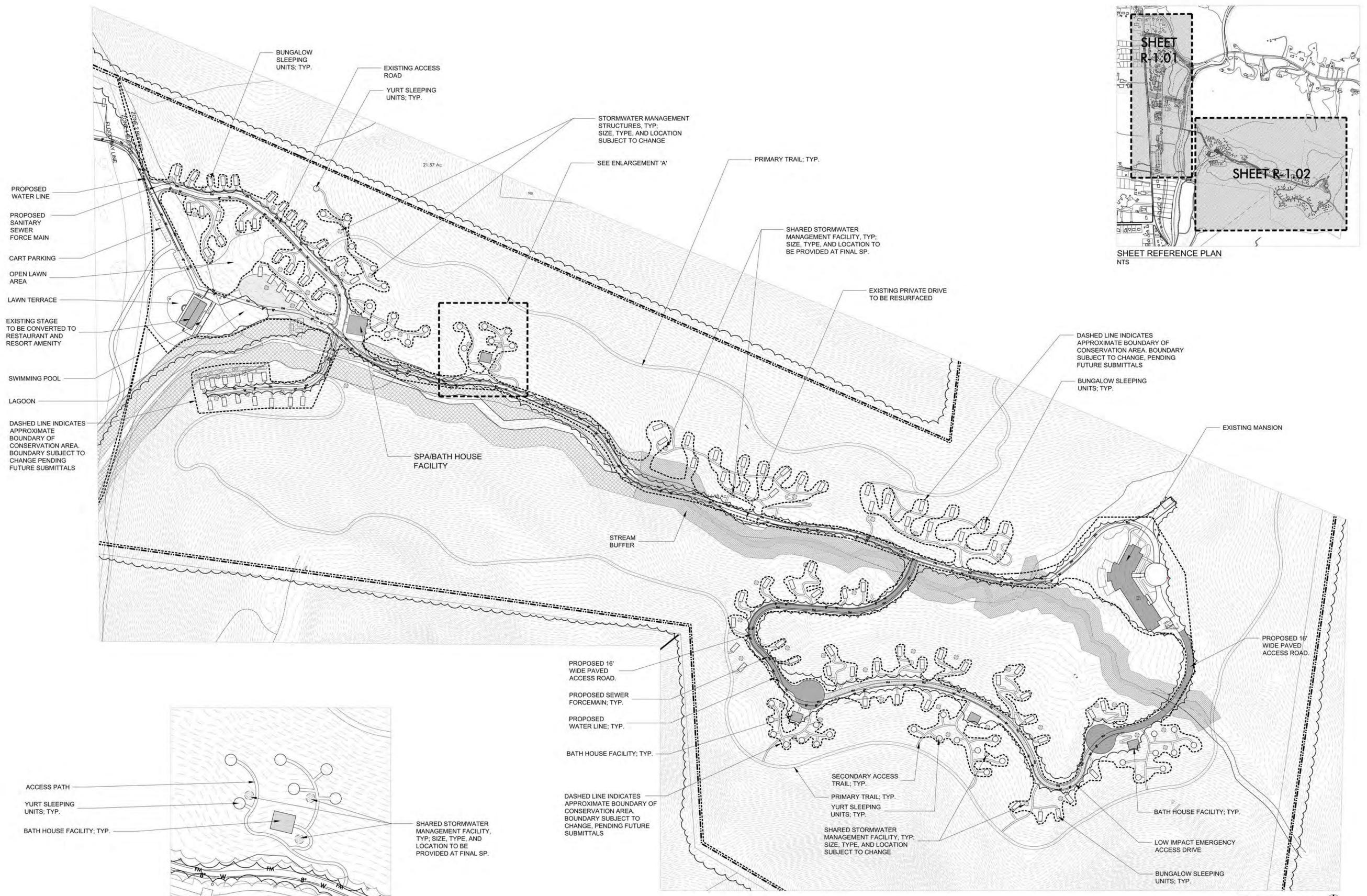
Sheet Title

SP REGULATING PLAN ENLARGEMENTS
 Sheet Number

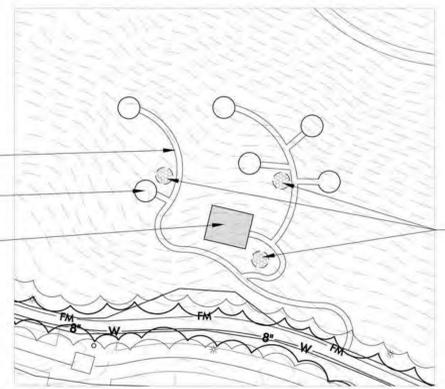
R-1.02



SHEET REFERENCE PLAN
 NTS

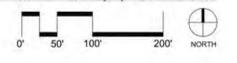


- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER FORCE MAIN
- CART PARKING
- OPEN LAWN AREA
- LAWN TERRACE
- EXISTING STAGE TO BE CONVERTED TO RESTAURANT AND RESORT AMENITY
- SWIMMING POOL
- LAGOON
- DASHED LINE INDICATES APPROXIMATE BOUNDARY OF CONSERVATION AREA. BOUNDARY SUBJECT TO CHANGE PENDING FUTURE SUBMITTALS



ENLARGEMENT 'A'
 1" = 50'

STORMWATER NOTE:
 ALL PRIOR VARIANCES AND ANY PROPOSED VARIANCES WILL BE COMBINED INTO A NEW STORMWATER VARIANCE REQUEST.





RESTAURANT



SLEEPING UNITS



SLEEPING UNITS



SLEEPING UNITS



SLEEPING UNITS



SPA / BATH HOUSE



SLEEPING UNITS



CHECK-IN & LOUNGE



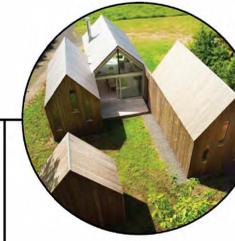
MAKERS' VILLAGE



MAKERS' VILLAGE



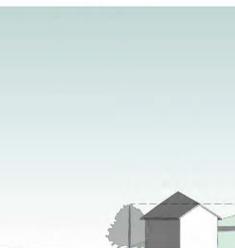
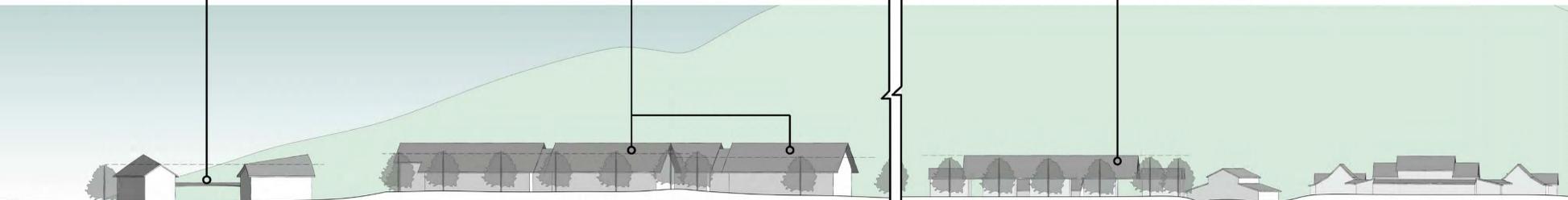
MAKERS' VILLAGE



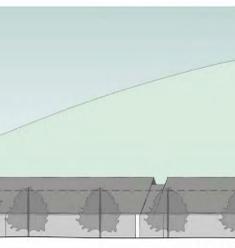
EXISTING INN



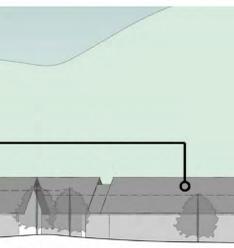
CART STORAGE & BACK OF HOUSE



CHECK-IN & LOUNGE



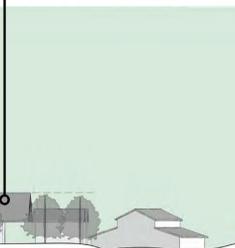
MAKERS' VILLAGE



MAKERS' VILLAGE



MAKERS' VILLAGE



EXISTING INN

ARCHITECTURE NOTE:
 ARCHITECTURAL CHARACTER IMAGES SHOWN ARE
 INTENDED TO RELAY DESIGN INTENT ONLY. FINAL
 ARCHITECTURAL DRAWINGS WILL BE SUBMITTED AT FINAL
 SP FOR REVIEW AND APPROVAL.



SUBSTITUTE ORDINANCE NO. BL2020-233

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from RS5 to MUN-A-NS zoning for properties located at Birch Avenue (unnumbered) and 103 Fern Avenue, at the northeast corner of Birch Avenue and Fern Avenue (0.57 acres), all of which is described herein (Proposal No. 2019Z-090PR-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from RS5 to MUN-A-NS zoning for properties located at Birch Avenue (unnumbered) and 103 Fern Avenue, at the northeast corner of Birch Avenue and Fern Avenue (0.57 acres), being Property Parcel Nos. 019, 020 as designated on Map 071-14 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the attached sketch, which is attached to and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 071 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

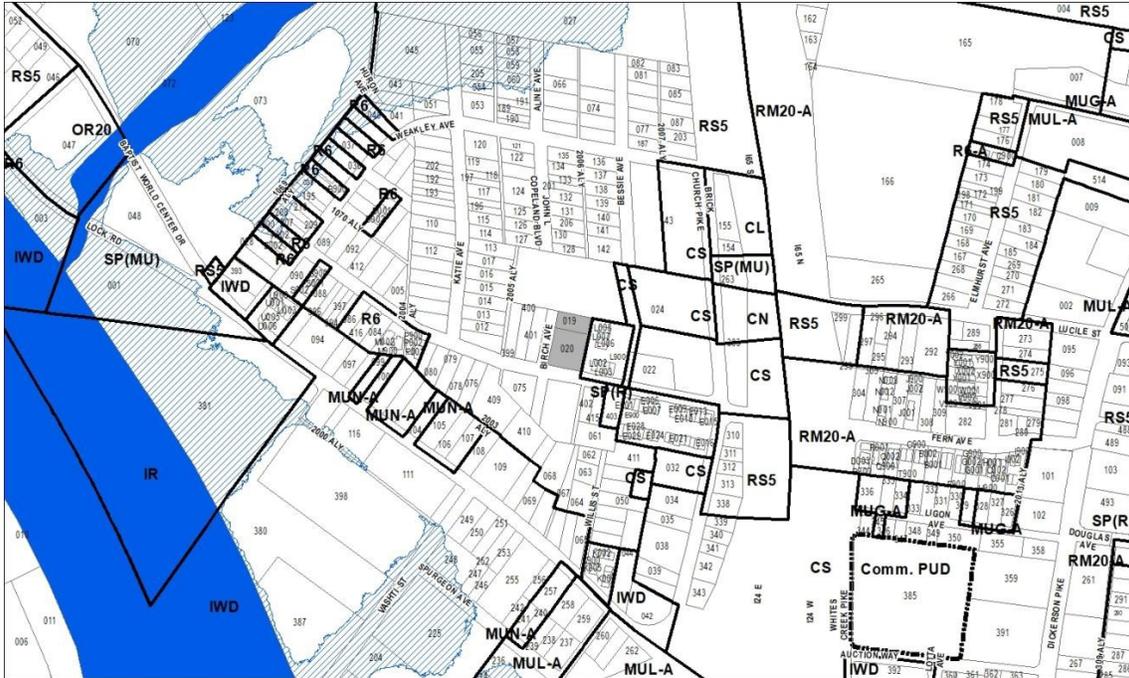
Section 3. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Kyonzté Toombs

2019Z-090PR-001
Map 071-14, Parcel(s) 019-020
Subarea 03, Bordeaux - Whites Creek - Haynes Trinity District 02
(Hastings)
Application fee paid by: Wamble & Associates, PLLC

A request to rezone from RS5 to MUN-A-NS zoning for properties located at Birch Avenue (unnumbered) and 103 Fern Avenue, at the northeast corner of Birch Avenue and Fern Avenue (0.57 acres), requested by Duane Cuthbertson, applicant; Troy A. Fields and Stephen T. Hannah, owners.



SUBSTITUTE ORDINANCE NO. BL2020-263

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from IG to SP zoning for property located at 1420 Adams Street, approximately 400 feet north of Taylor Street (approximately 12.03 acres), to permit a mixed use development, all of which is described herein (Proposal No. 2020SP-009-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from IG to SP zoning for property located at 1420 Adams Street, approximately 400 feet north of Taylor Street (approximately 12.03 acres), to permit a mixed use development, being Property Parcel No. 158 as designated on Map 082-05 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 082 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to a maximum 800 multi-family residential units and 16,000 square feet of non-residential uses. Non-residential uses include those permitted within the MUG-A zoning district, Community Gardening, Mobile Vendor, Artisan Distillery, Microbrewery, and Tasting Room. Short Term Rental Property (STRP) – Owner-Occupied and Short Term Rental Property (STRP) – Not Owner-Occupied uses shall not be permitted within the SP.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. On the corrected copy, update Site Plan Note #62 on Sheet 19: As shown on the site plan, a 12' wide paved greenway trail in a Greenways Conservation and Public Access Easement along the waterfront will be constructed for each Phase. The trail will meet minimum Metro requirements for greenway trails.
2. On the corrected copy, update the first sentence of the 75' easement note on Sheet 23: 75' Greenways Conservation and Public Access Easement to include 12'wide paved trail for Metro greenway.
3. On the corrected copy, the public access easement along the central drive shall include the entire length of the 12' wide sidewalk, from the western property line to the public greenway trail along the river.
4. On the corrected copy, update Architectural Standards Note #17 on page 18: Exterior facing building facades will be limited to a maximum of 15% of cementitious siding. No minimum amount of cementitious siding will exist for the project.
5. The central drive between Phase 1 and Phase II will remain open with no gating of sidewalks or the roadway in order to preserve connection through the site and to preserve access to the

greenway trail. Additionally, the section of street and sidewalk ranging from the central drive roundabout north through the Phase 1 garage to the northern boundary of the site will also remain open. Please references notes on the site plan.

6. With the final site plan, provide architectural elevations for buildings along the river, fronting the greenway trail. Staff will review elevations to ensure activation along the river.
7. Comply with all conditions and requirements of Metro reviewing agencies.
8. With the submittal of the final site plan, provide architectural elevations complying with all architectural standards outlined on the Preliminary SP for review and approval.
9. The final site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
10. The Preliminary SP plan is the site plan and associated documents. If applicable, remove all notes and references that indicate that the site plan is illustrative, conceptual, etc.
11. The final site plan shall label all internal driveways as "Private Driveways". A note shall be added to the final site plan that the driveways shall be maintained by the Homeowner's Association.
12. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.

Section 4-5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 5-6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 6-7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUG-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

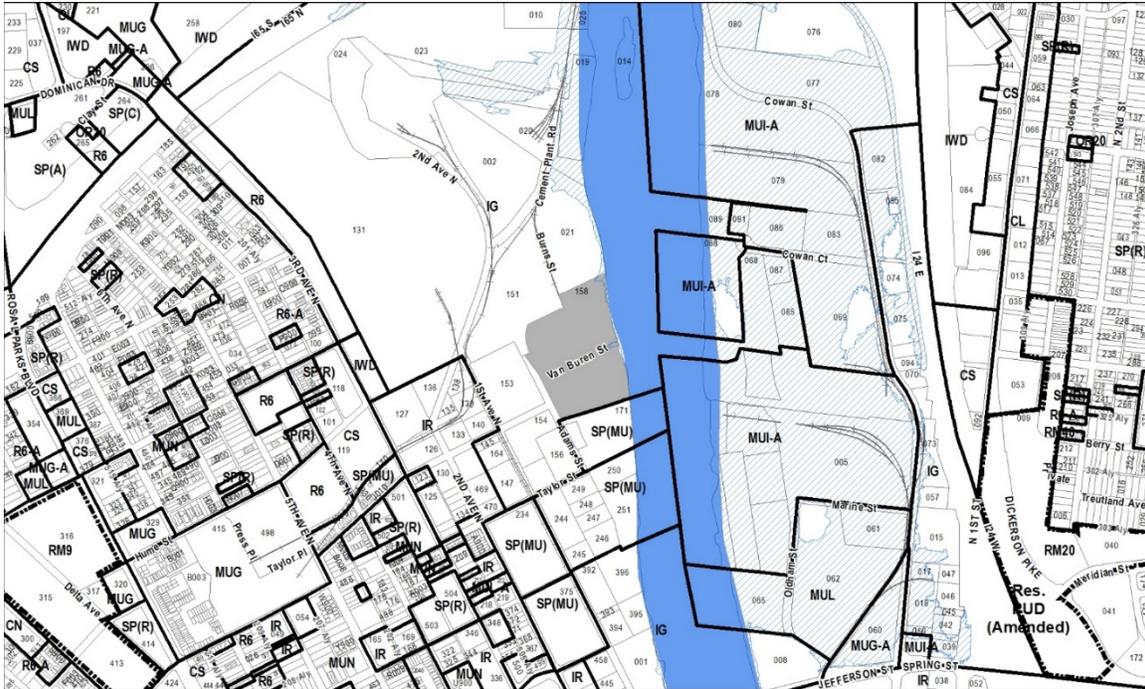
Section 7-8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Freddie O'Connell

2020SP-009-001
MODERA GERMANTOWN
Map 082-05, Parcel(s) 158
Subarea 08, North Nashville
District 19 (O'Connell)
Application fee paid by: Luca C. Barber

A request to rezone from IG to SP zoning for property located at 1420 Adams Street, approximately 400 feet north of Taylor Street (approximately 12.03 acres), to permit a mixed use development, requested by Cooper Carry, applicant; Baugh & Pardue Properties, LLC, owner.



MODERA GERMANTOWN



Mill Creek Residential
3102 West End Avenue
Suite 780
Nashville, TN 37203

Contact: Luca Barber
LBarber@MCRTrust.com
615.762.3825



Cooper Carry
191 Peachtree Street, Suite 2400
Atlanta, Georgia 30303

Contact: Kyle Reis
kylereis@coopercarry.com
678.539.4680



Kimley Horn
214 Oceanside Drive
Nashville, Tennessee 37204

Contact: Brendan Boles
Brendan.Boles@kimley-horn.com
615.564.2720



Hawkins Partners, Inc
110 South 10th Street Second Floor
Nashville, Tennessee 37206

Contact: Brian Phelps
b.phelps@hawkinspartners.com
615.255.5218

An aerial photograph of an industrial facility, likely a water treatment plant, featuring numerous circular tanks, rectangular basins, and various buildings. A large body of water is visible on the right side of the image. The word "CONTEXT" is overlaid in large, white, bold, sans-serif capital letters across the center of the image.

CONTEXT

SITE UNDERSTANDING

The Modera Germantown property is located in Nashville, Tennessee in the Germantown neighborhood immediately north of Downtown Nashville. Germantown was established in the 1850s by European immigrants and was considered one of Nashville's first suburbs. The neighborhood was originally settled by a diverse socioeconomic community with brick townhomes adjacent next to worker cottages. It was and still is a picture of truly mixed-use and diverse community for Nashville. This historic community has continued to grow and thrive. In recent years, it has experienced a rebirth becoming a destination for local boutiques, artisans, and renowned restaurants. The neighborhood continues to be a hub of cultural activities housing both the Nashville Farmer's Market and the Nashville Sounds baseball field, First Tennessee Park, as well as host to a number of neighborhood festivals throughout the year.

The eastern area of Germantown has seen an increase in quality mixed-use development, and we intend to build on that momentum to help support the enhancement of a mixed-use neighborhood, which helps meet the vision of the North Nashville Community Plan. While the northern portion of the property is designated as District Industrial, the recent and current development trend in the area is creating a walkable, urban, mixed-use district. Our parcel is a key part in building on that momentum. While it is bound by Metro Water to the north, the activity to the west and south of this property makes it an important development parcel to help connect Germantown to the Cumberland River.

The Modera Germantown property is approximately 12 acres and is bound on the north by the Metro Water facility, on the east by the Cumberland River, on the south by the parcel owned by Gateway TBR Hammer Mill, LLC and on the West by Adams Street. The property is located in District 19 and is identified as "D Industrial" (D IN) in the North Nashville

Community Plan document adopted June 22, 2015 and amended August 24, 2017. The site is currently zoned as Industrial General District (IG) and it is the intent of Mill Creek Residential ("Client") to have the property rezoned through the Specific Plan (SP) District Ordinance.

Mill Creek intends to re-develop the existing industrial property into a mixed-use community with apartments and retail. The project will be developed in two phases. Phase I will be approximately 7 acres and will include a maximum of 400 multifamily units. Phase II will be approximately 5 acres and will include a maximum of 400 multifamily units with 10,000 – 16,000 square feet of retail located in the southwest corner of the site. The retail in Phase II will enhance the emerging retail district at the intersection of Van Buren and Adams Street. The two phases will be independent of one another with their own respective amenity and clubhouse space, but will share the open space between the two buildings and access to the Greenway Trail.

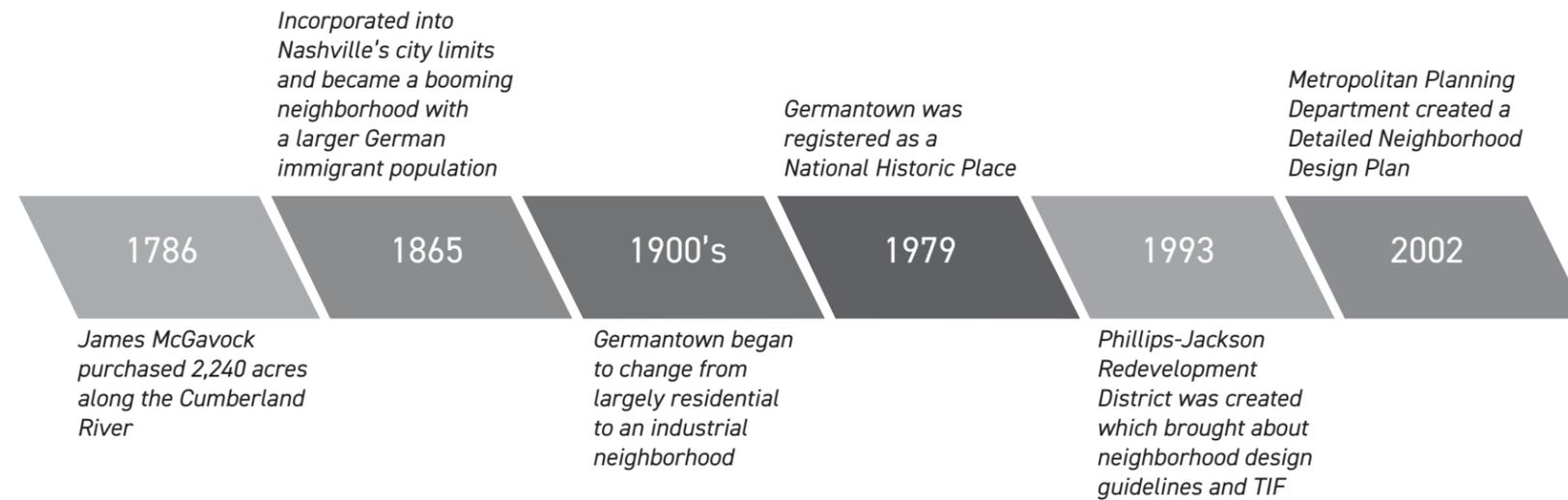
The Metro Water Facility on the Northern edge provides an opportunity to leverage the existing structures as feature elements for the community. The Mill Creek team will work to cooperate with the applicable departments to further investigate the potential of elevating the exterior of the tanks through a number of public art installations. Iconic murals and public art are prevalent throughout Nashville. Painting the tanks would provide an iconic attraction while also contributing to a vibrant corridor along Adams Street.



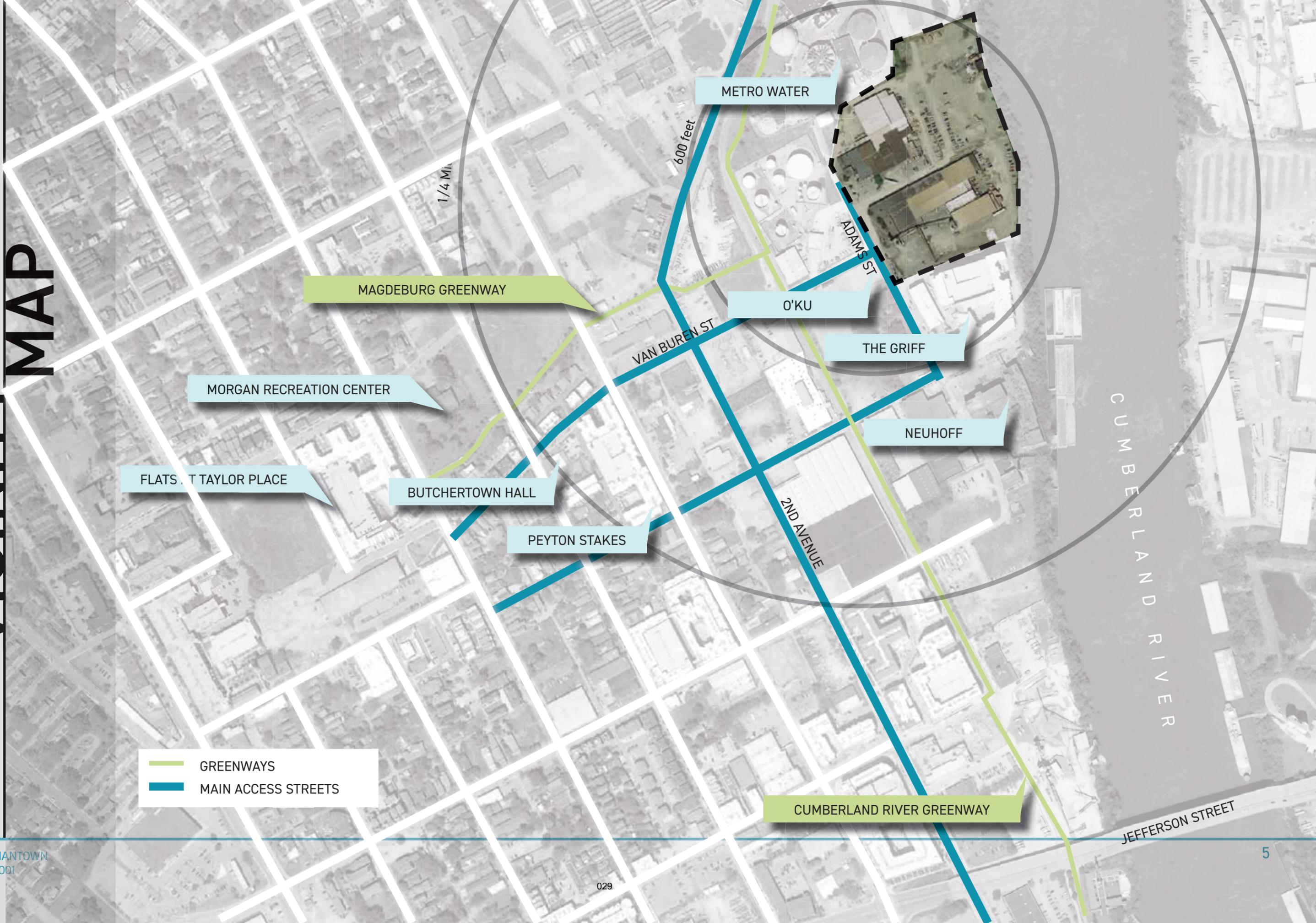
Historic Germantown



Existing Site Conditions



VICINITY MAP



-  GREENWAYS
-  MAIN ACCESS STREETS

FLATS AT TAYLOR PLACE

MORGAN RECREATION CENTER

BUTCHERTOWN HALL

PEYTON STAKES

MAGDEBURG GREENWAY

VAN BUREN ST

600 feet

1/4 MI

METRO WATER

O'KU

ADAMS ST

THE GRIFF

NEUHOFF

2ND AVENUE

CUMBERLAND RIVER GREENWAY

CUMBERLAND RIVER

JEFFERSON STREET

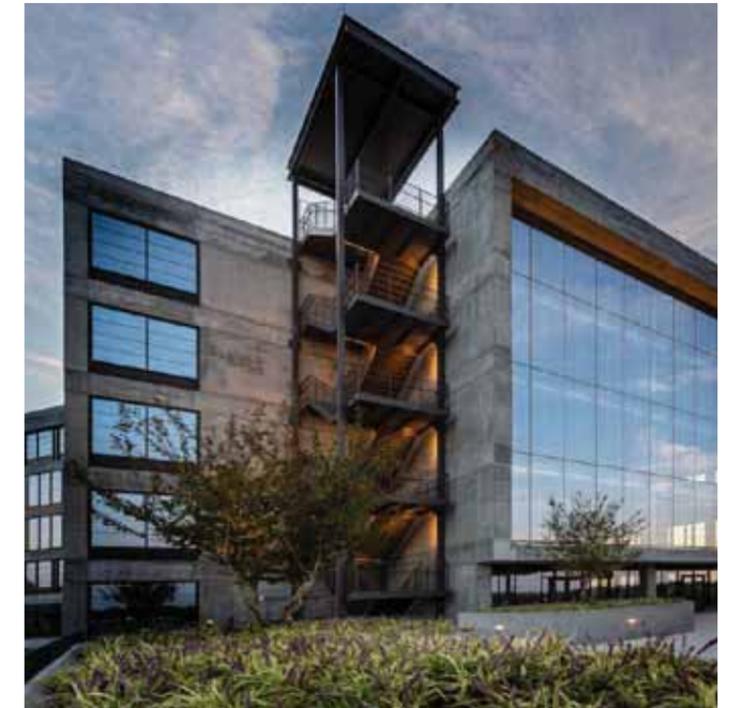
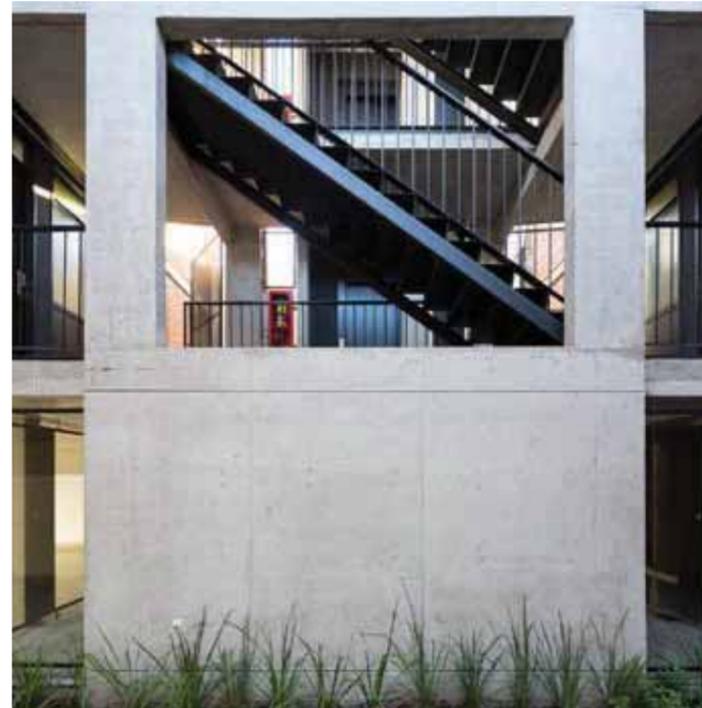
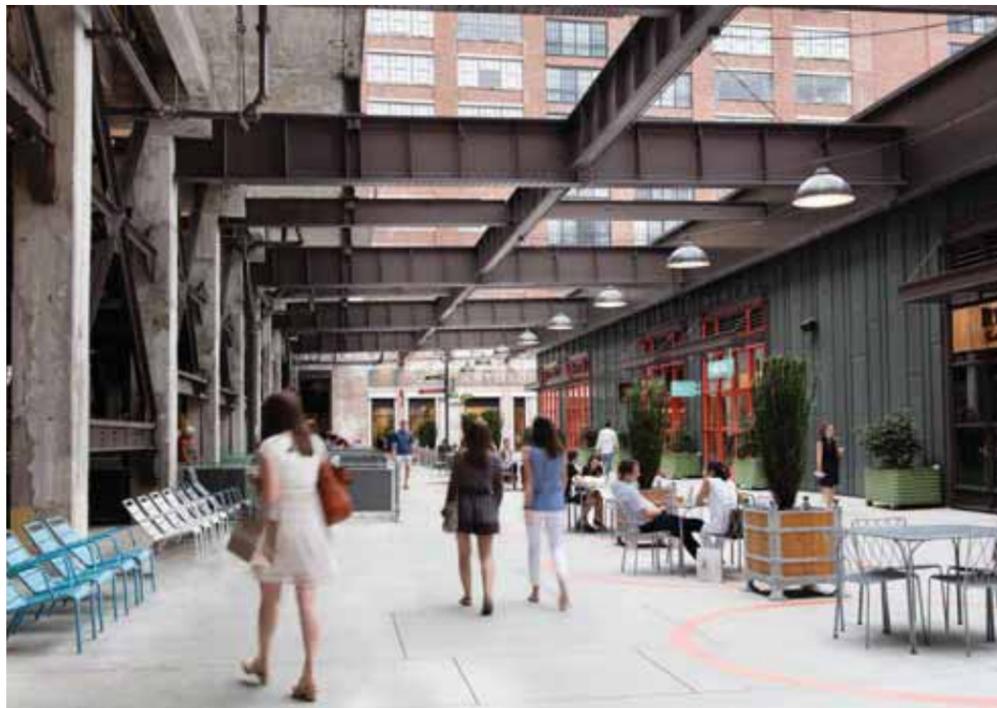
DEVELOPMENT VISION

VISION

The Vision for the Modera Germantown site is to create a mixed-use environment that reflects the community in both architecture and urban design while elevating the waterfront. The current waterfront is not accessible or even visible to residents; however with neighboring developments that are creating accessible river frontage, our hope would be to support and enhance the riverfront through dynamic spaces for residents to enjoy.

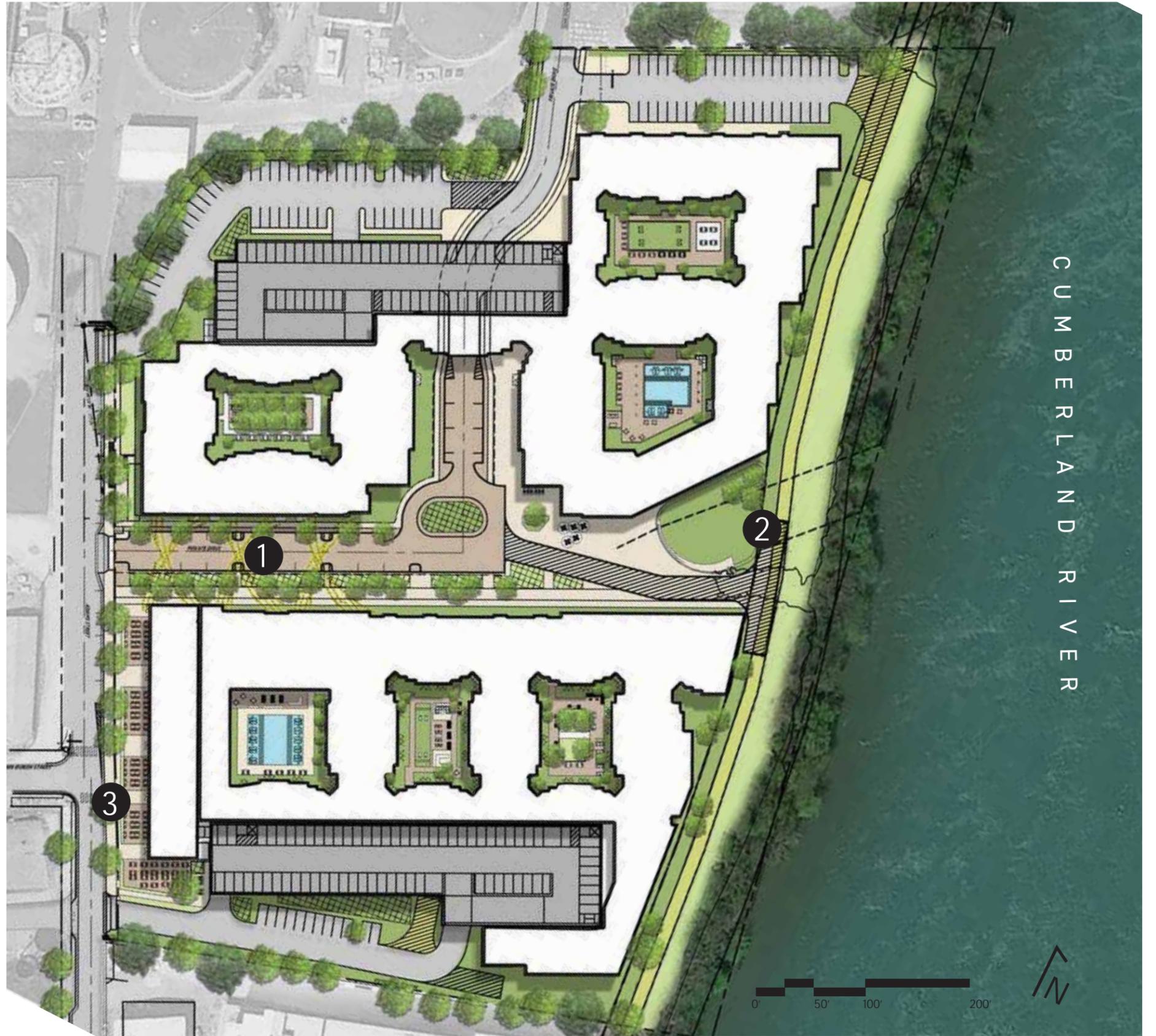
INSPIRATION

Germantown itself is steeped in architectural history and character. The juxtaposition of old and new, and industrial and modern have created a unique and diverse community. The Modera Germantown site has operated as a number of uses in the past from meat dressing facility to stone manufacturing to now mixed-use living. The architectural inspiration draws from the neighboring buildings and artistic community that is Germantown.



MASTER PLAN

- 1 CENTRAL DRIVE
- 2 THE WATERFRONT
- 3 THE RETAIL PLAZA



THE CENTRAL DRIVE

A visible separation between Phase 1 and Phase 2, the Central Drive creates a welcoming entrance for both pedestrians and vehicles. Wide sidewalks, parallel parking and attractive landscaping enhance the pedestrian experience creating a gateway to the waterfront.

Note: Images shown are meant to be inspirational in nature



- 1 SIDEWALK AND BUILDING RELATIONSHIP
- 2 SIDEWALK EXPERIENCE DOWN THE CENTRAL DRIVE
- 3 STORMWATER MANAGEMENT
- 4 PLAZA TREATMENT AND SEATING OPTIONS

THE WATERFRONT

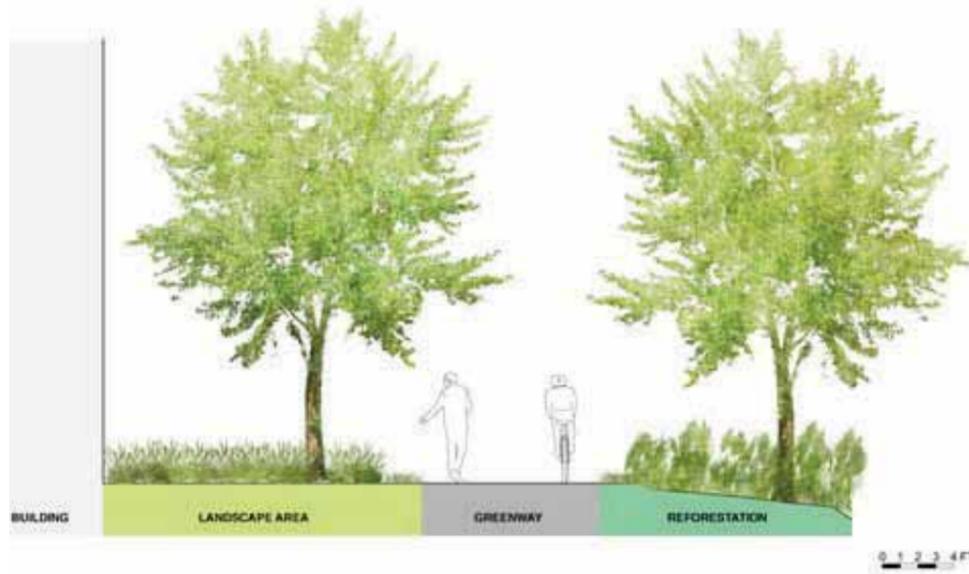
Situated on the Cumberland River, Modera Germantown has a unique opportunity to enhance the waterfront experience for Germantown residences. The waterfront is accessed via the Central Drive and provides amenities like a dog park, walking trail, and places for residences to congregate and gather. Attractive landscape areas also double as creative solutions to biorention helping to mitigate stormwater and potential runoff. Over the years, the vegetation within the 50 foot stream buffer has been continually mowed down providing Modera Germantown the opportunity to not only restore this area, but to also enhance the landscape along the waterfront.

Note: Images shown are meant to be inspirational in nature

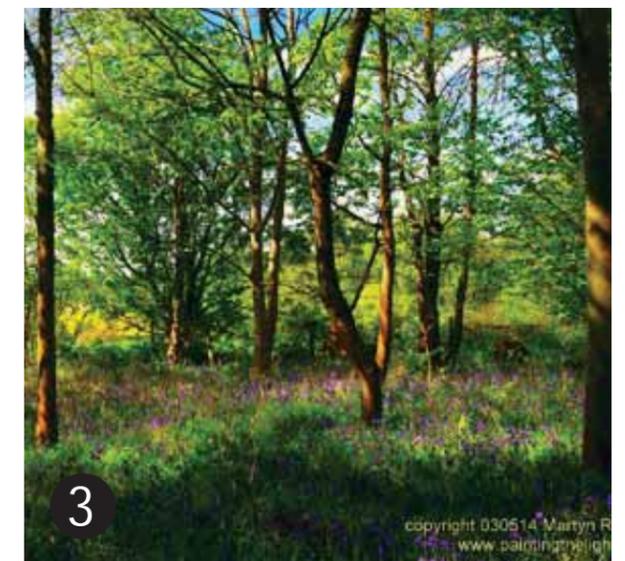
- 1 ACTIVITY ALONG THE WATERFRONT
- 2 OPEN SPACES FOR USES LIKE A DOG PARK OR GATHERING SPACE
- 3 RESTORED AND ENHANCED LANDSCAPE ALONG WATERFRONT



1



2



3

THE WATERFRONT



THE RETAIL PLAZA

Historically, this site and the Neuhoff Slaughterhouse were not only neighbors but also reliant on each other's services. Neuhoff provided the function of a slaughter house to the cattle that arrived at its dock, and from there, the Modera Site would process and dress the meat. More than a century ago the two sites expressed a synergy along Adams Street, which will once again be re-established but in a new form.

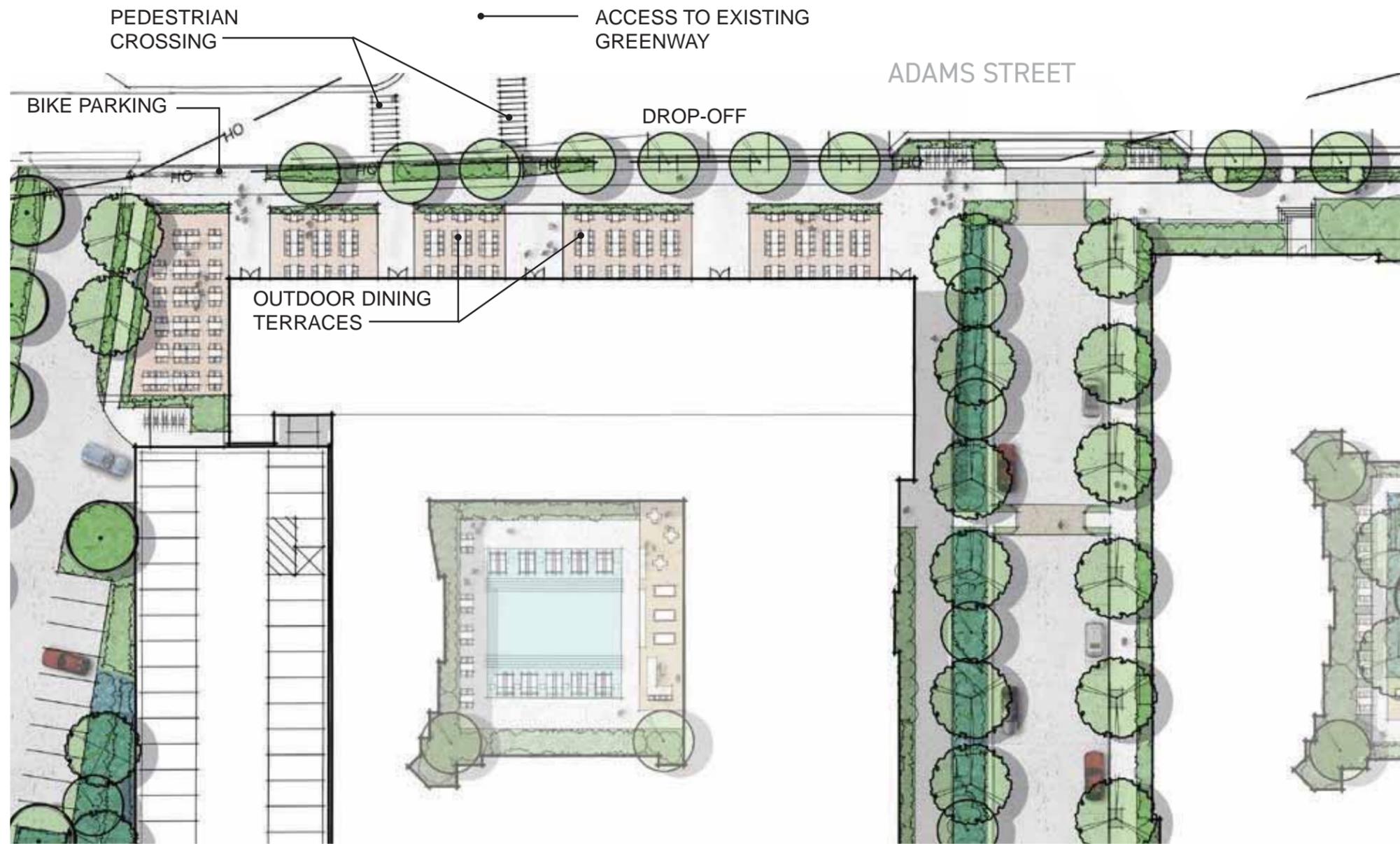
The Modera Germantown development is part of a lively retail district that is taking shape along Adams Street. With the continued addition of top tier restaurants like O'Ku and Ford Fry restaurants coming to both the Hammermill and Neuhoff, the Modera development will provide similar retail and dining options to further the energy along Adams Street.

Note: Images shown are meant to be inspirational in nature

- 1 SUGGESTED WAYFINDING OR SIGNAGE
- 2 LIVELY STORE FRONTS AND PATIOS
- 3 PATIO AND PLAZA ALONG ADAMS



THE RETAIL PLAZA



PLAZA PERSPECTIVES

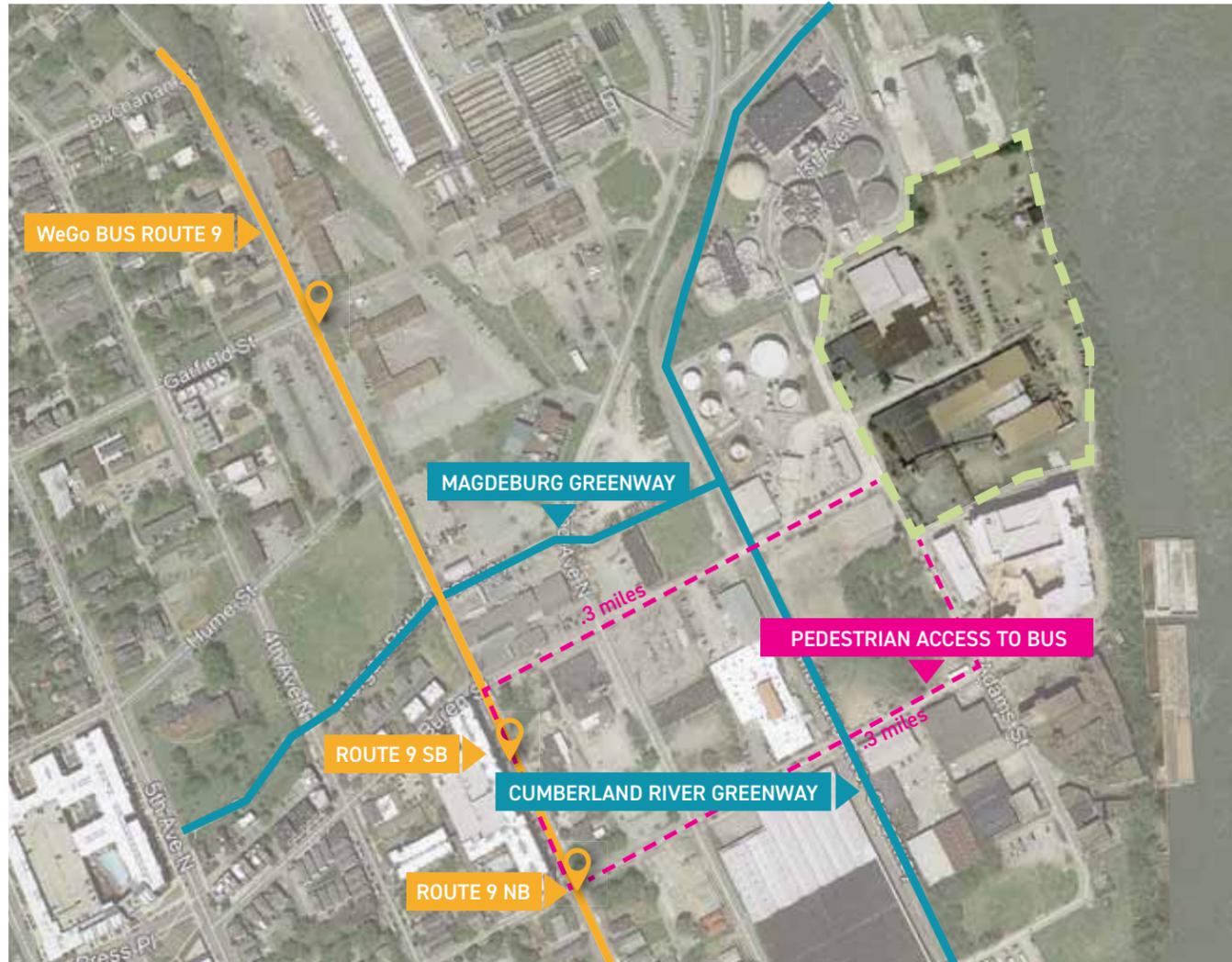
CENTER RETAIL PLAZA



COMMUNITY ENTRY PLAZA



ACCESS & CONNECTIVITY



Connectivity: Bus, Trail, & Pedestrian Access

ACCESS

The site's primary access point would be by way of Van Buren and Adams Street. Neuhoff's intent to transform a portion of Adams Street into pedestrian supports the intent for Adams Street to be primarily pedestrian activity and will support the intended retail along this street. With Adams Street moving largely to a pedestrian street, previous 18-wheeler traffic will be significantly reduced, further enhancing the street activity and walkability of the area.

The main entrance would lay the foundation for a vibrant pedestrian experience and access to the river. It would also allow for circulation through Phase I and another access point for the parking structure. An additional entrance would be located at the end of the block to allow for a back entrance into parking and service areas as well as direct access to the surface parking for Phase I. Parking and service access for Phase II would be accessed through a south entrance which aligns with the entrance to O'Ku's parking across the street. Additionally, Phase II will offer a minimum of 3 spaces for every 1,000 square feet of retail in order to provide ample parking for the neighborhood and area for residents visiting the development.

CONNECTIVITY

Located adjacent to the Cumberland River and on the northern edge of the Germantown neighborhood. The Modera Germantown site is in close proximity to Downtown, First Tennessee Park, and a mile away from Broad Street and Bridgestone Arena. Despite close proximity to Nashville's major attractions, Germantown is separated from the activity due to the Jefferson Street bridge and several blocks of disinvestment along the river. Germantown can be accessed from Downtown via 3rd and 4th Avenue by vehicular access and by the Route 9 WeGo Bus. Both the Magdeburg Greenway and the Cumberland River Greenway connect the Modera Germantown site to other areas of the city. There are two stops within .3 miles of the Modera Germantown site and can be accessed via Van Buren and Taylor.

The intent is to enhance the riverfront of the site and continue to bring investment along the Cumberland River. The intent of the Modera Germantown project is to create active and open space along the river and to create more opportunities for bike and pedestrian connections. In addition, Adams Street is increasingly becoming more of a pedestrian and retail corridor that will only further connect Germantown and the established retail along 2nd Avenue.



Accessibility: Entrances & Parking

REGULATIONS

DEVELOPMENT STANDARDS

Council District 19: Freddie O'Connell

Owners of Record:

Baugh & Pardue Properties, L.L.C.
50 Van Buren Street
Nashville, Tennessee 37208

SP Name: Modera Germantown

SP Number:

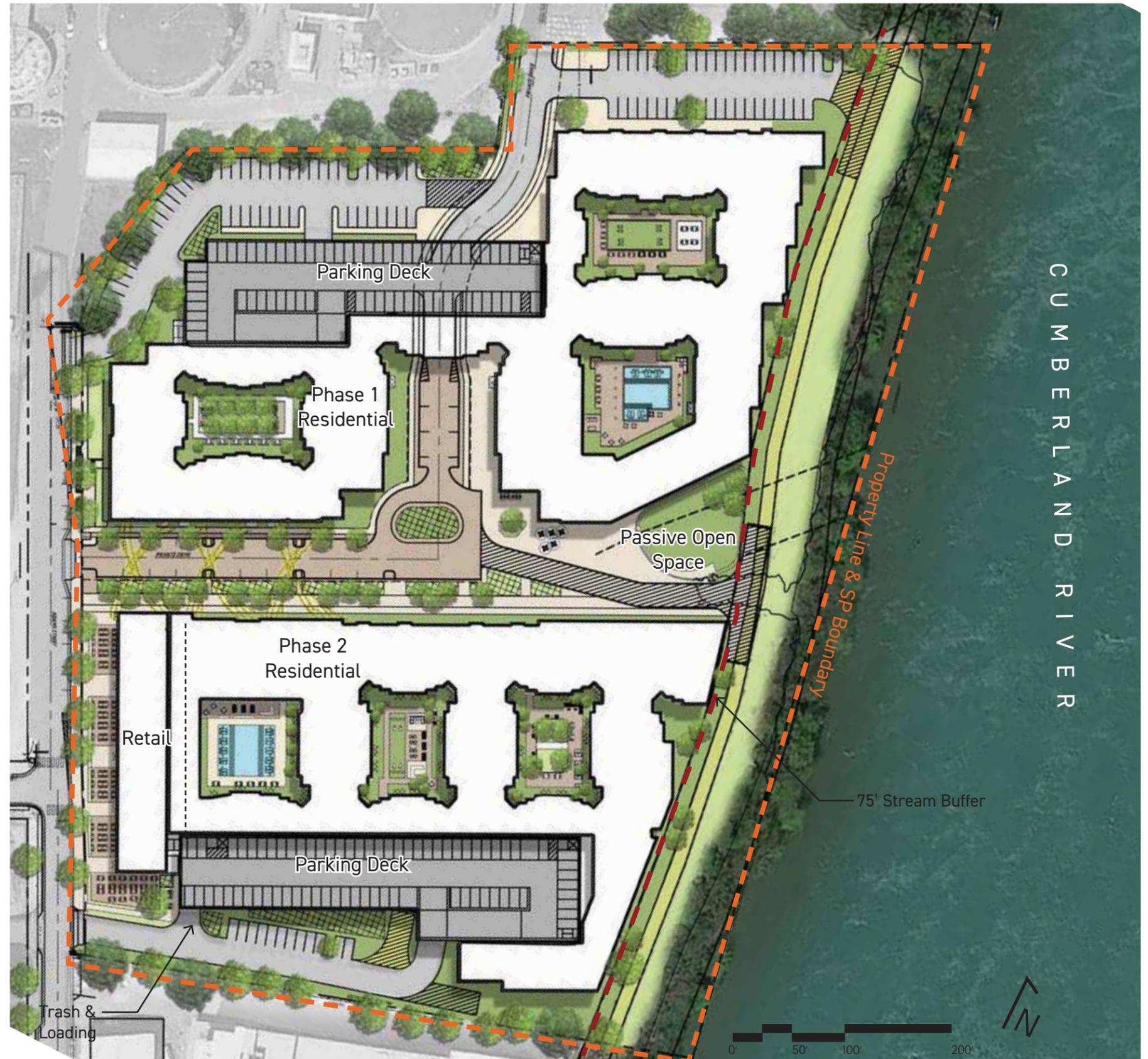
Plan Preparation Date: December 31, 2019

Design Professional:

Kyle Reis, Principal
Cooper Carry
191 Peachtree Street, Suite 2400
Atlanta, Georgia 30303
404.237.2000

Development Standards			
	Recommended Standards (Full Build Out)	Phase I	Phase II
Total Acreage	12.03 acres	7	5
Approx. Acreages by Use:			
Residential	3.47 acres	2 acres	1.47 acres
Retail	.36 acres		.36 acres
Passive Open Space	.67 acres	.45 acres	.22 acres
FAR	3 Max.		
Building/ Structure Type	Type III; Podium Type I		
Max. Building Height	6 Stories; Max. height 85 feet		
Impervious Surface Ratio	Max. .9	Max. .9	Max. .9
Building Coverage	40%	37%	44%
Front Setbacks		15 ft. min.	15 ft. min.
Side Setbacks		10 ft. min.	0 ft. min. (North) 10 ft. min. (South)
Rear Setback	75' Stream Buffer		
Landscaping	4' min. Landscape Strip		
Parking	Min. 1.25 per Residential Unit Min. 3 per 1,000 sf of Retail		
Permitted Uses:	All uses permitted per MUG-A, Community Garden, Mobile Vendor, Artisan Distillery, Micro Brewery, Tasting Room		
Prohibited Uses:	Short- Term Rental Property (STRP), Owner- Occupied and Short Term Rental Property (STRP) not Owner Occupied uses shall be prohibited		
Residential Uses	800 dwelling units Max.	400 dwelling units max.	400 dwelling units max.
Non-Residential uses	16,000 GSF Max.		16,000 GSF Max.
Default Zoning District	MUG-A		

Note: The Final Site Plan/ Building Permit Site Plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.



STANDARD NOTES

1. The purpose of this SP is to receive preliminary approval to permit the development of 12.03 acres of mixed-use development as shown.
2. For any development standard, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Council approval, the property shall be subject to the standards, regulations, and requirements of MUG-A base zoning as of the date of the application request or application.
3. Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its design based upon final architectural, engineering, or site design and actual site conditions. All modifications shall be consistent with the principles and further objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by the Metro Council that increase the permitted density and floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance.
4. The development is currently planned to be constructed in multiple phases and planning and design for both the Phase I and Phase II Final SP will occur after approval of the preliminary SP by Metro Planning Commission. The Final SP for Phase I and Phase II will be submitted separately.
5. Short term rental property (STRP), Owner- Occupied and Short Term Rental Property (STRP) not Owner- Occupied uses shall not be permitted.
6. Building frontage along the eastern side of the property will contain active uses.

FEMA NOTES

7. Phase I and Phase II will separately meet the requirements of the development standards.
8. Portions of the property lie in an area of minimal flood hazard Zone X according to Federal Emergency Management Agency Flood Insurance Rate Map Panel Number 47307C0241H, dated April 5, 2017.

ARCHITECTURAL STANDARDS

9. New buildings shall avoid continuous uninterrupted blank facades. At a minimum, the facade plane shall be interrupted by one of the following for thirty (30) linear feet of street frontage:
 - a. A change in building material or building openings
 - b. A horizontal undulation in the building facade of two (2) feet or greater
 - c. A porch, stoop, window or balcony; porches shall be a min. six (6) feet in depth
 - d. A mural or other form of art installation
10. Building facades fronting a street shall provide a minimum of one principal entrance (doorway) and a minimum of 15% glazing.
11. Windows shall be vertically oriented to a ratio of 1.5:1 or greater except for dormers
12. A raised foundation of 18" - 36" is required for all residential structures
13. Refuse collection, recycling and mechanical equipment shall be screened from public view by the combination of fences, wall, or landscaping

14. Vinyl siding, EIFS, faux brick, untreated wood shall be prohibited for all uses.
15. HVAC units shall be located at the rear half of the side of the unit, behind the unit, or on the roof of each building.
16. Bicycle parking will be provided per the Metro Zoning code. Bicycle parking locations to be identified in the Phase I and Phase II Final SP.
17. Exterior facing building facades will have a maximum of 35% of cementitious siding on average. No minimum amount of cementitious siding will exist for the project. Adams Street facing facades will limit cementitious siding to a maximum amount of 15%.
18. Sidewalks along the western edge of the property that front Adams Street will consist of brick and will meet minimum Metro standard requirements. Designated patios for retail tenants will not be required to consist of brick.

METRO PUBLIC WORKS NOTES

19. The Phase I and Phase II final site plans and building permits shall depict the required public sidewalks, any required grass strip or frontage zone, and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Where feasible, vertical obstructions are only permitted within the required grass strip or frontage zone.
20. The development totals represented in the Traffic Impact Study represent the current target development scenarios for the maximum residential units and non-residential SF. The final allocation, density and intensity of the proposed uses may adjust based on market conditions prior to FINAL SP application for Phase I and Phase II. If the development program allocation changes, a revised traffic study may be required for Metro review and approval prior to the filling of the Phase I and Phase II FINAL SP applications. All Metro recommended improvements must be provided within the Phase I and Phase II FINAL SP applications per any revised and approved traffic study.
21. All parking regulations to meet UZO parking requirements and standards. A shared parking plan may be approved by the metropolitan traffic engineer based upon a parking and/ or loading study that satisfactorily demonstrates of the approved Transportation Demand Management Plan (TDM).
22. Roadway improvements that are direct result of this specific project as determined by the approved Traffic Improvement Study and the Department of Public Works shall be constructed.
23. Any new improvements within existing public right-of-way within the project site that is identified as necessary to meet the adopted roadway plans shall be dedicated.
24. Developer will ensure bike lanes are continuous through intersections.
25. The developer's final construction drawings shall comply with the design regulations established by the Department of Public Works. In effect at the time of the approval of the preliminary development plan or final development plan or building permit, as applicable. Final designs for Phase I and Phase II may vary based on field conditions.
26. The design of the public infrastructure is to be coordinated with the Final SP for Phase I and Phase II. The roads, pedestrian infrastructure, bicycle routes, etc are to be designed and constructed per MPW standards

and specifications.

27. Back of house, loading zones, vehicular and pedestrian access points, and code required bicycle parking will be indicated in the Final SP for both Phase I and Phase II.
28. All construction within the right of way shall comply with ADA and Metro Public Works Standards and Specifications.
29. Where feasible, vertical obstructions shall be relocated out of the proposed sidewalks where applicable.

LANDSCAPE STANDARDS

30. The developer of this project shall comply with the requirements of the SP and adopted tree ordinance.
31. Street trees shall be provided, irrigated, and maintained by Owner along all street frontages at a minimum spacing average of 40 linear feet. All street trees placed within ROW shall count toward tree density unit credit outlined in Metro Zoning Code 17.24.
32. No landscape buffer requirement of 17.24 shall apply

FIRE MARSHAL NOTES

33. New commercial developments shall be protected by a fire hydrant that complies with the 2006 edition of NFPA 1 Table H. To see Table H go to: (<http://www.nashfire.org/prev/tableH51.htm>)
34. No part of any building shall be more than 500 feet from a fire hydrant via a hard surface road. Metro Ordinance 095-1541 Sec. 1568.020 B 297. Phase I and Phase II will have fire department access roads that shall be 18 feet minimum width and shall have an unobstructed vertical clearance of 13.5 feet.
35. If more than three stories above grade, Class I standpipe system shall be installed.
36. If more than one story below grade, Class I standpipe system shall be installed.
37. A fire hydrant shall be provided within 100 feet of the fire department connection.
38. Fire hydrants shall be in-service before any combustible material is brought on site.
39. Fire apparatus access roads shall be provided and maintained in accordance with the adopted fire code and standards.
40. Except as approved by the fire code official; fire apparatus access roads shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
41. Fire apparatus access roads shall have a minimum unobstructed width of 20 feet. Where a fire hydrant is located on a fire apparatus access road the minimum width in the vicinity of the hydrant shall be 26 feet.
42. Buildings over 30 feet in height shall meet fire department aerial apparatus access requirements.
43. Dead end fire apparatus access roads in excess of 150 feet shall be provided with an approved fire apparatus turnaround.
44. All points of the building shall be within 500 feet of a fire hydrant when measured via approved fire apparatus access route.
45. All buildings and/or developments are required to meet the fire-flow requirements listed in the adopted code prior to construction.

46. Fire department connections for standpipe/sprinkler system shall be within 100 feet of the fire hydrant via approved access route.
47. Developments of one- or two-family dwelling units where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads.
48. Buildings exceeding 30 feet in height or 62,000 square feet in area (124,000 fully sprinklered) shall be provided with two separate and approved fire apparatus access roads.
49. Where two separate and approved fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses. The AHI may approve variations to this requirement in the event remoteness cannot be accomplished.
50. The maximum grade for fire apparatus access roads shall not exceed 10% without approval from the fire code official.
51. Gates across fire apparatus access roads shall comply with adopted code and standards.
52. Approval of a preliminary or final site plan is not an approval for building construction. Full and complete review of building plans is required prior to approval for construction and may require changes to the site.

NES NOTES

53. Where feasible, this development will be served with underground power and pad-mounted transformers.
54. New facilities will not be allowed to sit in or to pass through retention areas, including rain gardens, bioretention areas, bioswales, and the like. This includes primary duct between pad-mounted transformer equipment as well as service duct to a meter.

STORMWATER NOTES

55. Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance No. 78-840 and approved by the Metropolitan Department of Water Services.
56. Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.
57. Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual. (Minimum driveway culvert in Metro ROW is 15" CMP).
58. The project intent is for the site to be redeveloped per the requirements of the current Stormwater Management Manual. Detention will not be required for stormwater discharges that outfall to the Cumberland River. Detention will be provided or post developed runoff will be less than predeveloped runoff for outfalls not directed to the Cumberland River.

FEDERAL COMPLIANCE

59. All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act

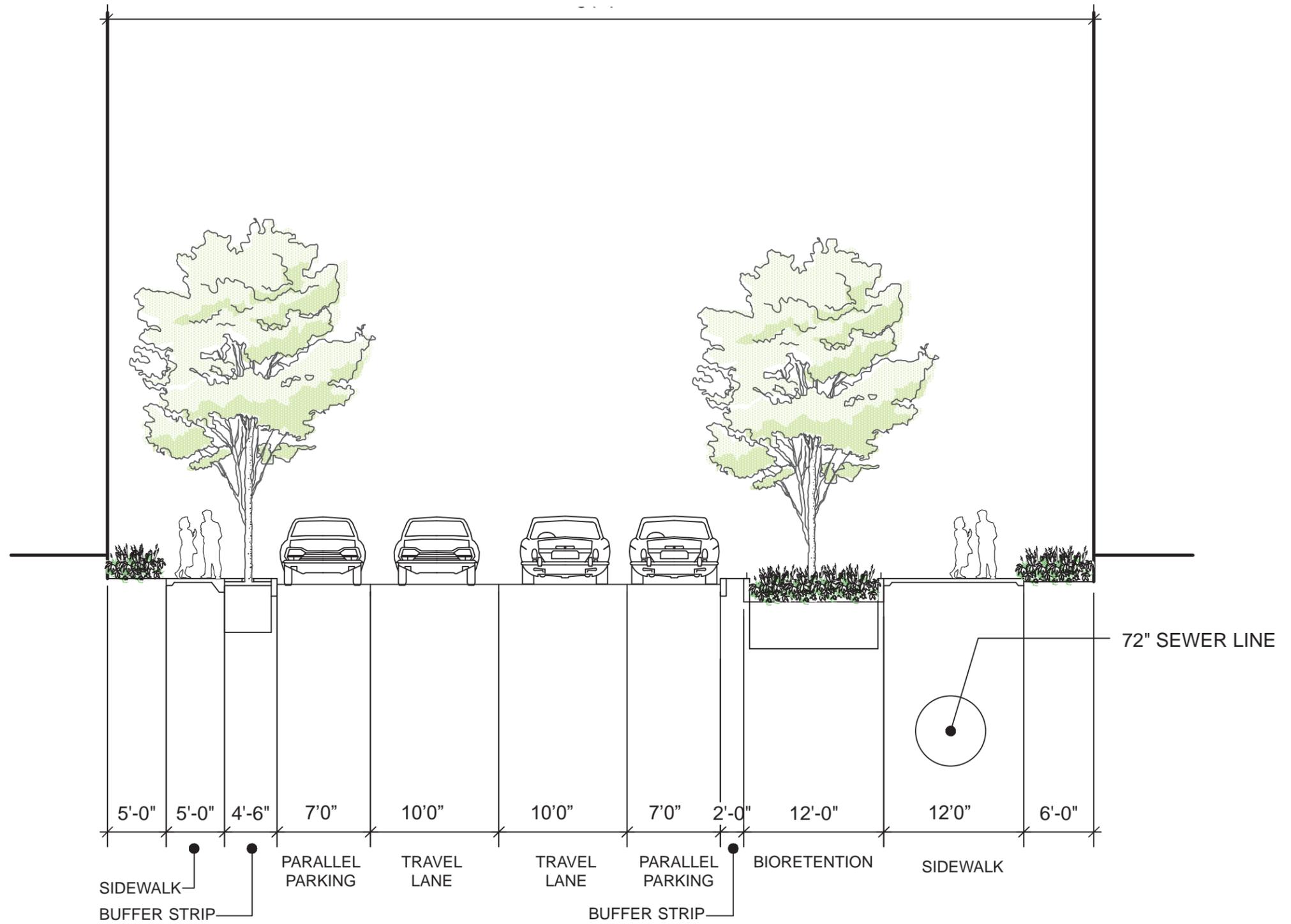
PHASING & PERMITTING

60. Permits will be submitted separately for Phase I and Phase II.
61. The Final SP for Phase I and Phase II will be submitted separately.

SITE PLAN NOTES

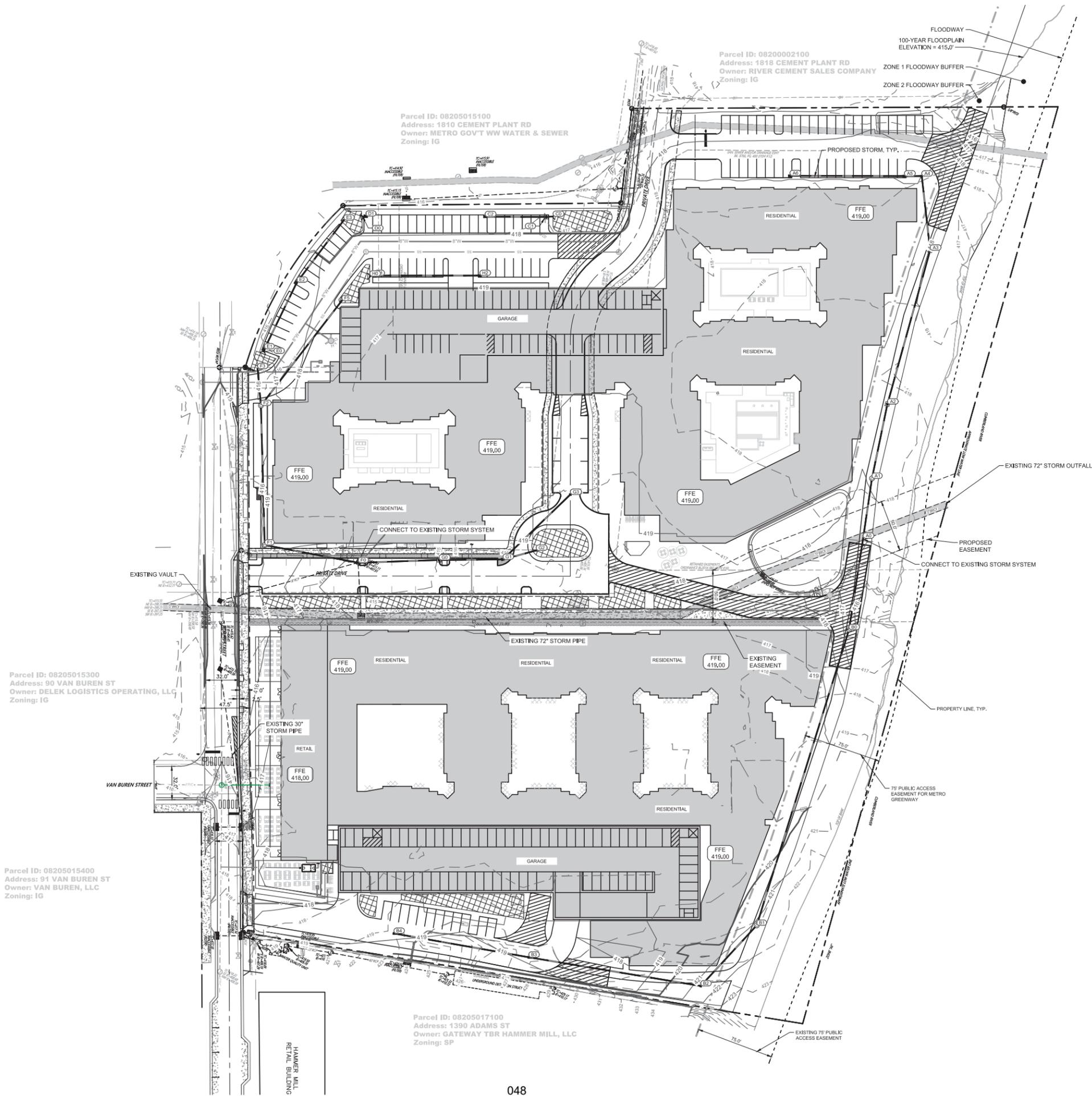
62. As shown on the site plan, a 12' trail along the waterfront will be constructed for each Phase. The path will be designed and constructed in accordance with Metro Greenway Standards.
63. Phase II will accommodate the area required to build a connection point between the southern end of the waterfront path and the future Greenway for the adjoining property to the south.
64. A pathway will connect to the waterfront along the southern side of Phase II.
65. The central drive between Phase I and Phase II will remain open with no gating of sidewalks or the roadway in order to preserve connection through the site and to preserve access to the Greenway Trail. Additionally, the section of street and sidewalk ranging from the central drive roundabout north through the Phase I garage to the northern boundary of the site will also remain open. Please reference notes on the Site Plan.

CENTRAL DRIVE SECTION



Note: Dimensions are minimums and vary throughout the central drive

GRADING PLAN & DRAINAGE



STORMWATER NOTES

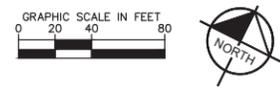
1. FINAL WATER QUALITY AND DETENTION SYSTEMS WILL BE DETERMINED DURING FINAL SITE PLAN REVIEW.
2. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORM WATER FACILITIES WITHIN THE PROPERTY.
3. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
4. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15').
5. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
6. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY UNLESS APPROVED BY METRO WATER SERVICES. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.

BUILDING FFE NOTES

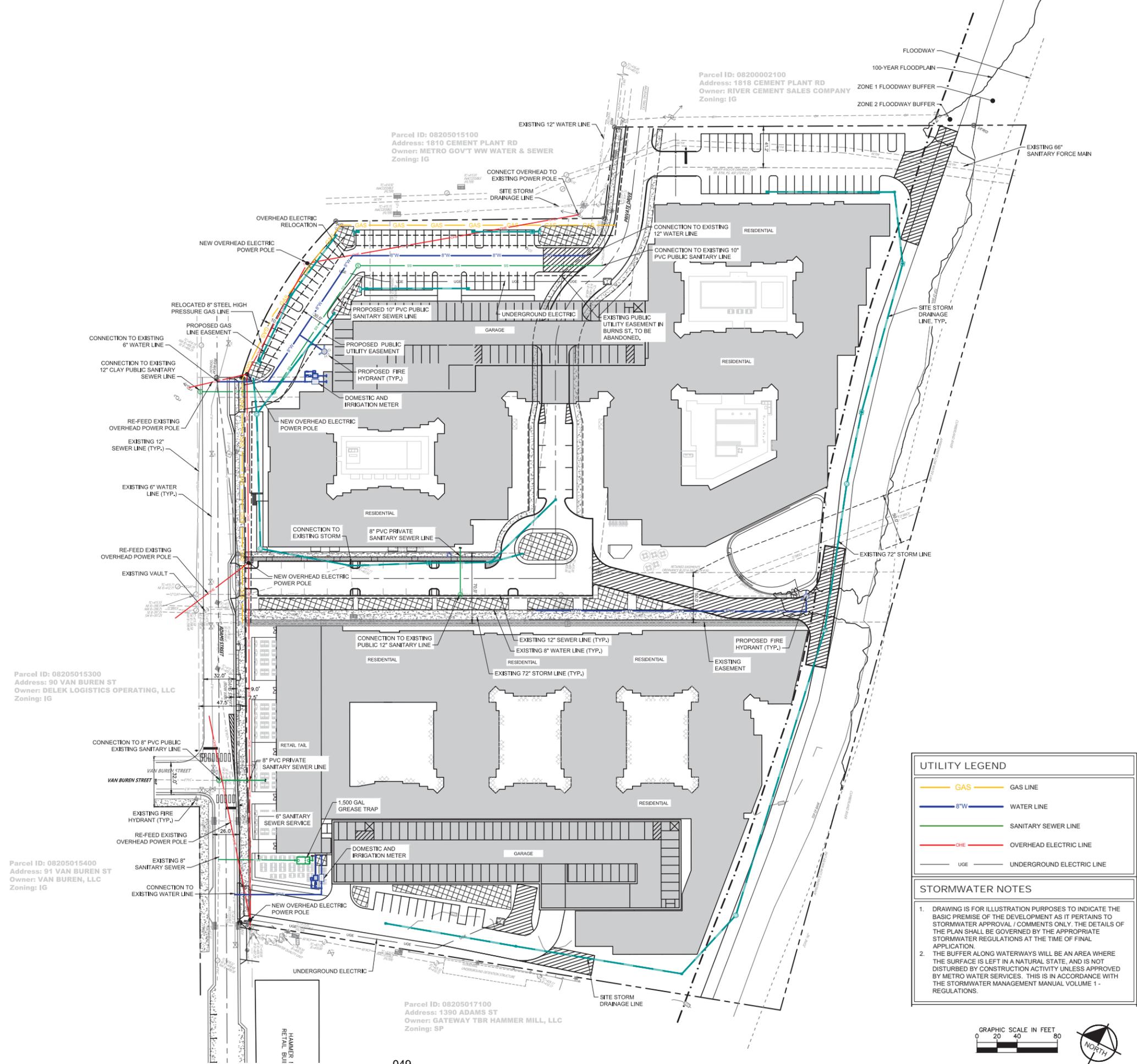
1. MINIMUM FFE FOR RESIDENTIAL = 419.00'
2. MINIMUM FFE FOR NON-RESIDENTIAL = 416.00'

SP NOTES

1. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.



UTILITY OVERALL PLAN



UTILITY RELOCATION PLAN

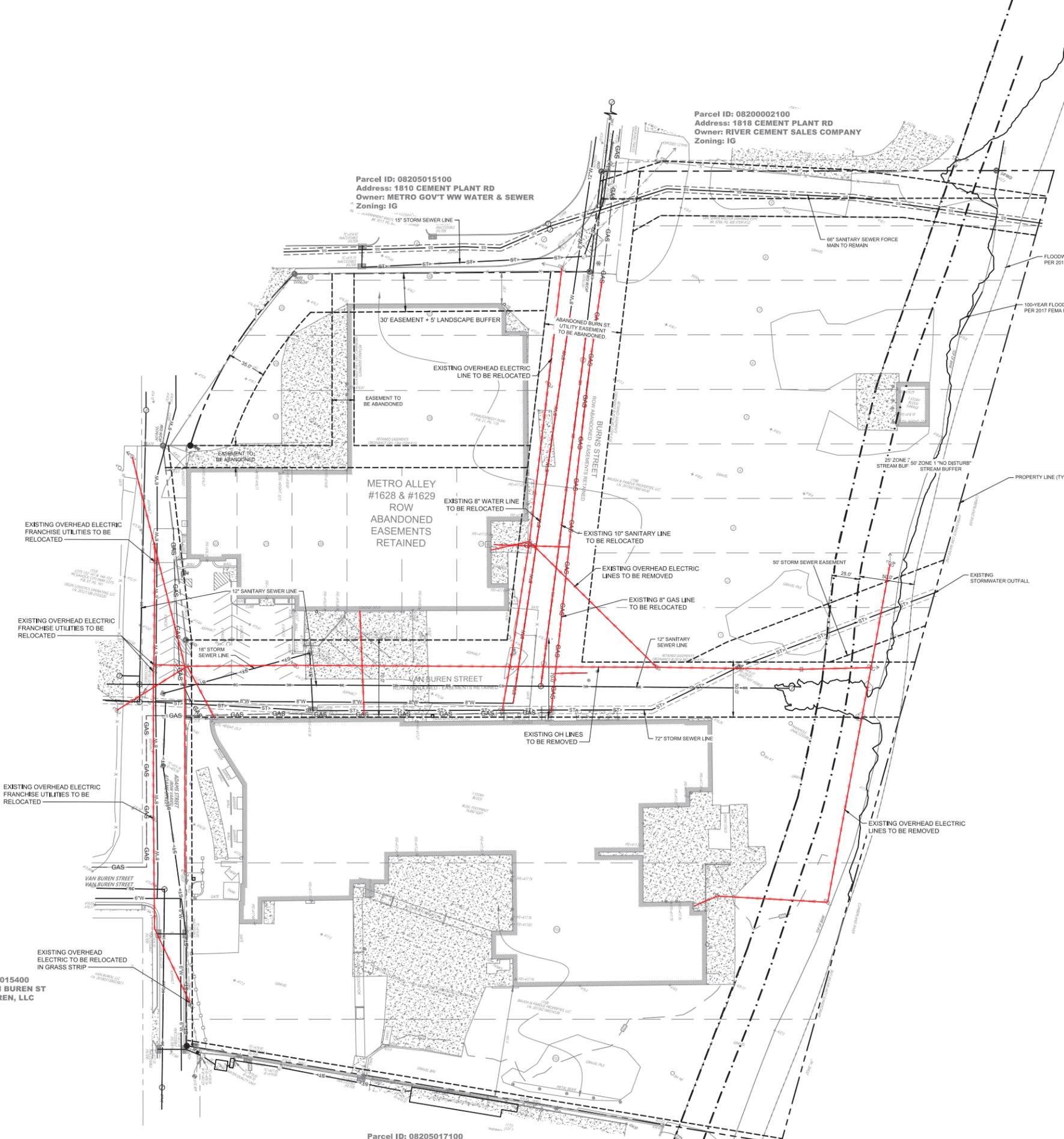
Parcel ID: 08205015300
 Address: 90 VAN BUREN ST
 Owner: DELEK LOGISTICS OPERATING, LLC
 Zoning: IG

Parcel ID: 08205015400
 Address: 91 VAN BUREN ST
 Owner: VAN BUREN, LLC
 Zoning: IG

Parcel ID: 08205015100
 Address: 1810 CEMENT PLANT RD
 Owner: METRO GOV'T WW WATER & SEWER
 Zoning: IG

Parcel ID: 08200002100
 Address: 1818 CEMENT PLANT RD
 Owner: RIVER CEMENT SALES COMPANY
 Zoning: IG

Parcel ID: 08205017100
 Address: 1390 ADAMS ST
 Owner: GATEWAY TRADING MILL, LLC
 Zoning: SP

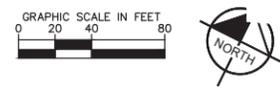


STORMWATER NOTE

- DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
- THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY UNLESS APPROVED BY METRO WATER SERVICES. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.

SP NOTES

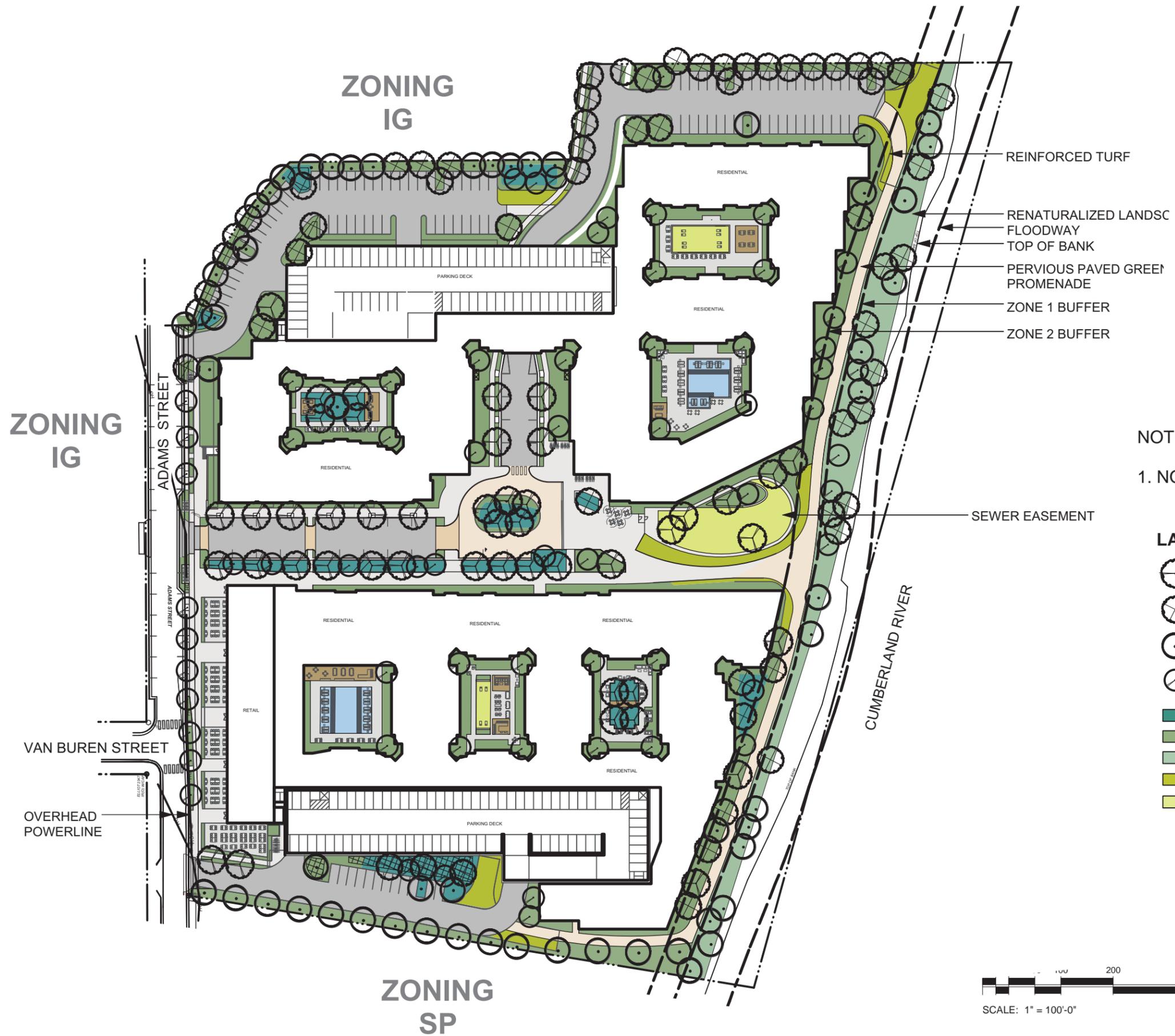
- THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.



FIRE PROTECTION PLAN



LANDSCAPE PLAN

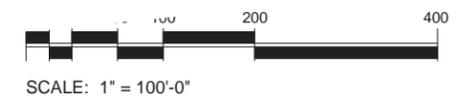


NOTE:

1. NO BUFFERS ARE REQUIRED

LANDSCAPE LEGEND

-  5" SHADE TREE
-  4" SHADE TREE
-  3" SHADE TREE
-  4" UNDERSTORY TREE
-  BIORETENTION
-  ORNAMENTAL LANDSCAPE
-  RESTORED LANDSCAPE
-  REINFORCED TURF (FIRE LANE)
-  LAWN



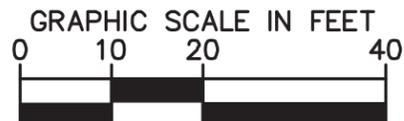
PLAN NORTH

TRAFFIC SIGNAL



VAN BUREN STREET

3RD AVENUE N





 **MILL CREEK**
RESIDENTIAL

SUBSTITUTE ORDINANCE NO. BL2020-264

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from AR2a to SP zoning for property located at 5978 and 5984 Edmondson Pike, approximately 320 feet north of Mt. Pisgah Road (3.47 acres), to permit eight single-family lots and two duplex lots, all of which is described herein (Proposal No. 2020SP-014-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from AR2a to SP zoning for property located at 5978 and 5984 Edmondson Pike, approximately 320 feet north of Mt. Pisgah Road (3.47 acres), to permit eight single-family lots and two duplex lots, being Property Parcel Nos. 049, 050 as designated on Map 172-00 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 172 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to a maximum of eight single-family residential lots and two duplex lots for a total of 12 units. Short term rental property –not-owner occupied are prohibited.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Maximum height shall be 3 stories maximum in 35 feet, as measured to the highest point of the roof.
2. Final elevations consistent with the architectural standards of the plan shall be included with the final site plan submittal.
3. A landscaping plan consistent with the landscape plan included in this preliminary SP shall be submitted with the final site plan.

~~Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:~~

Section 4-5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 5-6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual

site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 67. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the R15 zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

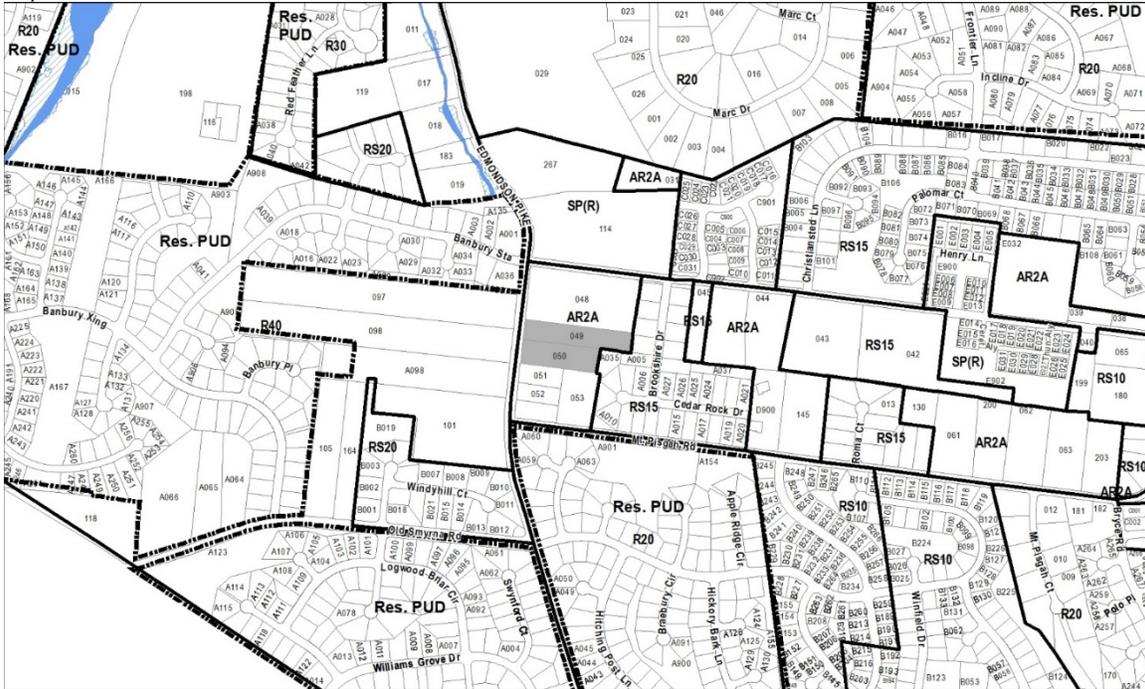
Section 78. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Robert Swope

2020SP-014-001
5978 EDMONDSON PIKE
Map 172, Parcel(s) 049-050
Subarea 12, Southeast
District 04 (Swope)
Application fee paid by: Haury & Smith Contractors, Inc

A request to rezone from AR2a to SP zoning for property located at 5978 and 5984 Edmondson Pike, approximately 320 feet north of Mt. Pisgah Road (3.47 acres), to permit eight single-family lots and 2 duplex lots, requested by Dale and Associates, applicant; Haury and Smith Contractors Inc. and Frances Brown; owners.



Erosion Control and Grading Notes

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cutfill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section TCP-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 6" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Storm Water approval /comments only. The final lot count and details of the plan shall be governed by the appropriate Storm Water regulations at the time of final application.

Public Works Notes

- All work within the public right of way requires an excavation permit from the department of public works.
- Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement marking are to be thermoplastic.

Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities, the landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan, no light poles to be located in tree islands. See lighting plan for proposed light locations.

Water and Sewer Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the metro water services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced pressure backflow prevention devices (rpbd) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the metro water services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services inspection section. All costs will be borne by the developer.
- Upon completion of construction of water and/or sewer, the engineer shall provide the Metro Water Services department with a complete set of as-built plans on moist erasable mylars in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- All water mains must be located within the paved area including all blow-off assemblies.

Architectural Notes

Building elevations for all street facades shall be provided with the final site plan. The following standards shall be met:

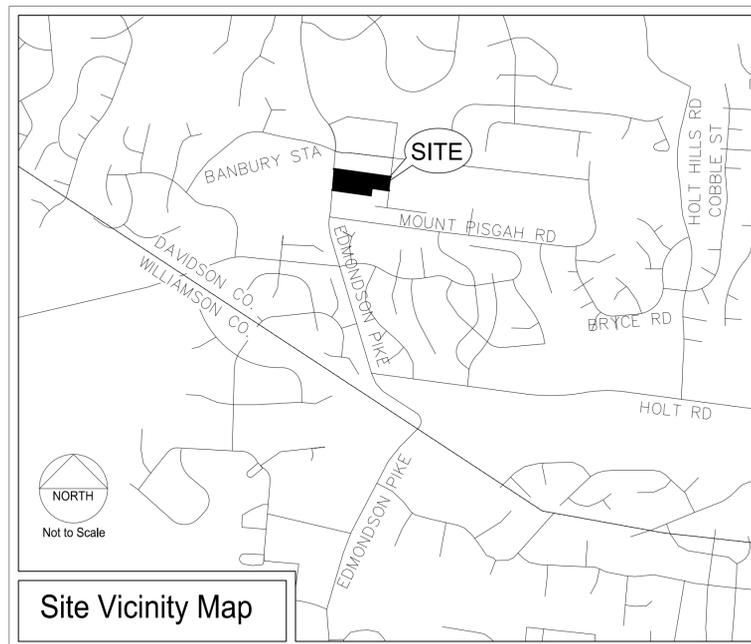
- Building facades fronting a street and courtyard shall provide a minimum of one principal entrance (doorway) and a minimum of 25% glazing.
- Windows shall be vertically oriented at a ration of 1.5:1 or greater.
- EIFS, vinyl siding, and untreated wood shall be prohibited.
- A raised foundation of 18"-36" is required for all residential structures.
- Porches shall provide a minimum of six feet of depth.

Standard SP Notes

- The purpose of this SP is to receive preliminary approval to permit the development of a 10 lot (2 of which are duplex lots) residential development as shown.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services.
- This property does not lie within a flood hazard area as identified by FEMA ON MAP 47037C0388H", Dated: April 20, 2001.
- All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 15" CMP).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required for each unit.
- The development of this project shall comply with the requirements of the Adopted Tree Ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement, and Chapter 17.40, Article X, Tree Protection and Replacement Procedures).
- Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the R10 zoning district as of the date of the applicable request or application.
- The final site plan / building permit shall depict required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to issuance of use and occupancy permits, existing vertical obstructions shall be located outside of the required sidewalks. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- Final construction plans and road grades shall comply with the design regulations established by the Department of Public Works. Slopes along roadways shall not exceed 3:1.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Storm Water approval / comments only. The final lot count and details of the plan shall be governed by the appropriate Storm Water regulations at the time of final application.

Preliminary SP 5978 Edmondson Pike

Map 172 Parcels 49 & 50 Nashville, Davidson Co., Tennessee Case No. 2020SP-014-001



Site Vicinity Map

SHEET SCHEDULE

- C0.0 Project Notes and Standards
- C1.0 Existing Conditions
- C2.0 Development Plan

Adjacent Hydrant Test

FORTHCOMING

Development Summary

Development Summary

Map 172 - Parcels 49 & 50
5978 & 5984 Edmondson Pike
Nashville, TN 37211

Total Site Area - 3.47 Ac.
Council District #04 - Robert Swepe

Owner

Parcel 49
Haury & Smith Contractors, Inc.
Matt Smith
7065 Moores Lane Ste 300
Brentwood, TN 37027
Phone
Email

Parcel 50
Brown, Frances
5984 Edmondson Pike
Nashville, TN 37211
Phone
Email

Developer

Haury & Smith Contractors, Inc.
Matt Smith
7065 Moores Lane Ste 300
Brentwood, TN 37027
Phone
Email

Engineer

Dale and Associates
Contact: Adam Seger
516 Heather Place
Nashville, TN 37204
Phone: 615.297.5166
Email: adam@daleandassociates.net

Floodnote

This Property does Not Lie Within a Flood Hazard
Area as Depicted on the Current Flood Insurance Rate
Maps (FIRM) Number 47037C0388H Dated 4/5/2017.

SPECIFIC PLAN DEVELOPMENT SUMMARY

Use	This SP allows for the following : Single Family, Two Family Non-Owner occupied STRP are prohibited
Project Area	3.47 Acres
Property zoning: SP	Surrounding Zoning: AR2A, RS15
Minimum lot size	5000 sq ft
Number of Residential Units/Density	8 single family lots - 2 duplex lots 3.46 units per ac.
	ROW area - 0.69 ac 20%
	Area of lots - 1.7 ac or 0.49%
	Open Space - 1.07 ac or 31%
FAR	N/A
ISR	N/A
Street Setbacks	20' measured from R.O.W. Uncovered stoops may encroach up to 6'
Side yard	5' min. Perimeter
Rear yard	20' from Property line
Height standards	3 stories in 35' (measured to highest part of roof)
Parking and Access	
Ramp Location and Number	(1) - Edmondson Pike
Distance to nearest existing ramp (Min. 30')	42' South on Edmondson Pike
Distance to intersection	475' North to Mt. Pisgah Road
Required Parking	Per Zoning Code
Provided Parking	Provided



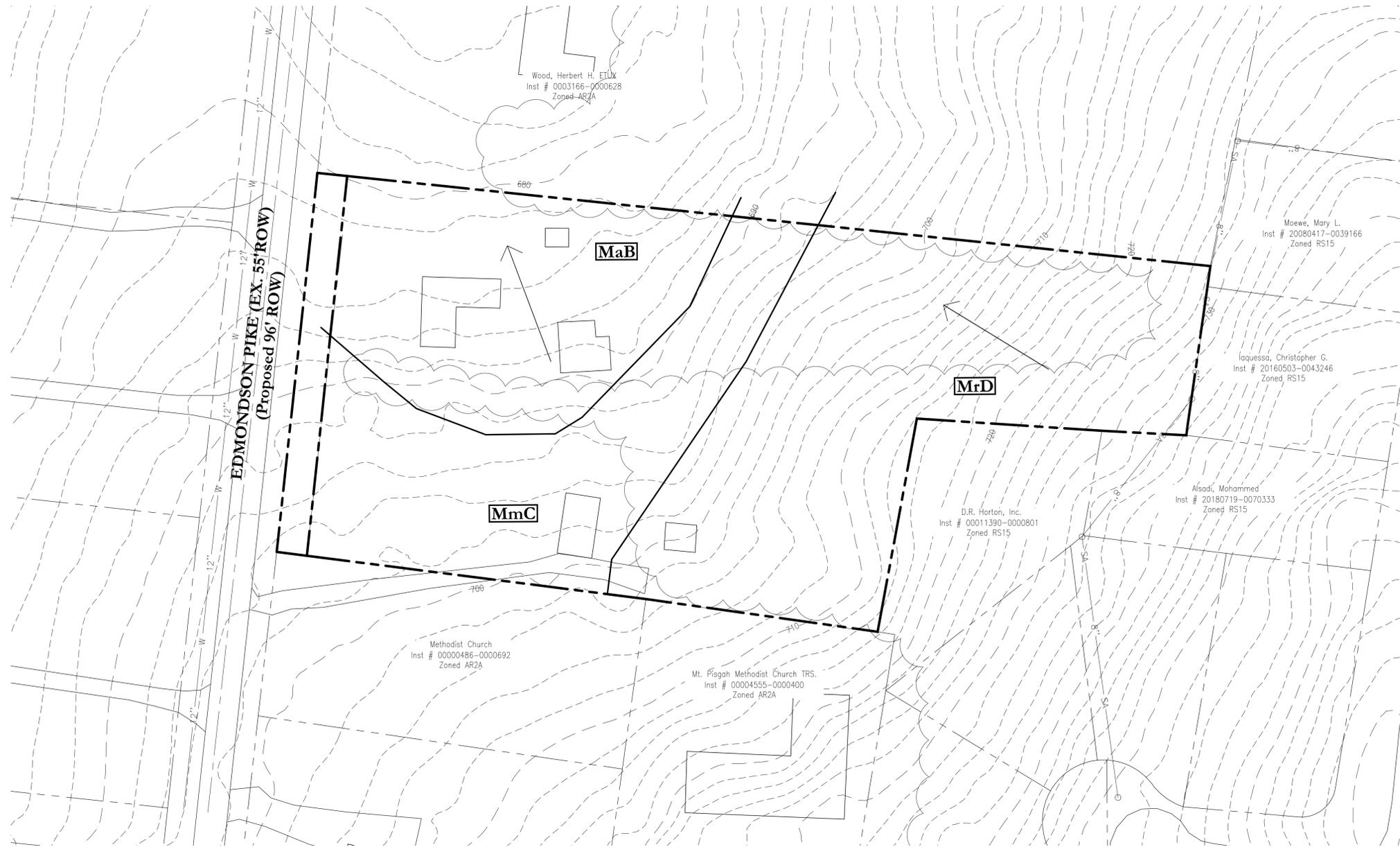
Dale & Associates
Civil Engineering & Zoning
Land Planning & Surveying
516 Heather Place
Nashville, TN 37204
(615) 297-5166

PERMITS:
Tracking #
SWGR # TYYYY#####
YY-SL-####
YY-WL-####

D&A Project #18168

5978 Edmondson

C0.0



Development Summary
 Map 172 Parcels 49 & 50
 5978 & 5984 Edmondson Pike
 Nashville, TN 37211

Total Site Area - 3.47 Ac.
 Zoned - AR2A
 Council District #04 - Robert Swope

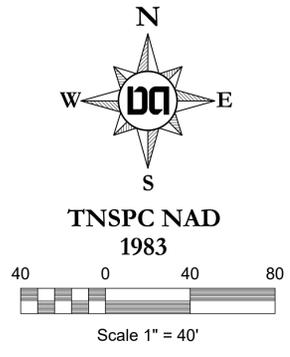
Owner
 Parcel 49
 Haurly & Smith Contractors, Inc.
 Matt Smith
 7065 Moores Lane Suite 300
 Brentwood, TN 37027
 Phone
 Email

Parcel 50
 Brown, Frances
 5984 Edmondson Pike
 Nashville, TN 37211
 Phone
 Email

Developer
 Haurly & Smith Contractors, Inc.
 Matt Smith
 7065 Moores Lane Ste 300
 Brentwood, TN 37027
 Phone
 Email

Engineer
 Dale and Associates
 Contact: Adam Seger
 516 Heather Place
 Nashville, TN 37204
 Phone: 615.297.5166
 Email: adam@daleandassociates.net

Floodnote
 This Property does Not Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Number 47037C0388H Dated 4/5/2017.



Drawing Date:
 January 29, 2020

Revisions

Preliminary SP

5978 Edmondson Pike

Map 172 Parcels 49 & 50
 Nashville, Davidson County, Tennessee



Existing Conditions

Case No. 2020SP-014-001



PERMITS:
 Tracking #
 SWGR # TYYYY#####
 YY-SL-####
 YY-WL-####

Dale & Associates

Civil Engineering
 Land Planning & Zoning
 Surveying

516 Heather Place
 Nashville, TN 37204
 (615) 297-5166

D&A Project #18168
 5978 Edmondson

C1.0

Drawing Date:
January 29, 2020

Revisions

Development Summary
 Map 172 Parcels 49 & 50
 5978 & 5984 Edmondson Pike
 Nashville, TN 37211

Total Site Area - 3.47 Ac.
 Zoned - AR2A
 Council District #04 - Robert Swope

Owner
 Parcel 49
 Haurly & Smith Contractors, Inc.
 Matt Smith
 7065 Moores Lane Suite 300
 Brentwood, TN 37027
 Phone
 Email

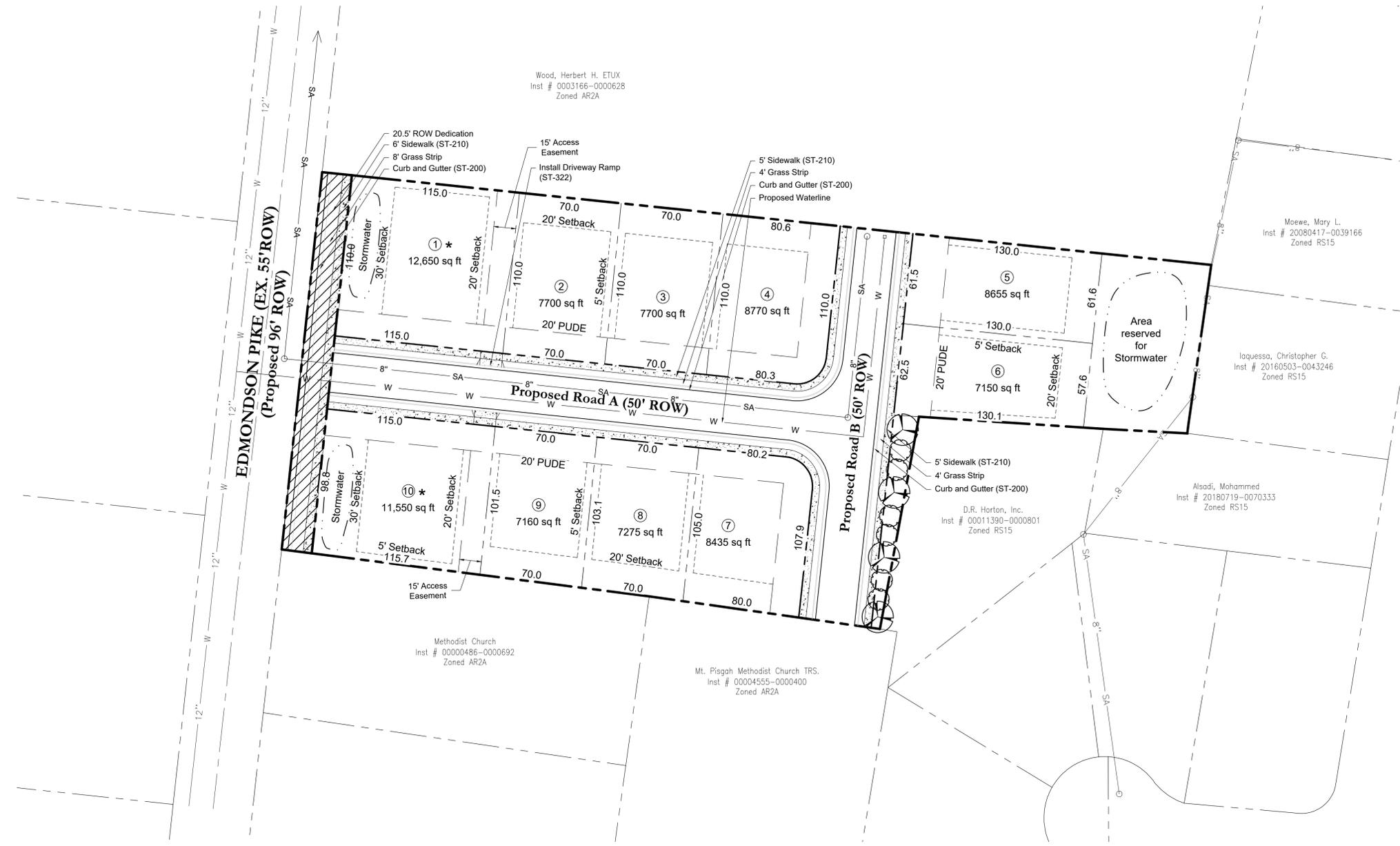
Parcel 50
 Brown, Frances
 5984 Edmondson Pike
 Nashville, TN 37211
 Phone
 Email

Developer
 Haurly & Smith Contractors, Inc.
 Matt Smith
 7065 Moores Lane Ste 300
 Brentwood, TN 37027
 Phone
 Email

Engineer
 Dale and Associates
 Contact: Adam Seger
 516 Heather Place
 Nashville, TN 37204
 Phone: 615.297.5166
 Email: adam@daleandassociates.net

Floodnote
 This Property does Not Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Number 47037C0388H Dated 4/5/2017.

* Denotes duplex eligible lot



TNSPC NAD
1983

Preliminary SP
5978 Edmondson Pike
 Map 172 Parcels 49 & 50
 Nashville, Davidson County, Tennessee



Layout and
Utility Plan

Case No. 2020SP-014-001

PERMITS:
 Tracking #
 SWGR # TYYYY#####
 YY-SL-####
 YY-WL-####

Dale & Associates
 Civil Engineering
 Land Planning & Zoning
 Surveying

516 Heather Place
 Nashville, TN 37204
 (615) 297-5166

D&A Project #18168
 5978 Edmondson
C2.0

SUBSTITUTE ORDINANCE NO. BL2020-266

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County by changing from IR to SP zoning for properties located at 800 14th Avenue North and 801 12th Avenue North, approximately 150 feet south of Herman Street (4.64 acres), to permit 390 multi-family residential units and a mixed use development, all of which is described herein (Proposal No. 2020SP-011-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from IR to SP zoning for properties located at 800 14th Avenue North and 801 12th Avenue North, approximately 150 feet south of Herman Street (4.64 acres), to permit 390 multi-family residential units and a mixed use development, being Property Parcel Nos. 323, 380 as designated on Map 092-04 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 092 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to 390 Multi-family dwelling units and 4,097 square feet of general retail space. Short term rental property owner-occupied and short term rental property not owner-occupied shall be prohibited.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Applicant shall continue to work with Metro Parks to dedicate a Greenway Conservation Easement along the northern property boundary adjacent to the rail line. With the submittal of the 1st final site plan, specific details shall be included regarding dedication of the easement.

Section 4-5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 5-6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 67. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUG-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

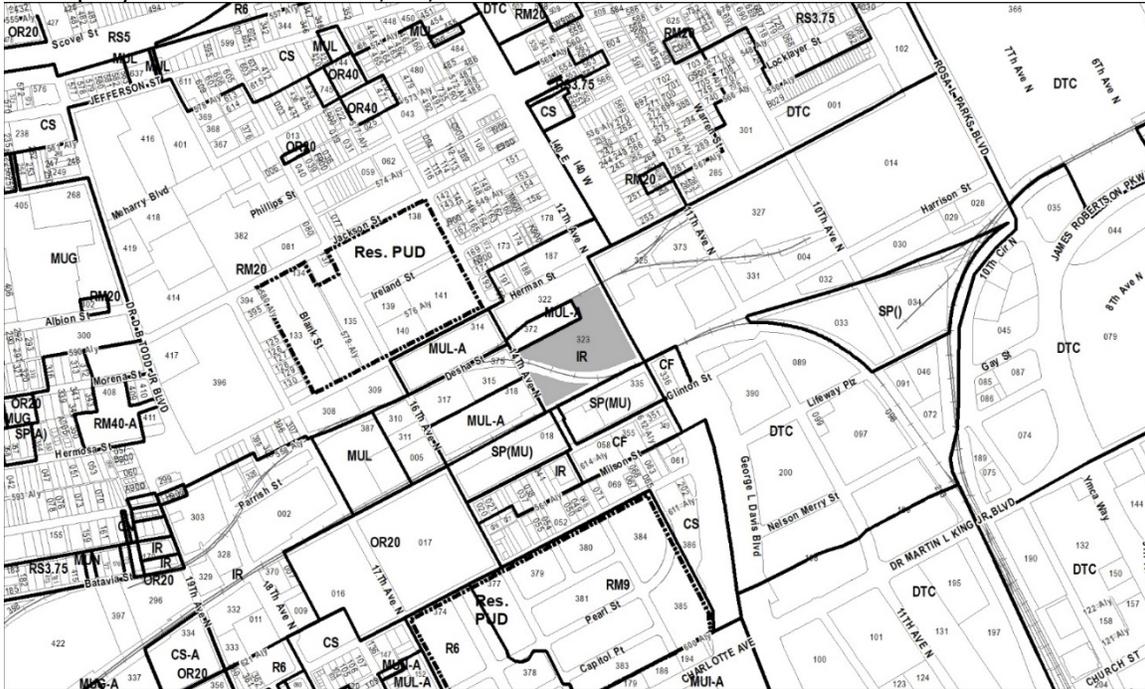
Section 78. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Freddie O'Connell

2020SP-011-001
UNION BRICK MULTIFAMILY
Map 092-04, Parcel(s) 323, 380
Subarea 08, North Nashville
District 19 (O'Connell)
Application fee paid by: Catalyst Design Group, PC

A request to rezone from IR to SP zoning for properties located at 800 14th Avenue North and 801 12th Avenue North, approximately 150 feet south of Herman Street (4.64 acres), to permit 390 multi-family residential units and a mixed use development, requested by Catalyst Design Group, applicant; Cumberland Trust Company and Charles D. Cline, Sr., owners.



PRELIMINARY SP SUBMITTAL

UNION BRICK MULTIFAMILY

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

2020SP-011-001
 CATALYST PROJECT NO. 20190088
 DECEMBER 31, 2019; FEBRUARY 12, 2020

DEVELOPMENT SUMMARY

SP NAME: UNION BRICK MULTIFAMILY
 SP NUMBER: 2020SP-011-001
 COUNCIL DISTRICT: 19
 COUNCIL MEMBER: FREDDIE O'CONNELL

OWNER: CHARLES D. KLINE
 ADDRESS: 5121 BOXCROFT PLACE
 NASHVILLE, TN 37205
 CONTACT: 615.207.5969
 CONTACT EMAIL: charles@unionstationbrick.com

PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP
 ADDRESS: 5100 TENNESSEE AVENUE
 NASHVILLE, TN 37209
 PHONE: 615.622.7200
 CONTACT: JEFFREY D. HEINZE
 CONTACT EMAIL: jheinze@catalyst-dg.com

DEVELOPER: SR RESIDENTIAL
 ADDRESS: 1616 16TH AVE. S
 NASHVILLE, TN 37212
 PHONE: 615.513.5741
 CONTACT: BEN SCHAEDLE
 CONTACT EMAIL: bschaedle@srresidential.com

FEMA PANEL:
 THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NO. 47037C241 H, DATED APRIL 5, 2017.

DEVELOPMENT SITE DATA

PARCEL ID.: PARCEL I: 09204032300
 PARCEL II: 09204038000

SITE ADDRESS: 801 12th AVENUE N.
 NASHVILLE, TN 37203 &
 800 14th AVENUE N.
 NASHVILLE, TN 37203

SITE ACREAGE (PARCELS I & II): 4.59 AC. (199,898 S.F.)
 R.O.W. DEDICATION: -0.09 AC. (3,823 S.F.)
 TOTAL SITE ACREAGE: 4.50 AC. (196,075 S.F.)
 EXISTING ZONING: IR (INDUSTRIAL RESTRICTIVE)
 OV-U20 (URBAN ZONING OVERLAY)

EXISTING LAND USE: BRICK SALES AND PROCESSING

PROPOSED LAND USE: 379 MULTI-FAMILY UNITS; 11 TOWNHOMES
 RETAIL, LIVE/WORK FLEX SPACE & PARKING GARAGE

PROPOSED DENSITY: 84.97 UNITS / ACRE
 FLOOR AREA RATIO (FAR): 1.84

IMPERVIOUS SURFACE RATIO (ISR):
 BUILDINGS: 33.47% (0.65 AC./28,505 S.F.)
 ROADS/SIDEWALKS/DRIVES: 41.36% (0.81 AC./35,220 S.F.)

OPEN SPACE: 25.17% (0.49 AC./21,432 S.F.)

BUILDING DATA

PROPOSED LAND USE: 390 MULTI-FAMILY UNITS, RETAIL,
 SERVICE & PARKING GARAGE
 NUMBER & TYPE OF UNITS: (11) ATTACHED RESIDENTIAL TOWNHOMES
 (379) APARTMENTS
 (4,097 S.F.) RETAIL
 (13,899 S.F.) FLEX

1 BEDROOM APARTMENT: 144 UNITS
 1 BEDROOM STUDIO APARTMENT: 176 UNITS
 2 BEDROOM APARTMENT: 35 UNITS
 2 BEDROOM FLEX APARTMENT: 24 UNITS
 3 BEDROOM TOWNHOMES: 11 UNITS
 TOTAL UNITS: 390 UNITS

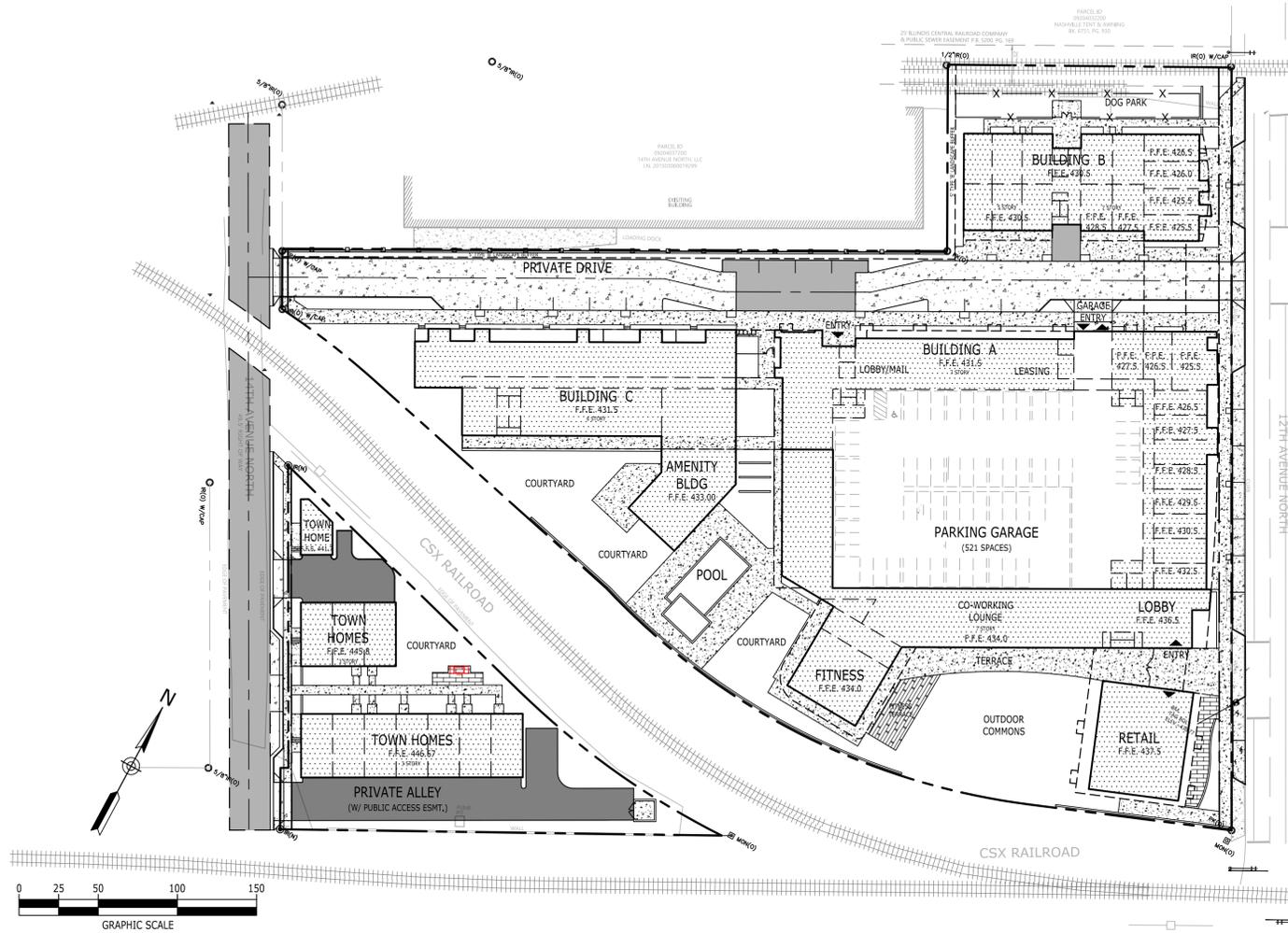
TOTAL NUMBER OF BEDROOMS:
 (144) 1 BEDROOM
 (176) 1 BEDROOM STUDIO
 (35) 2 BEDROOM
 (24) 2 BEDROOM FLEX
 (11) 3 BEDROOM TOWNHOME
 471 BEDROOMS TOTAL

BUILDING SQUARE FOOTAGE:
 RESIDENT BUILDINGS: 329,880 S.F. / BLDG.
 LIVE/WORK FLEX SPACE: 13,899 S.F.
 RETAIL: 4,097 S.F.
 TOWNHOMES: 20,124 S.F.
 TOTAL: 368,000 S.F.

BUILDING HEIGHT:
 MULTIFAMILY APARTMENTS:
 85'-6" - 7 STORIES ADJOINING
 12TH AVE. NORTH
 63' - 5 & 6 STORY BUILDINGS
 INTERNAL TO SITE
 ADJOINING 14TH AVE.
 NORTH
 TOWNHOMES: 37'-6" - 3 STORIES MAX.

PARKING REQUIREMENTS:
 METRO CODE REQUIRED:
 1 SPACE / 1-BEDROOM: 320 SPACES
 2 SPACES / 2-BEDROOM: 118 SPACES
 2.5 SPACES / 3-BEDROOM: 28 SPACES
 RETAIL (4,097 S.F. / 100): 41 SPACES
 TOTAL PARKING REQUIRED: 507 SPACES

PARKING PROVIDED:
 MULTIFAMILY GARAGE PARKING: 521 SPACES
 PRIVATE DRIVE PARALLEL PARKING: 13 SPACES
 ON-STREET PARKING (GUEST SPACES): 6 SPACES
 (COUNT REDUCED BY 0.5 PER CODE)
 TOWNHOUSE GARAGE PARKING: 22 SPACES
 TOTAL PARKING PROVIDED: 562 SPACES
 TOTAL PARKING RATIO: 1.44 SPACES / UNIT



UNIT COUNT	
BUILDING A	
1	9
1+	4
1A	24
1B	45
2	21
FLEX	10
S-A	45
S-B	64
	222

BUILDING B	
1A	10
1B	6
2	5
2+	4
FLEX	14
S-A	6
S-B	26
	71

BUILDING C	
1A	8
1B	38
2	5
S-B	35
	86

APT TOTAL	379
TOWNHOMES	11
PROJECT TOTAL	390

AREA S	
BUILDING A	CIRCULATION
	COMMON
	FLEX
	RESIDENTIAL
	RETAIL
	SERVICE
BUILDING B	CIRCULATION
	COMMON
	FLEX
	RESIDENTIAL
	SERVICE
BUILDING C	CIRCULATION
	COMMON
	TOWNHOMES
	RESIDENTIAL
	PROJECT TO

ARCHITECTURAL NOTES

- BUILDING FACADES FRONTING A STREET SHALL HAVE A PRINCIPAL ENTRANCE (DOORWAY) AND A BUILDING FRONTING 12TH AND 20% ON 14TH.
- WINDOWS SHALL BE VERTICALLY ORIENTED EXCEPT FOR DORMERS. OVERSIZED SQUARE WINDOWS SHALL ALSO MEET THE GLAZING REQUIREMENT.
- EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE USED EXCEPT WHERE SHOWN OTHERWISE.
- PORCHES SHALL PROVIDE A MINIMUM OF 6" CLEARANCE UNDER THE PORCH.
- A RAISED FOUNDATION OF 18"-36" IS REQUIRED FOR ALL STRUCTURES. EXEMPT LIVE WORK UNITS COMPLIANT WITH FAIR HOUSING LAW REC.

ARCHITECT
DAVID BAKER ARCHITECTS
 4000 3RD AVENUE SOUTH
 BIRMINGHAM, AL 35222
 205.623.0177

ARCHITECT
JOHNSON JOHNSON CRABTREE ARCHITECTS PC
 4551 TROUSDALE DRIVE
 NASHVILLE, TN 37204
 615.837.0656

PREPARED FOR
SR RESIDENTIAL
 1616 16TH AVENUE SOUTH
 NASHVILLE, TENNESSEE, 37212
 615.513.5741



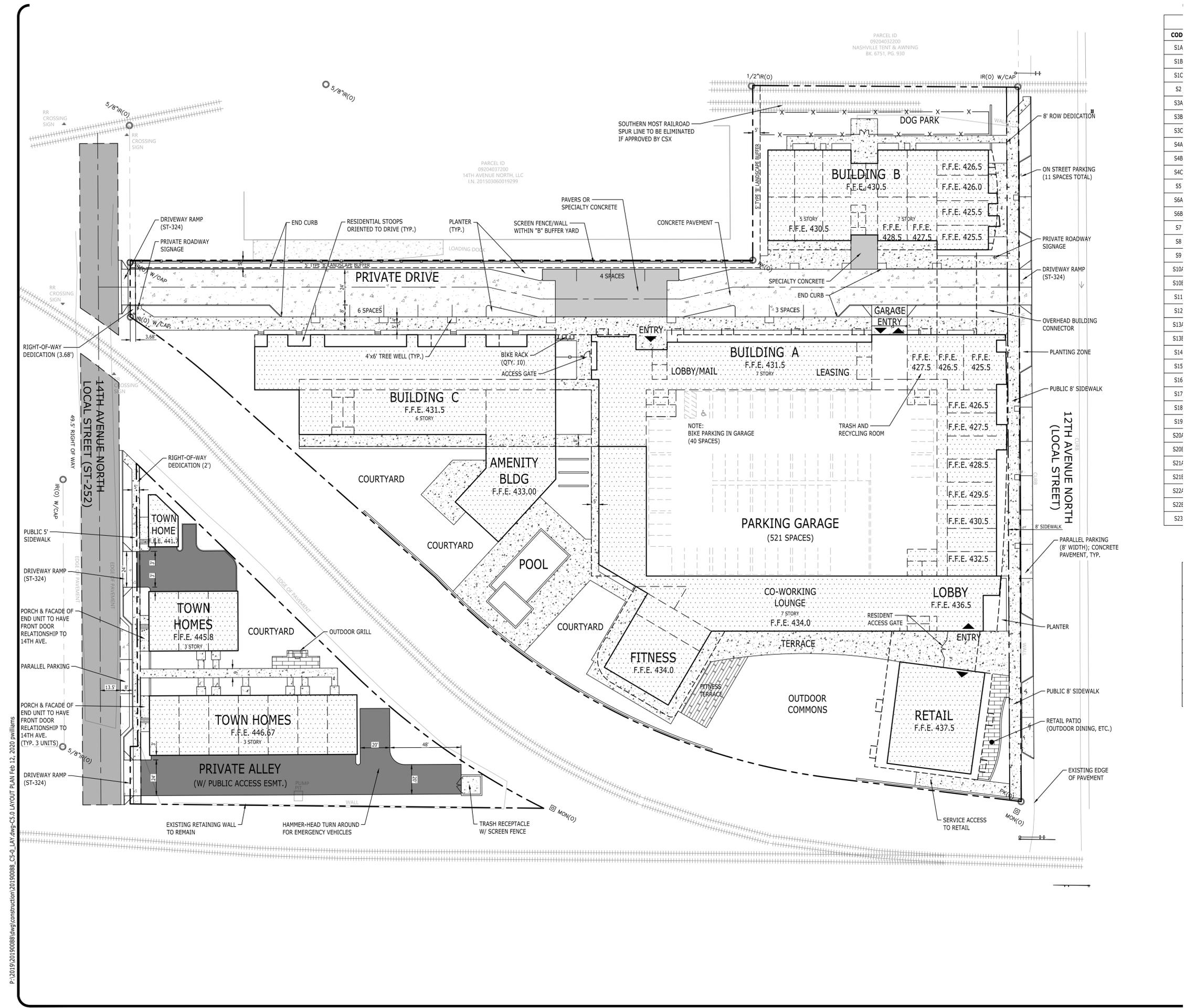
CIVIL ENGINEER



PARCEL ID
0920403200
NASHVILLE TENT & AWNING
BK. 6751, PG. 930

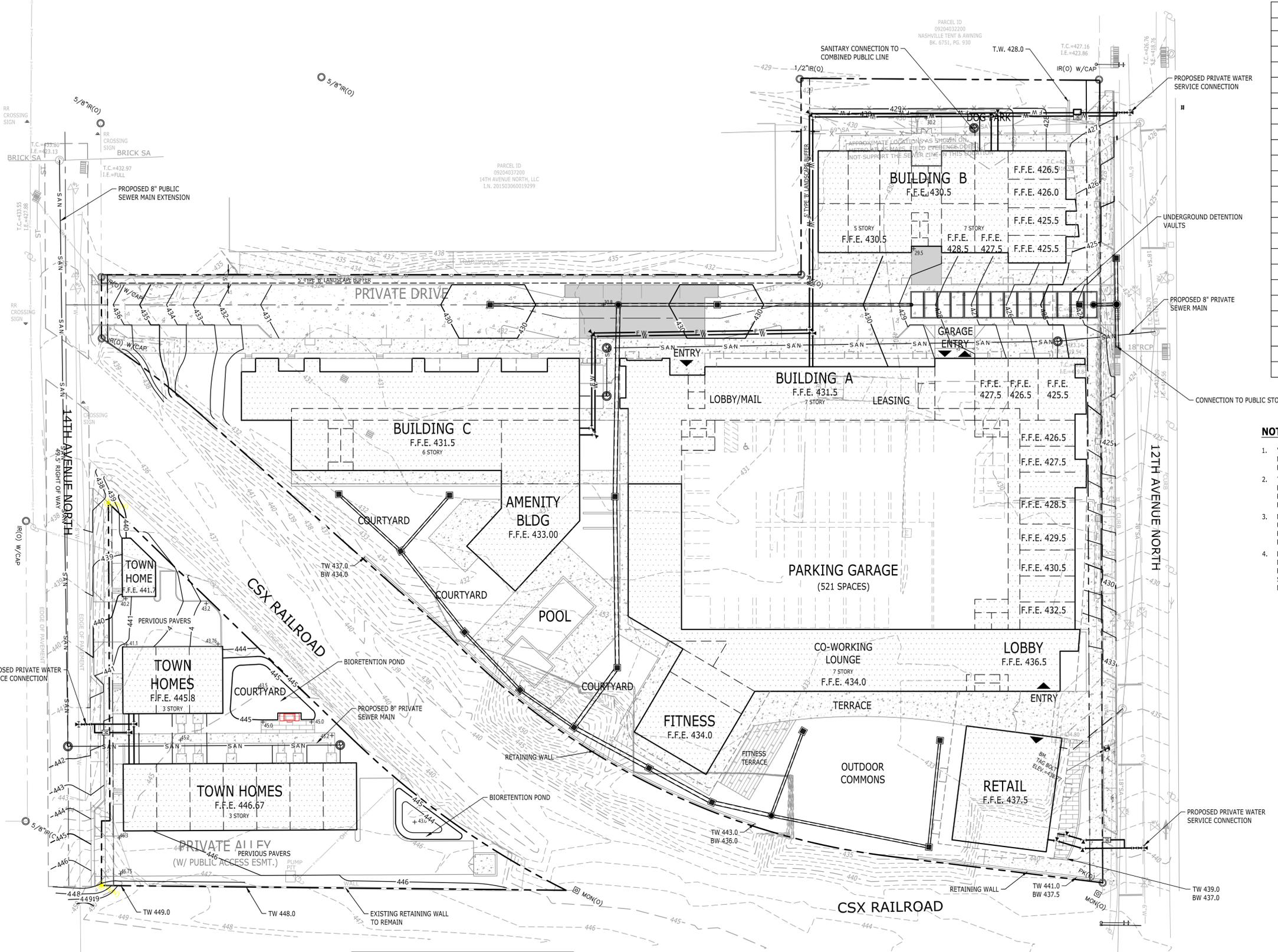
PARCEL ID
0920403700
14TH AVENUE NORTH, LLC
I.N. 201503060019299

COD
S1A
S1B
S1C
S2
S3A
S3B
S3C
S4A
S4B
S4C
S5
S6A
S6B
S7
S8
S9
S10V
S10F
S11
S12
S13V
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S17
S18
S19
S20V
S20E
S21V
S21E
S22V
S22E
S23



P:\2015\20150808\dwg\construction\20190808_C5-0_LAY.dwg-C5-0_LAYOUT PLAN Feb 12, 2020 pwilliams

P:\2015\20150808\dwg\construction\20150808_C6-0_GRA.dwg;C6-0 GRADING & UTILITY PLAN Feb 12, 2020 pwilliams



NOTE

1. "SI ME RO
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LEGEND

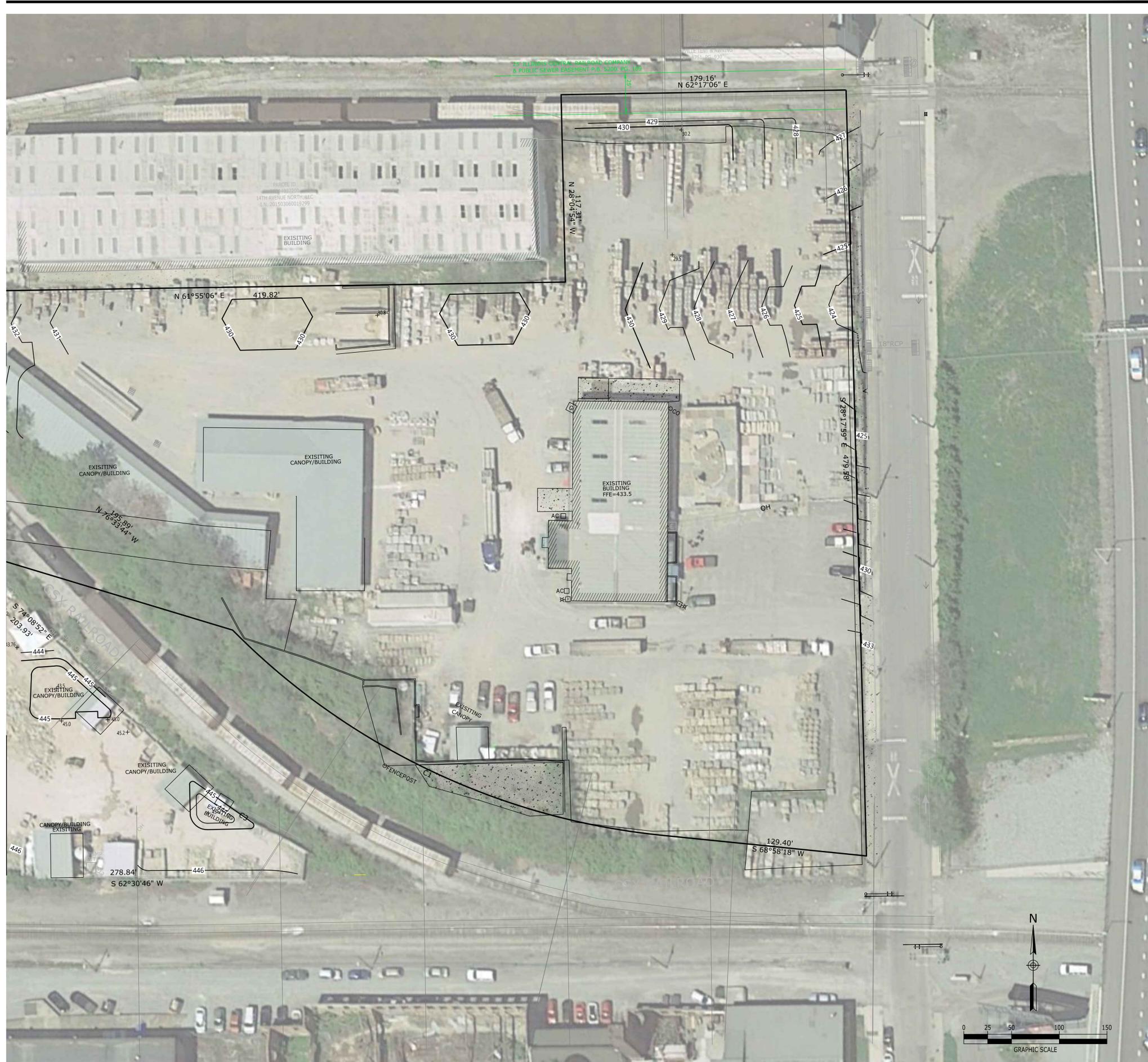
STORM PIPE & INLET	
SPOT ELEVATION	
PROPOSED CONTOUR ELEV.	
DRAINAGE STRUCTURE	
SILT FENCE	
TREE PROTECTION	
INLET PROTECTION	
STRAW BALE FILTER	

NOTE: REDUCED PRESSURE BACKFLOW PREVENTORS SHALL BE LOCATED INSIDE THE BUILDINGS. SEE PLUMBING PLANS.

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE AND OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT AND FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS





**UNION STATION
BRICK**
5121 BOXCROFT PLACE
NASHVILLE, TENNESSEE, 37205
615.207.5969

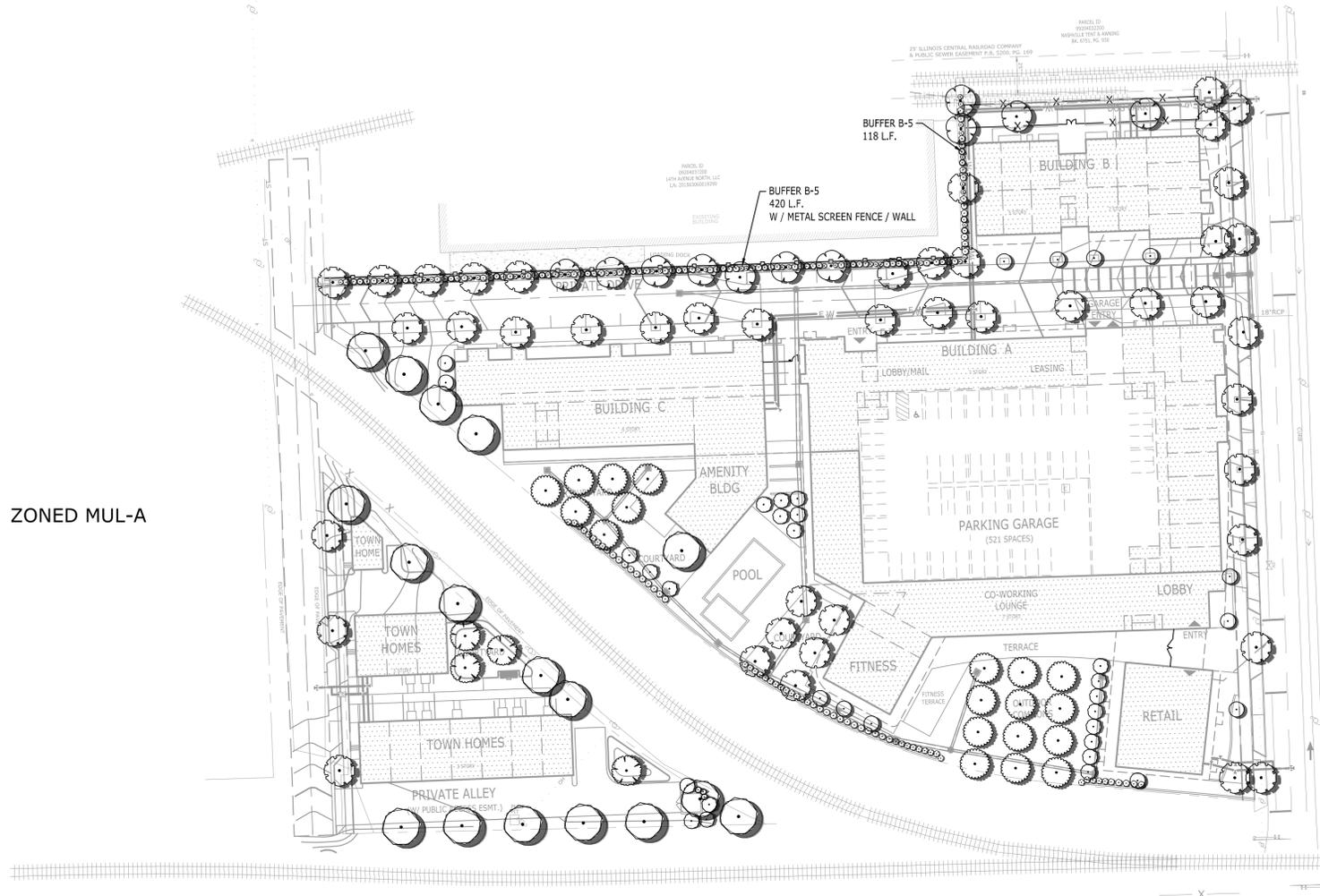


2020SP-011-001
PRELIMINARY SP SUBMITTAL
UNION BRICK MULTIFAMILY
801 12TH AVENUE NORTH
NASHVILLE, TENNESSEE, 37203
DAVIDSON COUNTY

NO.	DATE	DESCRIPTION
02.12.2020	PRELIMINARY SP RESUBMITTAL	

DRAWING TITLE
**TREE PROTECTION
PLAN**

PROJECT NUMBER
20190088
DRAWING NUMBER
L1.0



LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
L1	PLANTING BED LIMITS	-
L2	IRRIGATION LIMITS	-
L3	AREA TO BE SEEDED	-
L4	AREA TO BE SODDED	-
L5	AREA TO BE 4"-6" RIVER ROCK	-

LANDSCAPE DATA

OVERALL SITE ACREAGE: 4.67 AC
 PARCEL ID: 09204032300, 09204038000
 ZONING: EXISTING ZONING - IR; PROPOSED ZONING - SP

SITE TREE DENSITY CALCULATIONS

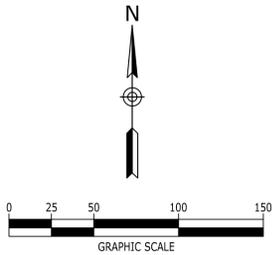
ACREAGE:	4.67 AC
BUILDING ACREAGE:	1.91 AC (83,128.59 SF)
ADJUSTED ACREAGE:	2.76 AC
TREE DENSITY UNITS REQUIRED: (22 TDU/AC. x 2.76)	60.72
TREE DENSITY UNITS PROVIDED:	
EXISTING TREE CREDITS:	0
PROPOSED TREES: (SEE CHART BELOW)	70.35
TOTAL TREE DENSITY UNITS PROVIDED:	70.35
PROPOSED CANOPY TREES:	
2" 4 x 0.5 =	02.00
3" 91 x 0.6 =	54.60
PROPOSED UNDERSTORY / COLUMNAR TREES:	
2" 55 x 0.25 =	13.75
3" 0 x 0.30 =	0.00
TOTAL	70.35

BUFFER CALCULATIONS

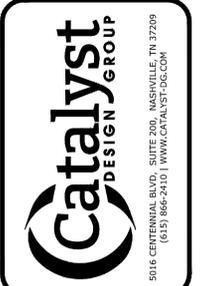
BUFFER 1	
TYPE B5	
WIDTH:	5' (WITH 6" OPAQUE FENCE)
LENGTH:	420 LF
REQUIRED CANOPY TREES:	12.6
REQUIRED CANOPY TREES:	15
REQUIRED UNDERSTORY TREES:	4.2
PROVIDED UNDERSTORY TREES:	14
REQUIRED SHRUBS:	42
PROVIDED SHRUBS:	81
BUFFER 2	
TYPE B5	
WIDTH:	5' (WITH 6" OPAQUE FENCE)
LENGTH:	118 LF
REQUIRED CANOPY TREES:	3.5
REQUIRED CANOPY TREES:	4
REQUIRED UNDERSTORY TREES:	1.2
PROVIDED UNDERSTORY TREES:	4
REQUIRED SHRUBS:	11.8
PROVIDED SHRUBS:	25

PLANT SCHEDULE

CANOPY TREES		QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD
BH	4	Betula nigra 'Heritage' / Heritage River Birch	B&B	2"	10-12'	5-7'	
GB	19	Ginkgo biloba / Maidenhair Tree	B&B	3"	10-12'	4-5'	
MG	11	Magnolia grandiflora / Southern Magnolia	B&B	3"	12-14'	6-8'	
TREE FORM		QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD
QP	17	Quercus phellos / Willow Oak	B&B	3"	10-12'	6-7'	
UA	44	Ulmus parvifolia 'Allee' / Allee Lacebark Elm	B&B	3"	8-10'	5-7'	
UNDERSTORY/COLUMNAR TREES		QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD
CF	13	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"	10-12'	3-5'	
ML	21	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	B&B	2"	7-8'	3-5'	
TE	21	Thuja occidentalis 'Emerald' / Emerald Arborvitae	B&B	2"	6-7'	2-3'	
SHRUBS		QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD
AR2	38	Abelia x 'Rose Creek' / Rose Creek Abelia	#3		18-24"	18-24"	
JO	96	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	Container		24-27"	27-30"	
PLO	35	Prunus laurocerasus 'Otto Luyken' / Otto Luykens Laurel	Container		18-24"	18-24"	



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UNION STATION
 BRICK
 5121 BOXCROFT PLACE
 NASHVILLE, TENNESSEE, 37205
 615.207.5969



2020SP-011-001
 PRELIMINARY SP SUBMITTAL
 UNION BRICK MULTIFAMILY
 801 12TH AVENUE NORTH
 NASHVILLE, TENNESSEE, 37203
 DAVIDSON COUNTY

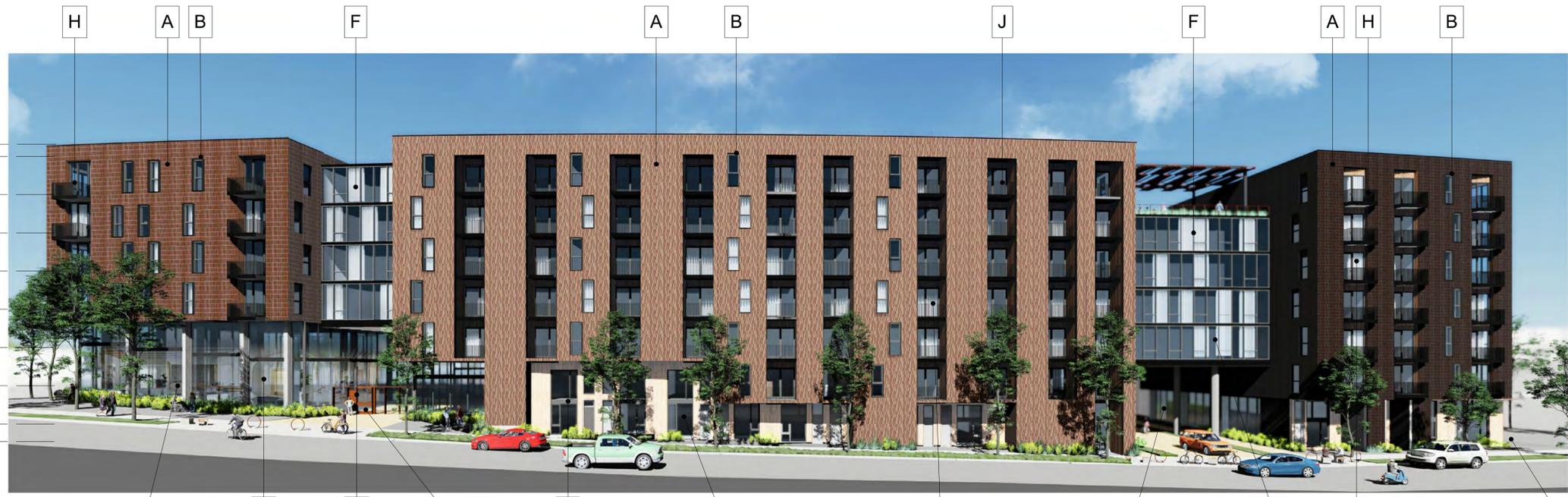
NO.	DATE	PRELIMINARY SP RESUBMITTAL DESCRIPTION
02.12.2020		

DRAWING TITLE
OVERALL LANDSCAPE PLAN

PROJECT NUMBER
 20190808

DRAWING NUMBER
L2.0

T.O. Parapet 511' - 0"
 Roof 507' - 6"
 Level 7 496' - 6"
 Level 6 485' - 6"
 Level 5 474' - 6"
 Level 4 463' - 6"
 Level 3 452' - 6"
 Level 2 441' - 6"
 Level 1.5 430' - 6"
 Level 1 425' - 6"
 85' - 6"
 11' 11"
 11' 11"
 11' 11"
 11' 11"
 11' 11"
 11' 11"
 16'



Note: 27% Glazing Provided, See Sheet G007

COMMERCIAL OR RESTAURANT SPACE WITH GENEROUS CEILING HEIGHT AND OUTDOOR SEATING
 ENTRY GATE TO LUSH, RES. COURTYARD BEYOND. LOBBY ENTRY IS OFF OF PORTAL.
 LIVE WORK UNITS ARE RECESSED BACK FROM BRICK FACADE ABOVE
 RECESSED BALCONIES ABOVE
 MULTI-STORY PORTAL
 GLAZED INTERIOR WALKWAY
 RECESSED BALCONIES ABOVE
 DOG PARK WITH LIVE WORK STOOPS



MATERIALS

- A. Light-Colored Brick
12th Ave North Facade, Interior of Portal
- B. Recessed Dark Toned Windows
Residential Units
- D. Weathering Steel and Glass Gate
Residential Entry Points
- F. Glazed Interior Walkways
Bridges and Exterior Stairs
- H. Hung Balcony - Metal Picket
Residential Units
- J. Inset Balconies w/ Wood Paneling
Residential Units
- L. Weathering Steel Stoop Steps
Building C Ground Floor Stoops



Light-Colored Brick Pattern
Brick pattern is a mix of three similar colors with different ratios of those colors at each distinct volume on the 12th Ave N facade.

C. Aluminum Storefront
Commercial Area, Lobby, Common Areas

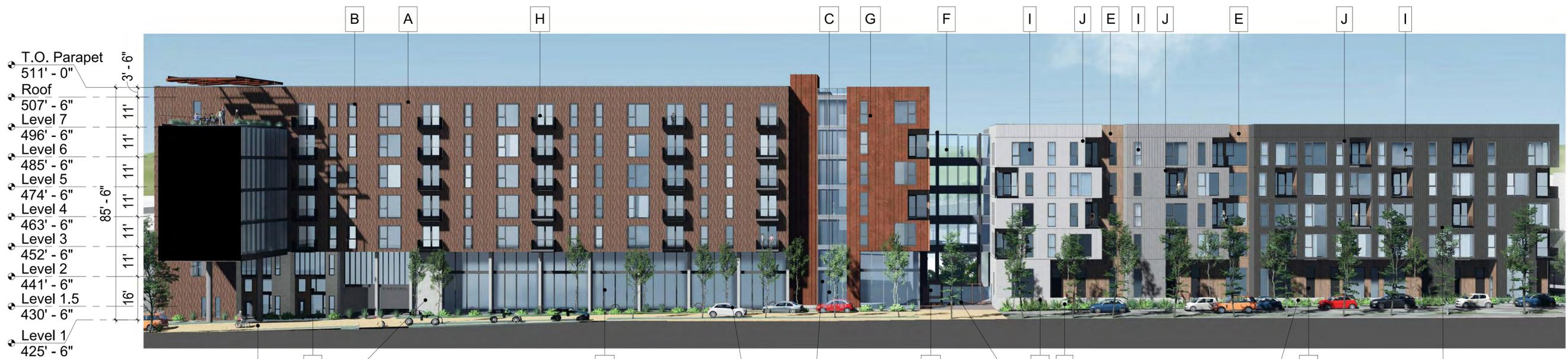
E. Wood Paneling & Dark Aluminum Storefront
Ground Floor Flex Lofts, Residential Stoop Recesses, Building Notches

G. Standing Seam Metal Panels
Corner at Leasing/Lobby

I. Vertical Fiber Cement Siding - Light, Medium, and Dark Grey
Building C

K. Textured Concrete & Light Wood Paneling
Building C Ground Floor Stoops





Note: 26% Glazing Provided, See Sheet G007

LIVE WORK UNITS ARE RECESSED BACK FROM BRICK FACADE ABOVE

VINE POCKETS, PLANTING, TEXTURED CONCRETE COLUMNS AND STOREFRONT AT THE LEASING LOBBY AND RESIDENT LOUNGE

ELEVATOR LOBBY

ENTRY GATE TO LUSH, RESIDENTIAL COURTYARD BEYOND. LOBBY ENTRY IS OFF OF PORTAL.

RECESSED STOOPS

ALTERNATING RECESSED DECKS



MATERIALS

A. Light-Colored Brick
12th Ave North Facade, Interior of Portal

B. Recessed Dark Toned Windows
Residential Units

D. Weathering Steel and Glass Gate
Residential Entry Points

F. Glazed Interior Walkways
Bridges and Exterior Stairs

H. Hung Balcony - Metal Picket
Residential Units

J. Inset Balconies w/ Wood Paneling
Residential Units

L. Weathering Steel Stoop Steps
Building C Ground Floor Stoops



Light-Colored Brick Pattern
Brick pattern is a mix of three similar colors with different ratios of those colors at each distinct volume on the 12th Ave N facade.

C. Aluminum Storefront
Commercial Area, Lobby, Common Areas

E. Wood Paneling & Dark Aluminum Storefront
Ground Floor Flex Lofts, Residential Stoop Recesses, Building Notches

G. Standing Seam Metal Panels
Corner at Leasing/Lobby

I. Vertical Fiber Cement Siding - Light, Medium, and Dark Grey
Building C

K. Textured Concrete & Light Wood Paneling
Building C Ground Floor Stoops





Note: 20% Glazing Provided, see G007

MATERIALS

B. Recessed Dark Toned Windows
Residential Units



M. Vertically Oriented Fiber Cement Siding and Battens
Townhomes



N. Weathering Steel Stoops and Guardrails
Townhomes



O. Horizontal Siding - Wood
Townhomes



SUBSTITUTE ORDINANCE NO. BL2020-268

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from RS5 to RM20-A-NS zoning for properties located at 139C and 139D Elmhurst Avenue, approximately 400 feet north of Lucile Street (0.18 acres), all of which is described herein (Proposal No. 2020Z-030PR-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from RS5 to RM20-A-NS zoning for properties located at 139C and 139D Elmhurst Avenue, approximately 400 feet north of Lucile Street (0.18 acres), being Property Parcel Nos. 172, 199 as designated on Map 071-10 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the attached sketch, which is attached to and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 071 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Sean Parker

2020Z-030PR-001
Map 071-10, Parcel(s) 172, 199
Subarea 05, East Nashville
District 05 (Parker)
Application fee paid by: Twenty Holdings LLC

A request to rezone from RS5 to RM20-A-NS zoning for properties located at 139C and 139D Elmhurst Avenue, approximately 400 feet north of Lucile Street (0.18 acres), requested by Smith Gee Studio, applicant; Twenty Holdings, LLC, owner.



SUBSTITUTE ORDINANCE NO. BL2020-271

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from CS to MUL-A-NS zoning for properties located at 102 Duke Street, 2301, and 2309 Dickerson Pike, at the southeast corner of Duke Street and Dickerson Pike (1.58 acres), all of which is described herein (Proposal No. 2020Z-041PR-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from CS to MUL-A-NS zoning for properties located at 102 Duke Street, 2301, and 2309 Dickerson Pike, at the southeast corner of Duke Street and Dickerson Pike (1.58 acres), being Property Parcel Nos. 088, 121, 265 as designated on Map 071-07 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the attached sketch, which is attached to and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 071 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

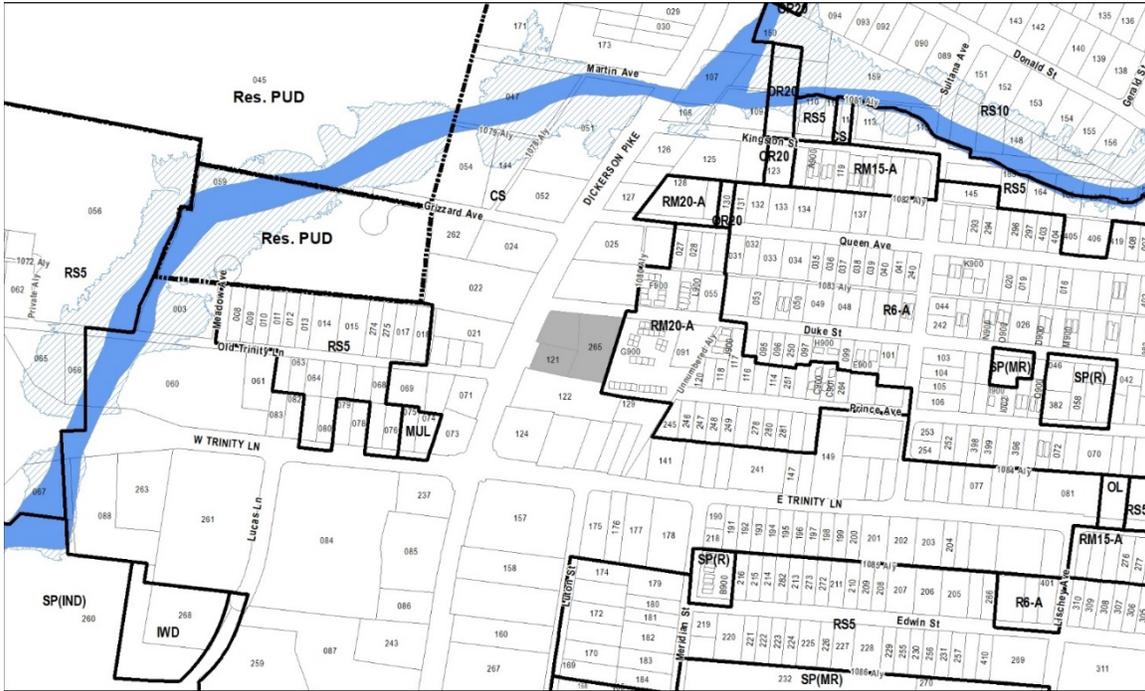
Section 3. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Sean Parker

2020Z-041PR-001
Map 071-07, Parcel(s) 088, 121, 265
Subarea 05, East Nashville
District 05 (Parker)
Application fee paid by: Stone & Howorth PLC

A request to rezone from CS to MUL-A-NS zoning for properties located at 102 Duke Street, 2301, and 2309 Dickerson Pike, at the southeast corner of Duke Street and Dickerson Pike (1.58 acres), requested by S + H Group LLC, applicant; 102 Duke LLC and Joyce Barnhill, owners.



SUBSTITUTE ORDINANCE NO. BL2020-277

An ordinance amending Section 17.40.660 of the Metropolitan Code to allow nonconforming structures destroyed during the March 3, 2020 tornado to rebuild, regardless of the percentage of floor area destroyed (Proposal No. 2020Z-008TX-001).

NOW, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Section 17.40.660 of the Metropolitan Code, the Zoning Ordinance for the Metropolitan Government of Nashville and Davidson County, is hereby amended by adding the following provision at the end of subsection D.:

~~"Notwithstanding the foregoing, any nonconforming structure damaged or destroyed by the March 3, 2020, tornado may be reconstructed in accordance with the district bulk regulations in effect at the time of original construction regardless of the percentage of floor area damaged or destroyed."~~ Notwithstanding the foregoing and regardless of the percentage of floor area damaged or destroyed, any nonconforming structure damaged or destroyed by the March 3, 2020, tornado may be reconstructed so long as there is not a substantial increase in the degree of non-conformity.

Section 2. This Ordinance shall take effect from and after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Councilmember Jeff Syracuse

SUBSTITUTE ORDINANCE NO. BL2020-288

An ordinance to amend Section 17.20.120 of the Metropolitan Code related to street trees (Proposal No. 2020Z-009TX-001).

WHEREAS, Nashville’s General Plan, NashvilleNext, provides guidelines by which Metropolitan Nashville grows and develops; and

WHEREAS, an important feature in this growth includes improvements of public spaces, safely walkable access to goods and service throughout the county, and other benefits to residents, neighborhoods, and businesses; and

WHEREAS, beginning July 2017, Metro expanded the strategic framework for sidewalk requirements and has over the last several years focused on improved implementation of sidewalks across Nashville and Davidson County; and

WHEREAS, Metro updated development regulations for tree retention and replacement to increase Nashville’s overall tree canopy, enhance the pedestrian realm, retain stormwater, and beautify Nashville’s developed areas; and

WHEREAS, pursuant to Section 17.20.120 of the Metropolitan Code of Laws, sidewalks are required to be constructed with certain types of development and based on certain locational criteria, including for multi-family and nonresidential development in NashvilleNext centers; and

WHEREAS, requiring street trees to be planted in the furnishing/green zone for sidewalks constructed meeting these criteria will help the Metropolitan Government meet multiple strategic goals.

NOW THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Section 17.20.120 of the Metropolitan Code, the Zoning Ordinance for the Metropolitan Government of Nashville and Davidson County, is hereby amended by adding the following provisions as subsection C.2.c:

- c. For multi-family and nonresidential development or redevelopment, street trees shall be required within the grass strip/green zone or frontage zone for any sidewalk constructed within a center designated in the general plan.
 - i. ~~Trees shall be installed at a rate of one tree per thirty feet of frontage, or portion thereof. Trees shall be installed according to the provisions of the Metro Nashville Street Tree Specifications prepared and maintained by Metro Water Services in conjunction with Metro Public Works, Planning and Codes.~~
 - ii. ~~Street trees shall be chosen from the Urban Forestry Recommended and Prohibited Tree and Shrub List and shall be a minimum of two-inch caliper and a minimum of six feet in overall height. Canopy trees shall be installed except where conflicts with overhead utility lines exist. In those instances, understory trees may be substituted. The owner of the property frontage along which the street trees are installed shall maintain the trees installed per this title according to the provisions of the Metro Nashville Street Tree Specifications.~~
 - iii. ~~The final location and spacing of street trees and proposed planting area dimensions and standards shall be subject to review and approval by the Urban Forester and Metro Public Works.~~

~~iv. The owner of the property frontage along which the street trees are installed shall maintain the street trees installed per this title to the International Society of Arboriculture Standards.~~

viii. Required street trees shall be depicted on a landscape plan, which shall be submitted with construction drawings for the sidewalks.

viiy. Trees installed pursuant to this section shall be eligible for credit toward the tree density required by Chapter 17.24 of this title.

Section 2. This ordinance shall take effect from and after its passage and such change be published in a newspaper of general circulation, the welfare of the Metropolitan Government of Nashville and Davidson County requiring it.

INTRODUCED BY:

Angie Henderson
Member of Council

AMENDMENT NO. 1
TO
ORDINANCE NO. BL2020-298

Mr. President:

I move to amend Ordinance No. BL2020-298 by deleting the following project in its entirety:

Project	Project Funding	Method of Financing
Project No. 21DS0120 Joelton McDowell Park: New Field Light.	\$1,000,000	Proposed G. O. Bonds

INTRODUCED BY:

Jonathan Hall
Member of Council

AMENDMENT NO. 2

TO

ORDINANCE NO. BL2020-298

Mr. President:

I move to amend Ordinance No. BL2020-298 by deleting the following project in its entirety:

Project	Project Funding	Method of Financing
Project No. 20DS0024 Awnings over sidewalks at Joelton Middle School.	\$60,000	Proposed G. O. Bonds

INTRODUCED BY:

Jonathan Hall
Member of Council

AMENDMENT NO. 3

TO

ORDINANCE NO. BL2020-298

Mr. President:

I move to amend Ordinance No. BL2020-298 by deleting the following project in its entirety:

Project	Project Funding	Method of Financing
Project No. 20DS0025 Awnings over sidewalks at Robert E. Lillard Elementary School.	\$220,000	Proposed G. O. Bonds

INTRODUCED BY:

Jonathan Hall
Member of Council

AMENDMENT NO. 4
TO
ORDINANCE NO. BL2020-298

Mr. President:

I move to amend Ordinance No. BL2020-298 by deleting the following project in its entirety:

Project	Project Funding	Method of Financing
Project No. 17AR0007 Arts Commission: North Nashville Area Projects – Bikeways and Transportation Projects.	\$350,000	Proposed G. O. Bonds

INTRODUCED BY:

Jonathan Hall
Member of Council

AMENDMENT NO. 5
TO
ORDINANCE NO. BL2020-298

Mr. President:

I move to amend Ordinance No. BL2020-298 by deleting the following project in its entirety:

Project	Project Funding	Method of Financing
Project No. 14AR0001 Arts Commission: Public Art Projects.	\$4,410,000	Proposed G. O. Bonds

INTRODUCED BY:

Jonathan Hall
Member of Council

AMENDMENT NO. 6

TO

ORDINANCE NO. BL2020-298

Mr. President:

I move to amend Ordinance No. BL2020-298 by deleting the following project in its entirety:

Project	Project Funding	Method of Financing
Project No. 20DS0027 Awnings over sidewalks at Cumberland Elementary School.	\$185,000	Proposed G. O. Bonds

INTRODUCED BY:

Jonathan Hall
Member of Council

AMENDMENT NO. 7

TO

ORDINANCE NO. BL2020-298

Mr. President:

I move to amend Ordinance No. BL2020-298 by adding the following project:

Project	Project Funding	Method of Financing
Construct new fire station In Southeast Davidson County-Antioch/ Burkitt Road. Land previously acquired.	\$20,000,000	Proposed G. O. Bonds

INTRODUCED BY:

John Rutherford
Member of Council

AMENDMENT NO. 8

TO

ORDINANCE NO. BL2020-298

Mr. President:

I move to amend Ordinance No. BL2020-298 by amending the project to delete the proposed revenue bonds, as follows:

Project	Project Funding	Method of Financing
Project No. 20FB0001	\$50,000,000	Proposed Revenue Bonds
Fairground site improvements.	\$25,000,000	Proposed G.O. Bonds

INTRODUCED BY:

Colby Sledge
Member of Council