



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
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**STAFF RECOMMENDATION**  
**301 Broadway and 105 3<sup>rd</sup> Avenue South**  
**December 19, 2012**

**Application:** New construction-rooftop addition, Signage, Alterations  
**District:** Broadway Historic Preservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 09306402700, 09306402800  
**Applicant:** John Barnett, B3 Studio  
**Project Lead:** Robin Zeigler, robin.zeigler@nashville.gov

**Description of Project:** The applicant proposes alterations and a rooftop addition to two buildings at the corner of Broadway and Third Avenue South. For 105 3<sup>rd</sup> Avenue North the plan is to install windows where windows have been removed and more appropriate doors. The rooftop addition and signage will be on 301 Broadway.

**Recommendation Summary:** Staff recommends approval with the conditions that:

1. The sign connections not interfere will decorative details;
2. Additional information about the face of the sign be submitted;
3. All doors to the addition be within the required setback area;
4. The railing never have anything attached to it, such as lighting or signage;
5. The railing be set back a minimum of eight feet (8') from the front wall of the building;
6. The structure should not have permanent or temporary walls added without a permit; and
7. The structure not have anything attached to except for items attached beneath the covered portion such as lighting and speakers.

With these conditions, staff finds the project to meet the applicable design guidelines for alterations and rooftop additions of the Broadway Historic Preservation Zoning Overlay.

**Attachments**

- A:** Photographs
- B:** Site Plan
- C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **Storefronts**

1. Historic storefronts, their component elements, and other aspects of appearance including the original entrance configuration, plane, and recess should be retained.
2. Deteriorated or damaged storefronts or component elements should be repaired using historically appropriate materials.
3. If replacement storefronts or component elements are necessary, replacements should be compatible with the materials, composition, design, texture, and general appearance of the original. Replacements should use physical or photographic evidence to replicate the original appearance. If evidence is not available, the replacement storefront should use arrangement, features, materials, and proportions typically found on buildings of the same style and period of the building involved.

### **Doors and Entryways**

1. Original doors, entryways, and related elements should be retained.
2. Deteriorated or damaged doors or entryways should be repaired using historically appropriate materials.
3. If replacement doors are necessary, replacements should replicate the originals. If original doors do not remain, replacement doors should be of wood and the proportion of glass to door should be comparable to the proportion of display windows to storefront.
4. If doors or entrances do not conform to building or accessibility codes, the originals should be retrofitted to conform. If this is not feasible, replacement doors should be compatible with the original storefront. Variances to building codes may also be sought when the building meets the intent of the code requirements.
5. If wood replacement doors are not feasible, or were not original to the building, dark or bronze anodized metal doors with a wide stile may be appropriate. Raw metal doors and doors without a glass pane are not appropriate. Glass used in replacement doors should be clear.
6. Generally, new entryways should not be introduced to public facades, unless needed for access to an upper floor or a secondary building use. If a new entrance is needed, it should be compatible with the style and period of the building.

### **Display Windows**

1. Original display windows and their component elements should be retained.
2. Deteriorated or damaged display windows should be repaired using historically appropriate materials.
3. If replacement display windows are necessary, replacements should replicate the originals. If original display windows do not exist, replacements should be appropriate for the building's style and period.

4. Appropriate replacement elements include individual or grouped single-light clear-glass panes and simple wood, copper, bronze anodized aluminum, or baked-enamel aluminum frames.
5. Glazing should be clear glass. Ornamental, frosted, spandrel, or stained glass display windows are not appropriate.
6. Display windows should remain visible and not be concealed or enclosed.
7. If privacy or shade other than that afforded by awnings is needed, interior shades or blinds are appropriate.

### **Transoms**

1. Original transoms and their component elements should be retained.
2. Deteriorated or damaged transoms should be repaired using historically appropriate materials.
3. If replacement transoms are necessary, replacements should replicate the original. If original transoms do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement elements include single or multi-light clear-glass panes and simple wood or metal frames.
5. Historic transoms should remain visible and not be covered or enclosed.

### **Bulkheads**

1. Original bulkheads and their component elements should be retained.
2. Deteriorated or damaged bulkheads should be repaired using historically appropriate materials.
3. If replacement bulkheads are necessary, replacements should replicate originals. If original bulkheads do not exist, replacements should be appropriate for the building's style and period of construction.
4. Appropriate replacement elements include paneled and painted wood, brick, and metal.
5. Historic bulkhead materials should remain visible, not concealed beneath added materials.

### **Cast Iron, Wood Pilasters, and Columns**

1. Original pilasters and columns should be retained.
2. Applying paint or another surface treatment is an appropriate preservation measure.
3. Deteriorated or damaged columns and pilasters should be repaired using historically appropriate materials.
4. If replacement pilasters or columns are necessary, replacements should replicate originals.
5. Appropriate replacement materials include wood, cast iron, and stone.
6. Owners are encouraged to replace pilasters and columns that were original to the building but have been removed.

## Signage

1. Historic signs and their component elements should be retained.
2. Deteriorated or damaged signs should be repaired using historically appropriate materials.
3. Signage should be placed in locations historically used for signage and should not obscure transoms, columns, cornices, decorative elements, or architectural features.
4. The number of signs permitted on a parcel shall be limited to the number of primary building entrances on the parcel plus one for each public street on which the parcel has frontage. Window signs are not reviewed.
5. Projecting or blade signs on the upper façade should be limited to one-story in height and should be vertical in orientation.
6. The projection of signs should be proportional and appropriately scaled to the building. At a maximum, signs should not project more than seven feet from the building.
7. Storefront-level signage, flush or projecting, should be pedestrian oriented. It should be appropriately scaled so that its style, size, and placement relates to overall storefront design.
8. Signage materials and design should approximate materials and design typically used between 1850 and 1957. These may include materials such as wood, metal, and neon.
9. Signage painted on storefront display windows is appropriate.
10. Signage mounted on poles or pylons is discouraged when opportunities exist to appropriately design and place monument or building-mounted signage. Ground-mounted signs may only be permitted when a building face is set back from the public right-of-way a distance of at least twenty feet or when a parcel is vacant.
11. Upper floor window graphics and lettering are appropriate.
12. Signage painted on brick side walls may be appropriate. Its size and placement should be compatible to historic examples in the district.
13. Concealed, indirect, or spot lighting is appropriate for exterior signage. Visible fluorescent or incandescent bulbs are not appropriate.
14. Backlit or internally illuminated signage, other than neon, is not appropriate.
15. Neon may be used as backlighting for reverse channel letters, which have a translucent face. The depth of channel letters should be kept to a minimum.
16. Flush mounted neon box signs are not appropriate. Neon transformers should be located within the building, not within a sign box.
17. String, flashing, or racing lights are not appropriate.
18. Banners and flags that use placement, mounts, and materials compatible to the building may be used.
19. Plastic is not an appropriate material.
20. Signage applied to the glass within display windows or transoms and temporary signs such as sandwich boards, temporary sale advertising, and real estate signs are not reviewed by the MHZC.
21. Rooftop signs are not permitted.

### **Additions to Existing Buildings**

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

**Background:** The applicant proposes alterations and a rooftop addition to two buildings at the corner of Broadway and Third Avenue South. For 105 3<sup>rd</sup> Avenue North they plan to install windows where windows have been removed and more appropriate doors. The rooftop addition and signage will be on 301 Broadway.

### **Analysis and Findings:**

#### 105 3<sup>rd</sup> Avenue North

The windows and doors of this façade have been removed and there are no known photographs of its original appearance. The pilasters are original and shall be retained. The close rhythm of pilasters is not seen on Broadway but is prevalent on Second Avenue, so those storefronts were used to guide an appropriate design for this building's age and style, as required by the guidelines. The existing transoms will be retained and new clear glass installed.

Between each pilaster there will be a three foot (3') tall wood paneled bulkhead with double windows above.

The primary entrances will be double full-light and wood glass doors, which keeps the proportion of glass to door comparable to the proportion of display windows.

The project meets the design guidelines for “storefronts,” “doors and entryways,” “display windows,” “transoms,” “bulkheads,” and “cast iron, wood pilasters, and columns.”



Example of double-window above a bulkhead type of design on Second Avenue.

## 301 Broadway

A rooftop addition and signage is planned for the shorter corner building at 301 Broadway. It includes multiple entrances cut into the adjoining historic buildings and a small covered stage area with perimeter railing.

The guidelines require that rooftop additions be set back from side elevations by twenty feet (20') and the proposed structure is setback seventeen feet and four inches (17' 4"). The addition should sit back from the front elevation by thirty feet (30') and the proposed structure is twenty-nine feet and seven inches (29' 7"). Because the structure portion of the addition does not have walls and therefore should have a minimal visual impact, staff finds the setbacks for the covered stage area to be appropriate. Staff recommends that the structure not have permanent or temporary sides added without a permit, as has been required of other similar projects and not have anything attached to the exterior of the structure.

The railing is proposed to sit off the front wall of the existing building three feet (3'). Although the railing is part of the addition and should sit back the required amount, the Commission has made allowances for railings in the past since they can be minimally visible. On two recent cases, the Commission has required for one of them the railing sit back eight feet (8') and the other nine feet (9') because the building had a low parapet wall. Staff recommends that the railing be setback at least eight feet (8') and that it never has anything attached to it such as lighting or signage, as has been required of other similar projects.

In addition to the covered structure and the railing, the addition includes the construction of three garage doors and one pedestrian door into the side walls of the two historic buildings which flank 301 Broadway. As these doors will be highly visible and detract from the historic character of the buildings and the district, staff recommends that all doors be moved to meet the setback requirements for rooftop additions.

The proposed signage is two feet and six inches (2' 6") deep, thirteen feet (13') tall and twelve inches (12") wide. The guidelines require that signage not obscure architectural details. Appropriate height for signage is one-story, that when measured window sill to window sill for many multi-story buildings in the district has been approximately sixteen feet (16'). In this case the building reads as one-story. Staff found that an appropriate scale would be thirteen feet (13'). The projection of the signage is only approximately five feet (5'), which meets the seven foot (7') limitation set by the design guidelines.

This building is very detailed and the signage is located in a smooth portion that divides a pilaster, which is one of the few locations where it will not cover details. One of the connection points is at a decorative floret. Staff finds the location to be appropriate if the connection point is moved below the floret.

The existing historic signage will be retained. Only one sign is proposed which meets the sign number limit for this building.



Historic signage includes the address. The neon “tattoo” sign will be removed.

The sign will be internally lit. In a recent case, the Commission approved an internally lit sign if the background of the sign is opaque and is a solid color. Information about the face of the sign was not provided but the casing will be

metal. Staff recommends approval of the sign with the condition that more information is provided about the face and the connections not entail piercing the building at the location of a decorative detail.

There was no signage proposed for 105 3<sup>rd</sup> Avenue South but there are two existing signs.

Staff recommends approval with the conditions that:

1. The sign connections not interfere will decorative details;
2. Additional information about the face of the sign be submitted;
3. All doors to the addition be within the required setback area;
4. The railing never have anything attached to it, such as lighting or signage;
5. The railing be set back a minimum of eight feet (8’) from the front wall of the building;
6. The structure should not have permanent or temporary walls added without a permit; and
7. The structure not has anything attached to except for items attached beneath the covered portion such as lighting and speakers.

With these conditions, staff finds the project to meet the applicable design guidelines for alterations and rooftop additions of the Broadway Historic Preservation Zoning Overlay.



301 Broadway



Existing conditions on the right side of 105 3<sup>rd</sup> Avenue South.

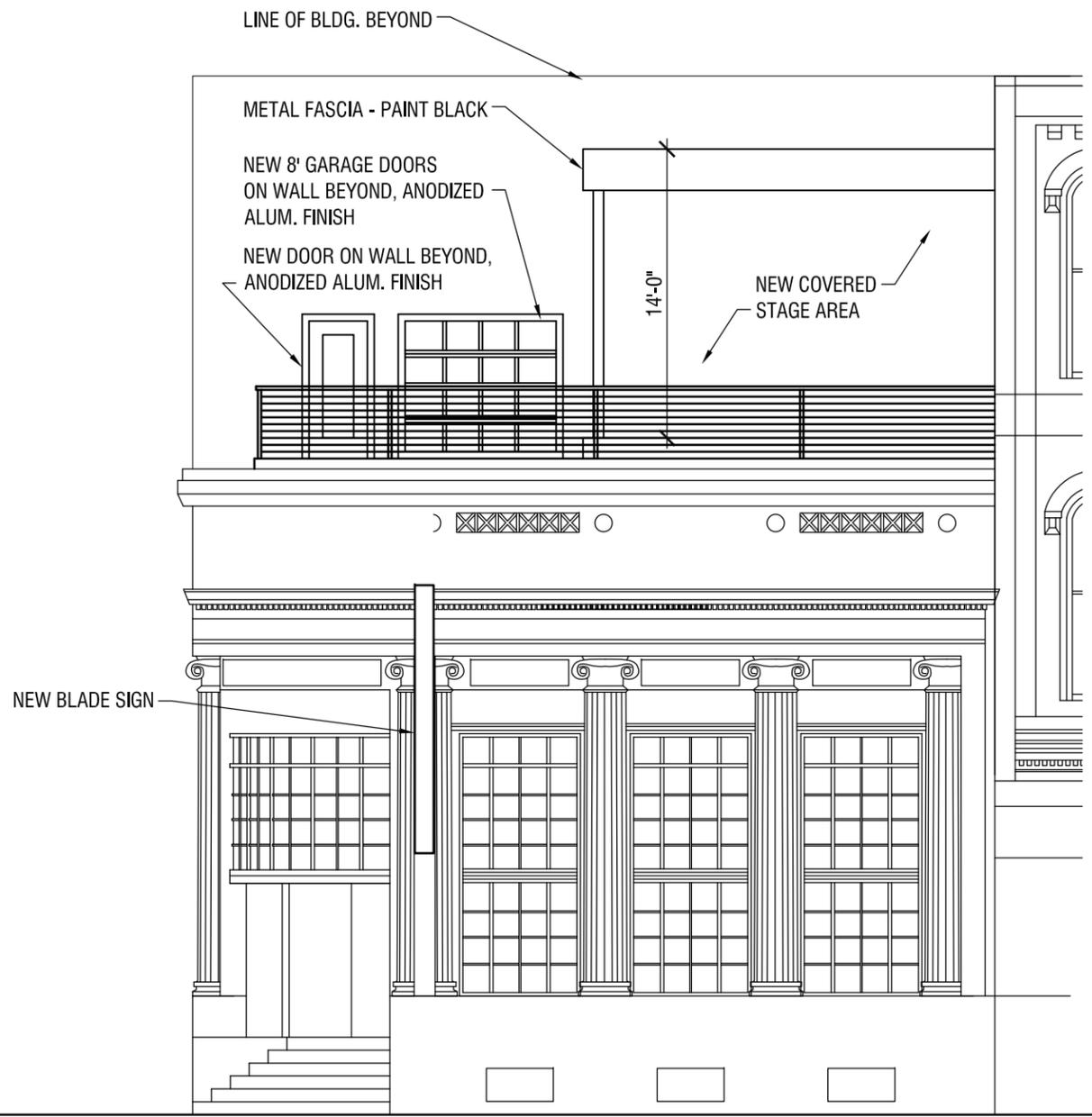


Existing conditions on left side of 105 3<sup>rd</sup> Avenue South

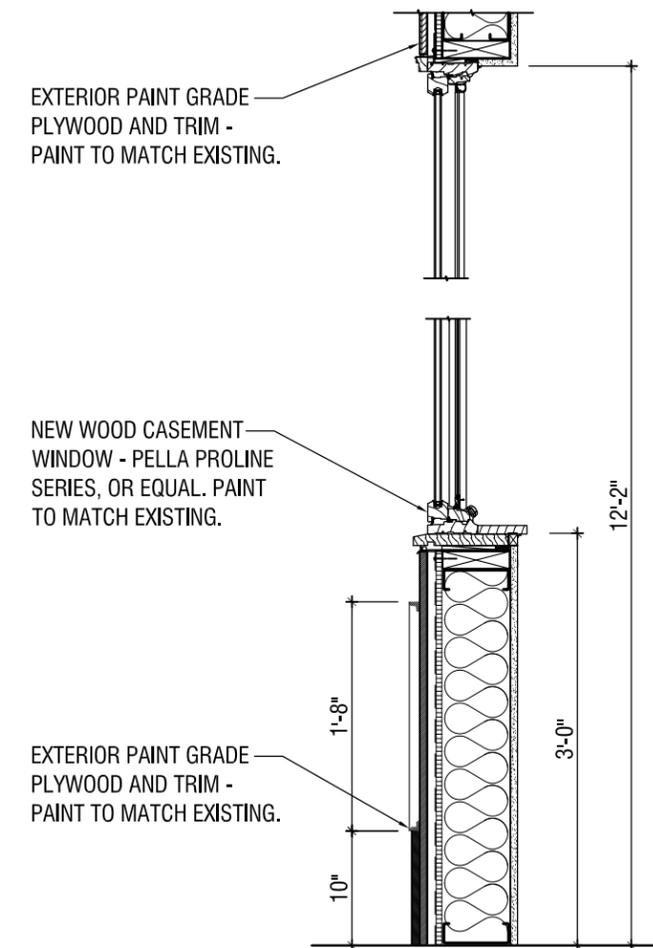


east elevation (along 3rd ave.)

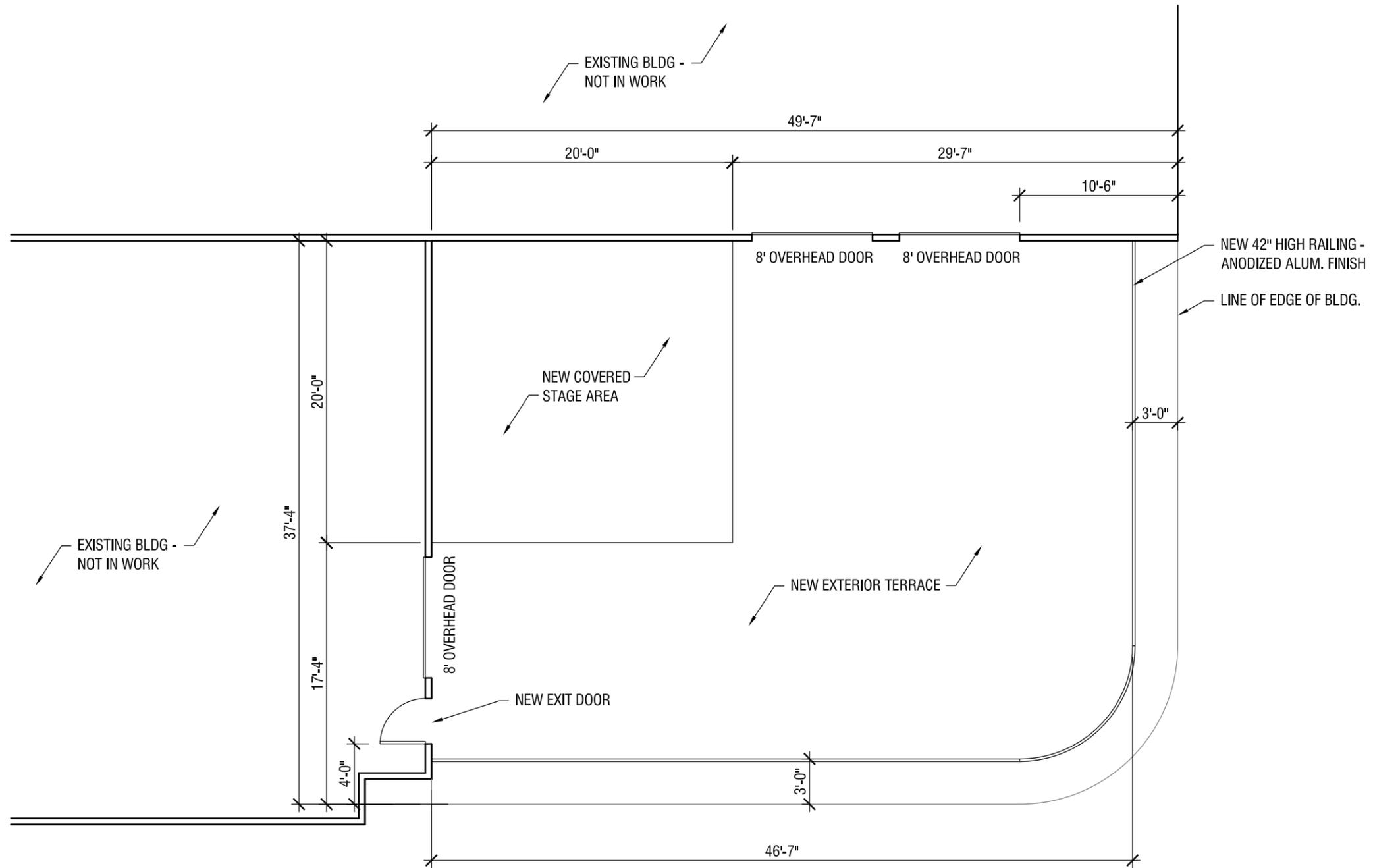
scale: 1/8" = 1'-0"



north elevation (along broadway)  
 scale: 1/8" = 1'-0"



window section  
 scale: 3/4" = 1'-0"



roof plan

scale: 1/8" = 1'-0"



3rd ave.



broadway



broadway

reference photographs