



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**1006, 1008, 1012 Fatherland Street**  
**February 15, 2012**

**Application:** Infill  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08313009400  
**Applicant:** Martin Corner, GP by Mark Sanders  
**Project Lead:** Robin Zeigler, robin.zeigler@nashville.gov

<p><b>Description of Project:</b> Applicant proposes a commercial development on a vacant lot that includes a mix of permanent and semi-permanent buildings and pavilions.</p> <p><b>Recommendation Summary:</b> Staff recommends approval with the condition that the final design of windows, door, roof color, lighting and signage and bulkhead on A1 be approved by staff. Staff finds that the project meets II.B of the <i>Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



**Background:** Applicant proposes a commercial development on a vacant lot that includes a mix of permanent and semi-permanent buildings and pavilions. There is little historic context within the immediate vicinity, with the exception of one commercial building at the corner of 11<sup>th</sup> Avenue and Fatherland which is the inspiration for the design of two of the buildings.

**Applicable Design Guidelines:**

**II.B. New Construction**

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

2. Scale

The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

*Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.*

*Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in material, coursing or color.*

3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setback reductions will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*

- *Proximity of adjoining structures; and*
- *Property lines.*

#### 4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

#### 5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

#### 6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

*New buildings shall incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

*For multi-unit developments, interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than those that front the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.*

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utilities connections should be placed no closer to the street than the midpoint of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

## 7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)*

*Brick molding is required around doors, windows and vents within masonry walls.*

## 8. Outbuildings

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

- b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.
- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

**Analysis and Findings:**

The project is a collection of small commercial buildings intended to be in place for up to 20 years, thus allowing for fuller development of the lot at a later date. The three buildings that will face Fatherland are more permanent in construction, design and function than the interior buildings.

**Height & Scale:** The buildings are one and two-stories tall. The one-story buildings which face Fatherland (B and C) are sixteen feet (16') tall from grade and the two-story that faces Fatherland (A1) is twenty-four feet (24') from grade. The historic context in this area is minimal but the height of the two one-story buildings will match the height of the historic building on the corner. The additional height of the A1 building is also appropriate as it is still within keeping with the taller multi-family residential and school and church buildings, as well as one and one-half story single-family residential buildings in the vicinity.

The two-story (A) buildings located towards the interior of the development increase in height because of the drop in grade. The D and E buildings, only located on the interior, are a maximum of fourteen feet (14') tall. At the rear of the lot, and at the lot's lowest point, are two pavilions (F) which are twenty-five (25') tall from grade. Although the tallest interior buildings are a foot taller than the tallest Fatherland Street oriented building, they will not be visible because of the drop in grade.

The widths of the three buildings facing Fatherland Street are forty feet (40'), thirty six feet (36') and twenty four feet and six inches (24'-6'). The one historic building in the immediate vicinity is fifty feet (50') in width on the Fatherland Street side. Again, with little historic context, these widths are appropriate. The height and scale of all buildings meets section II.B.1 and 2 of the design guidelines.

**Setback, Rhythm of Spacing & Orientation:** There will be three primary buildings facing Fatherland Street with main entrances oriented to the street. Additional interior buildings will face interior walkways which will connect to Fatherland Street, creating a direct connection to the street. All buildings match the placement of historic commercial buildings in the overlay. Each of the three buildings facing Fatherland will be separated,

which is not typical of some historic commercial blocks but often seen in small commercial crossroads within predominately residential districts like this one. All buildings meet the required setbacks for MUL zoning with the exception of the rear pavilions. Staff finds that the project is appropriate for the district in terms of setbacks, rhythm of spacing and orientation and so meets sections II.B.3 and 6 of the design guidelines.

**Relationship of Materials, Textures, Details, and Material Colors:** The materials include concrete slabs and concrete piers, hardi-panel and galvanized metal cladding, hardi-plank trim, aluminum windows and doors, steel doors and awnings, galvanized metal and TPO roofing, painted block, steel gates, concrete pavers and faux stone retaining walls. All materials are appropriate for the overlay as they either are materials found historically or mimic historic materials. The secondary doors are unknown. Staff recommends approval with the condition that staff review final design of all windows and doors. With this condition, the project meets section II.B.4 of the design guidelines.

**Roof Shape:** Buildings B and C will have shed roofs with parapet walls, as found on many historic buildings in the overlay. Other buildings will have a shed roof with a pitch of 2/12. The proposed roof shapes do not contrast with surrounding buildings and two of the building's roof shapes match the one historic building in the immediate vicinity. Staff finds that the project meets section II.B. 5 of the design guidelines.

**Proportion and Rhythm of Openings:** In the past, the Commission has required between eight and thirteen feet (8' to 13') between openings. In this project the primary facades are glazed with no more than eleven feet (11') between openings. In some cases, alley elevations or interior elevations have little glazing; however, this is a common feature of historic commercial buildings. The Fatherland facades have large windows, similar to historic storefront windows and the second story windows of the two-story buildings are smaller than the first story which is a typical design feature of historic buildings. Staff recommends a recessed panel below the front windows of the A1 building to mimic a bulkhead. The applicant has agreed to add this design feature. With this condition, staff finds the project meets Section II.B.7 of the design guidelines for proportion and rhythm of openings.

**Appurtenances:** Lighting is expected at each building's entrance but the design is unknown at this time. Signage is also expected but unknown. All utilities will be located behind the buildings facing Fatherland Street. Staff recommends final approval of lighting and signage by staff but otherwise finds that the project meets section 9 of the design guidelines.

Staff recommends approval with the condition that the final design of windows, door, roof color, lighting and signage and bulkhead on A1 be approved by staff.



Historic building that was used as an inspiration for the design of the B and C buildings.



The vacant lot seen from behind the private alley that crosses the back portion of the property. The rear of the historic building is seen on the right. School and church contexts seen in the background.



Fatherland Street, the approximate location of building A1.

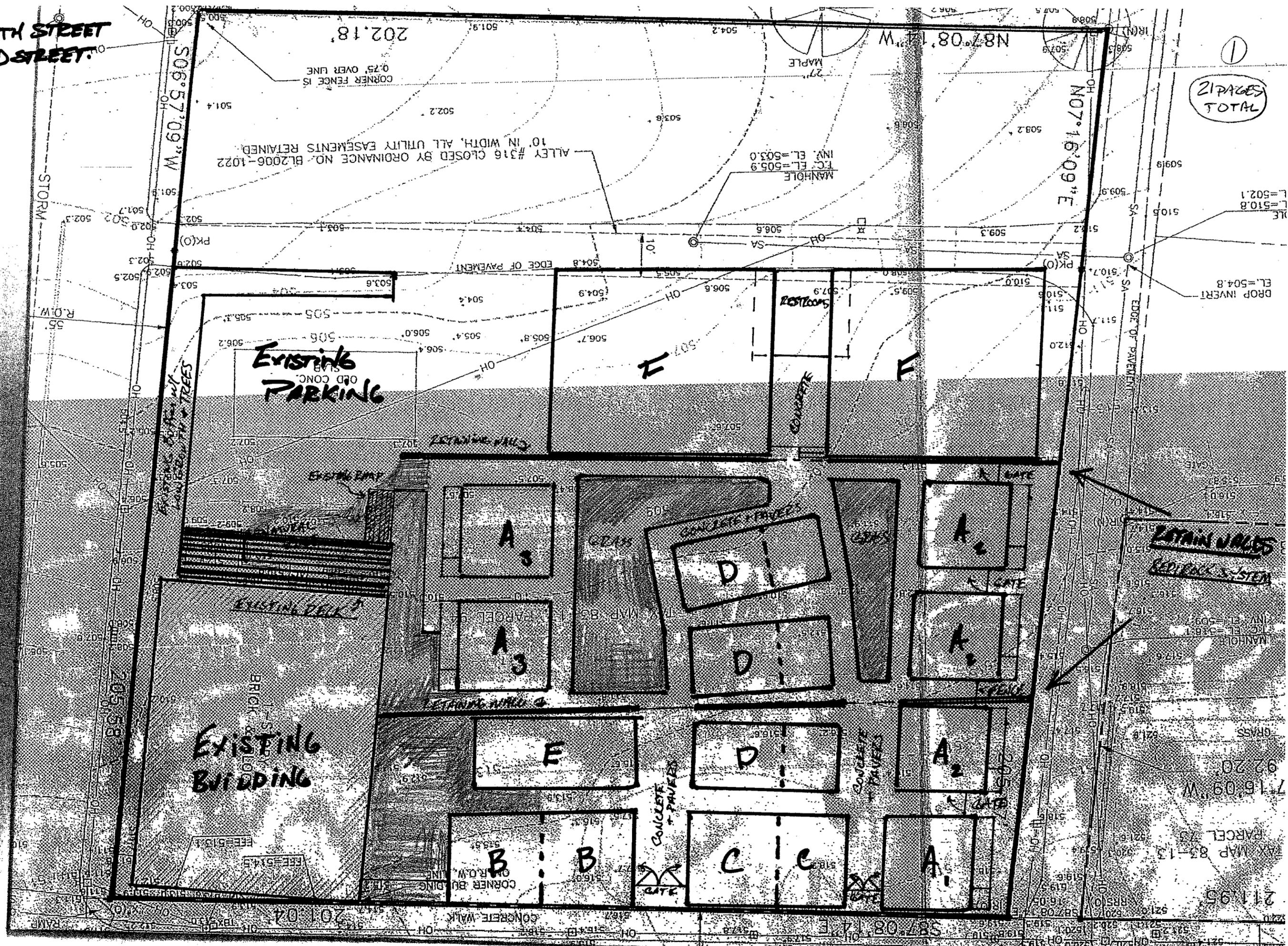


Fatherland Street, the approximate location of buildings B and C. Residential area seen in the background.

SOUTH ELEVENTH STREET  
+ FATHERLAND STREET.

1 = 20'

①  
2 PAGES  
TOTAL





SOUTH 11<sup>th</sup> STREET + FATHELLAND STREET

A1

6

2/12 roof pitch

Add a recessed panel for A1 to create the look of a bulk head.

Secondary doors to be steel.

QB

EXTERIOR TO BE HARDI PANEL + HARDI PLANK

WINDOWS

STANDARD STOREFRONT THROUGHOUT

HARDI PLANK

GALV. METAL ROOF

GALV. F STEEL

24'

STEEL

20'6"

20'

EAST ELEVATION

20'

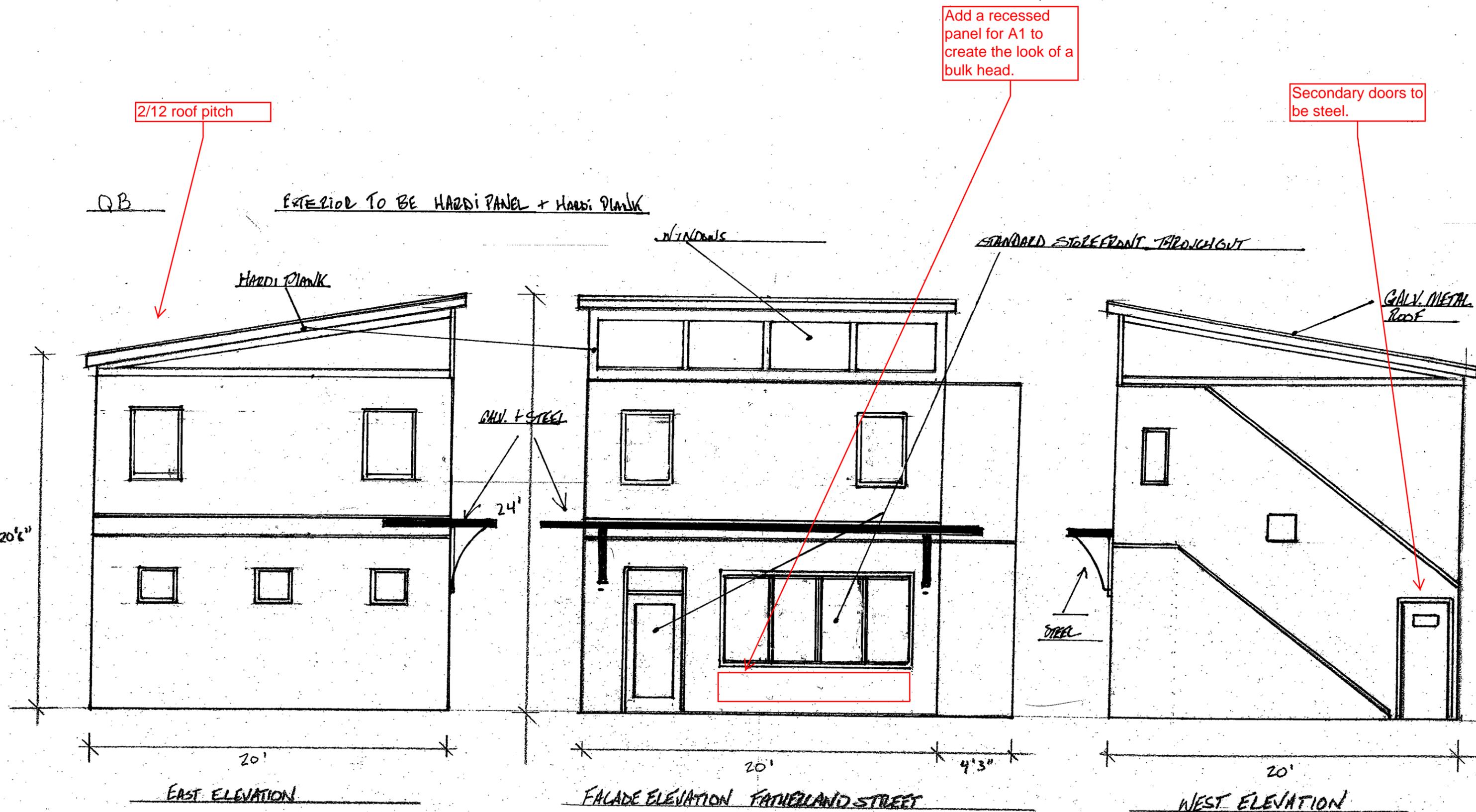
4'3"

FACADE ELEVATION FATHELLAND STREET

20'

WEST ELEVATION

3/16" = 1'



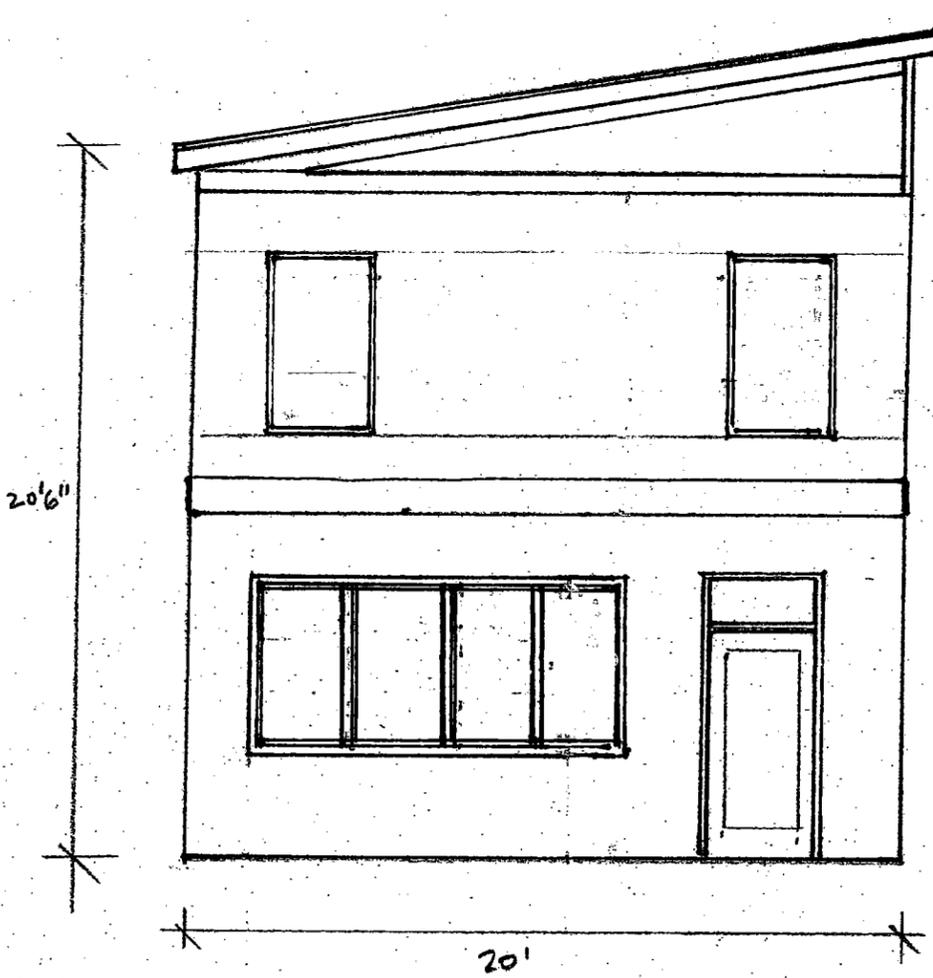
A2

NOTE: TO FOLLOW A1 MATERIALS

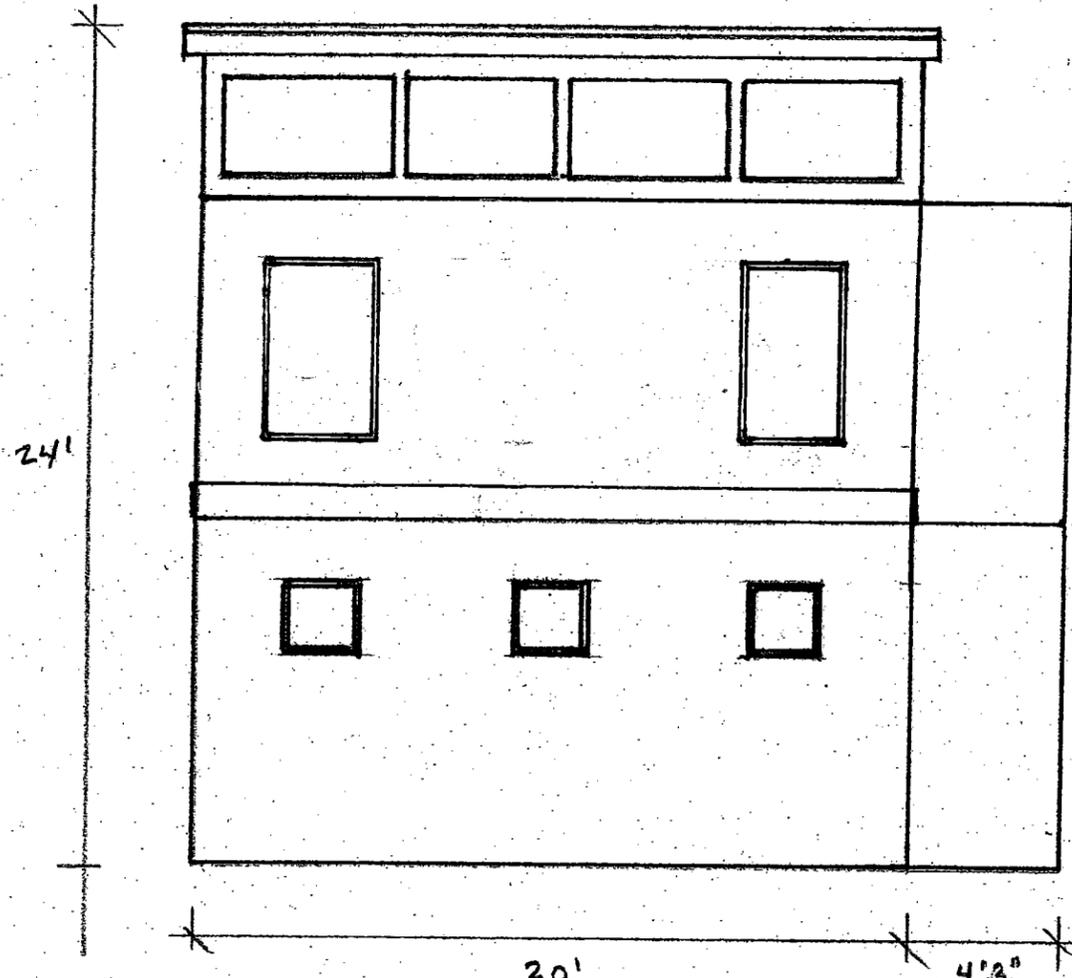
QB

A3

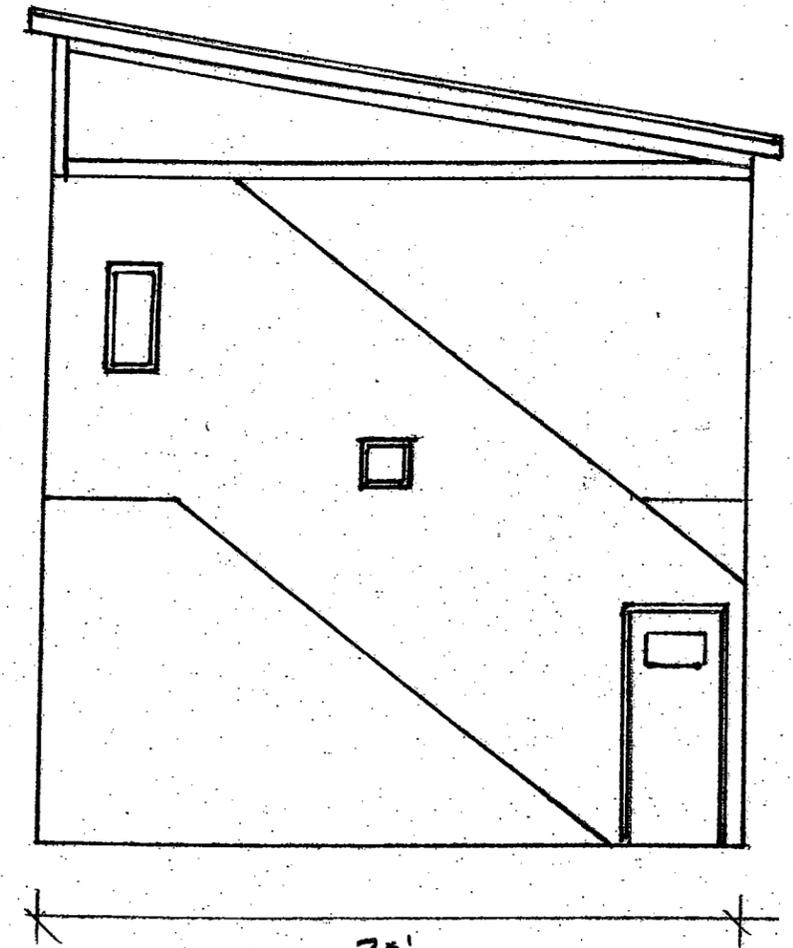
3 INTERIOR UNITS LOCATED ON WESTERN PROP. LINE [ \*NOTE: 2 INTERIOR UNITS LOCATED ON EAST LINE WILL BE MIRROR IMAGE ]



EAST ELEVATION



NORTH (FATHERLAND) ELEVATION



WEST ELEVATION

3/16" = 1'

A1-A2-A3

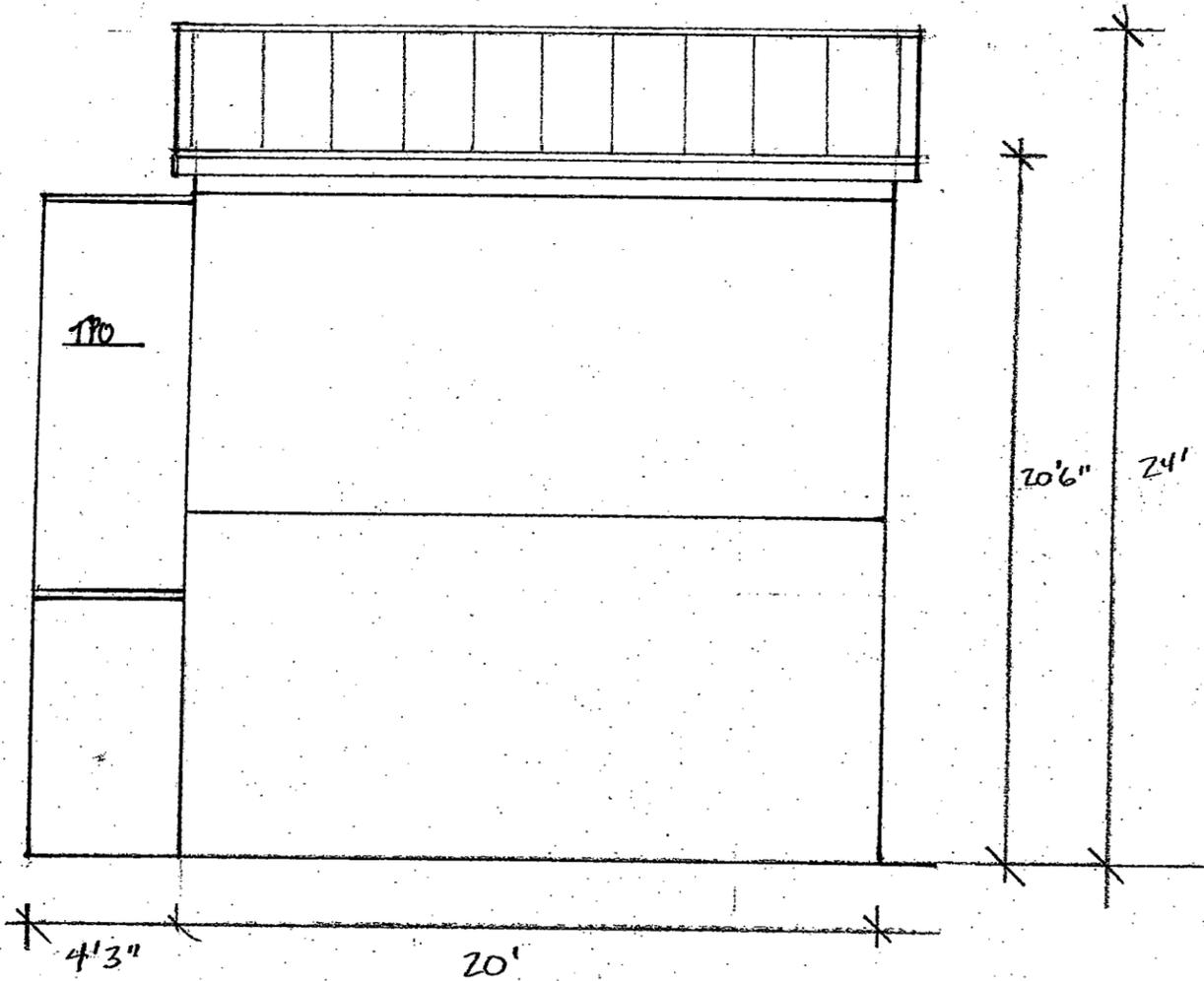
SOUTH ELEVATION

SOUTH ELEVENTH STREET + FATHERLAND STREET

8

QB

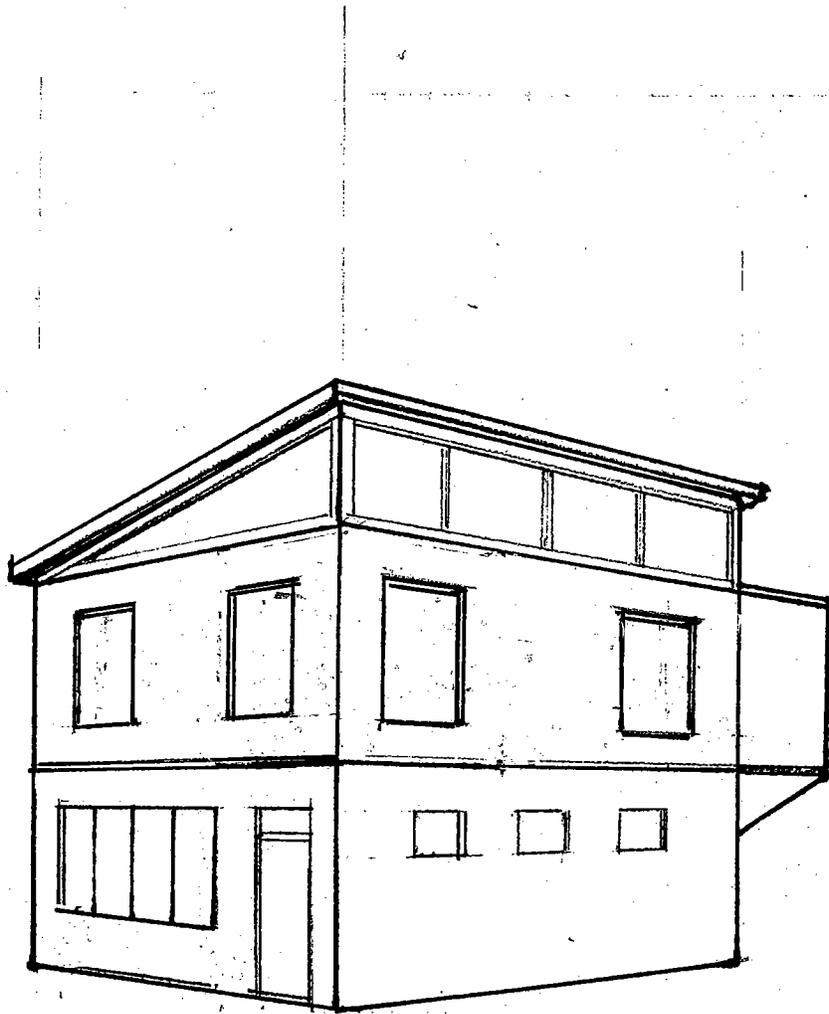
NOTE TO FOLLOW A1 MATERIALS

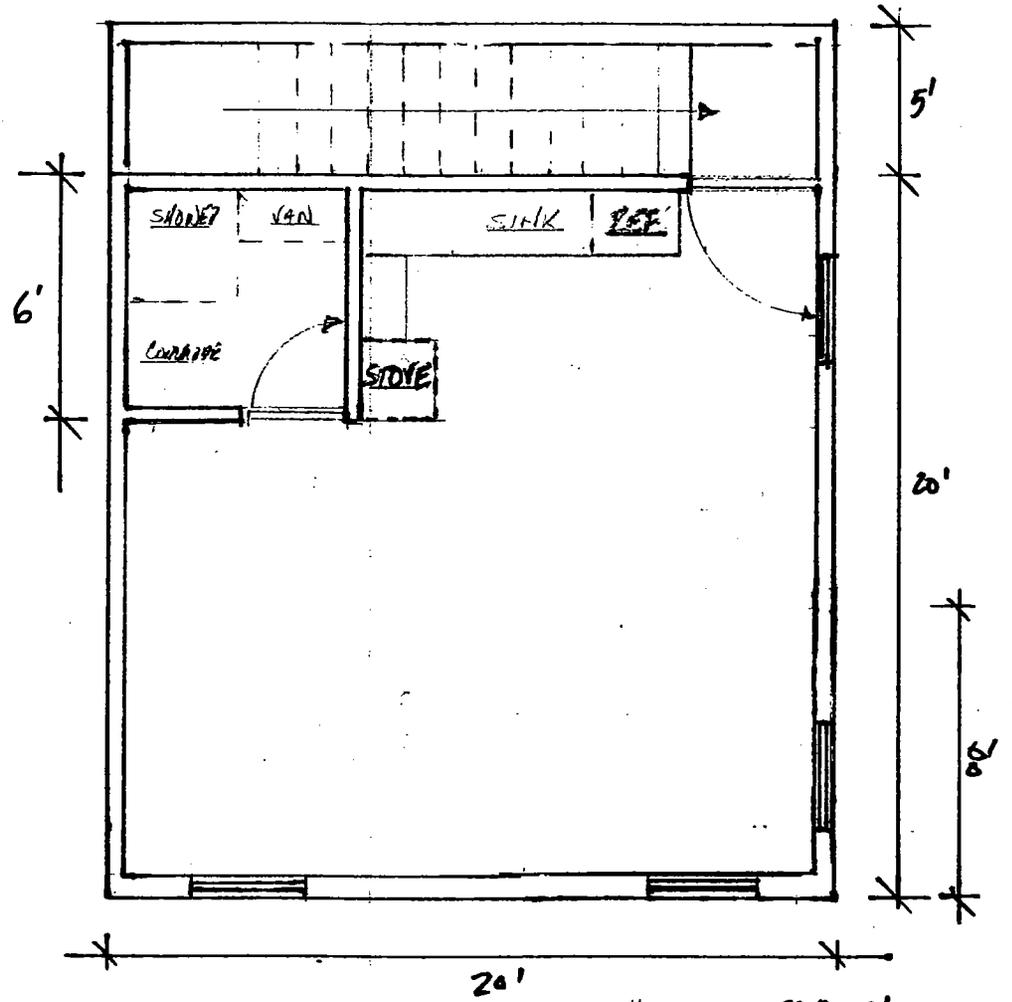
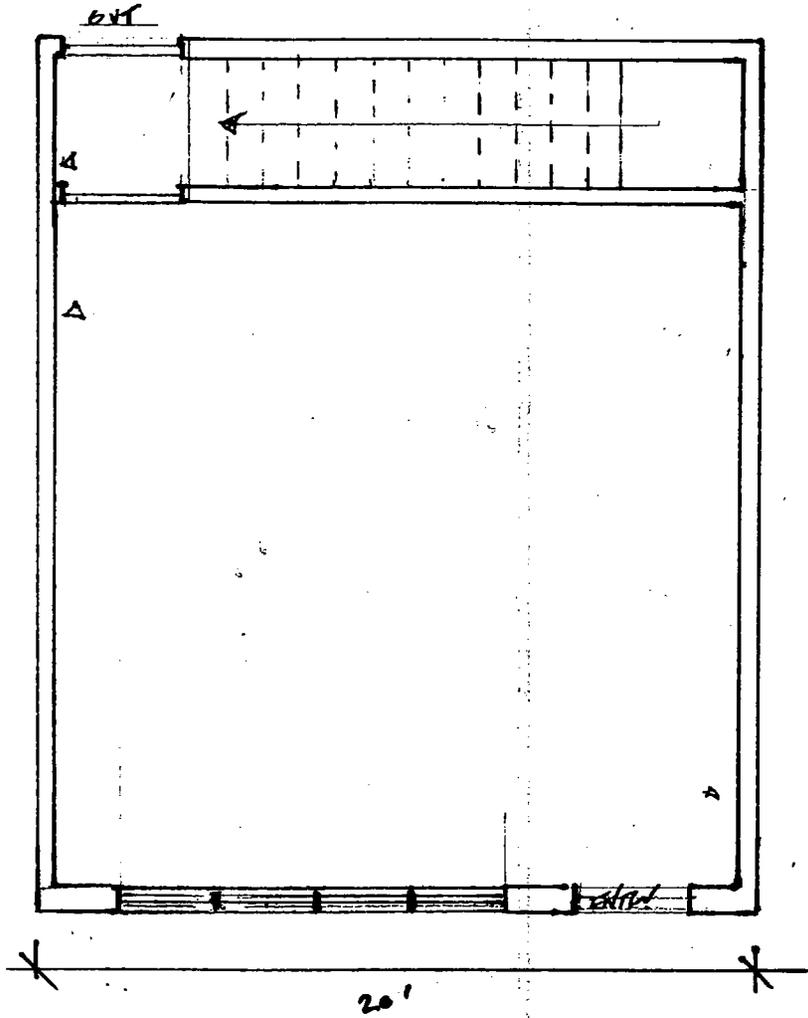


SOUTH ELEVATION (GENERAL)

3/16" = 1'

9





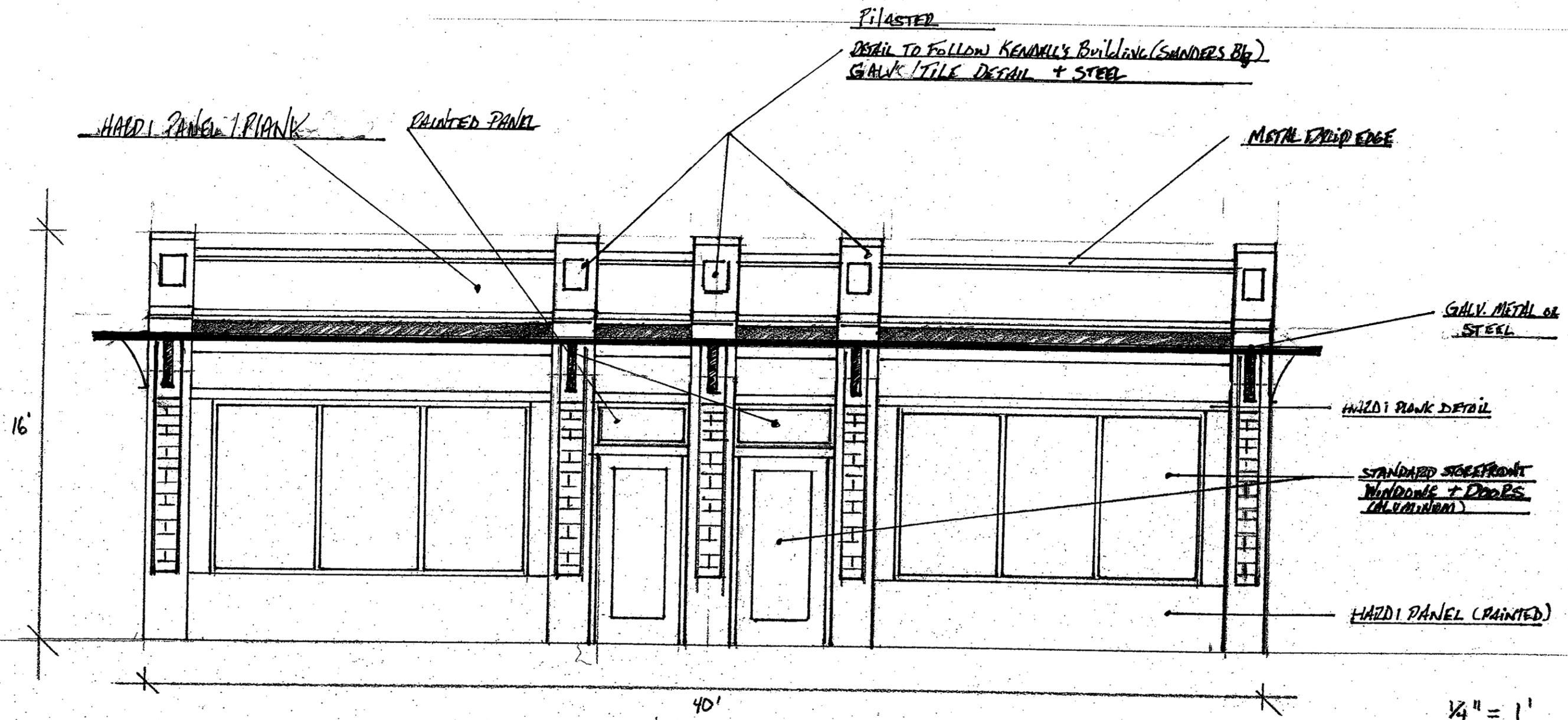
SCALE 3/16" = 1'

SOUTH ELEVENTH STREET + FATHERLAND STREET

11

B

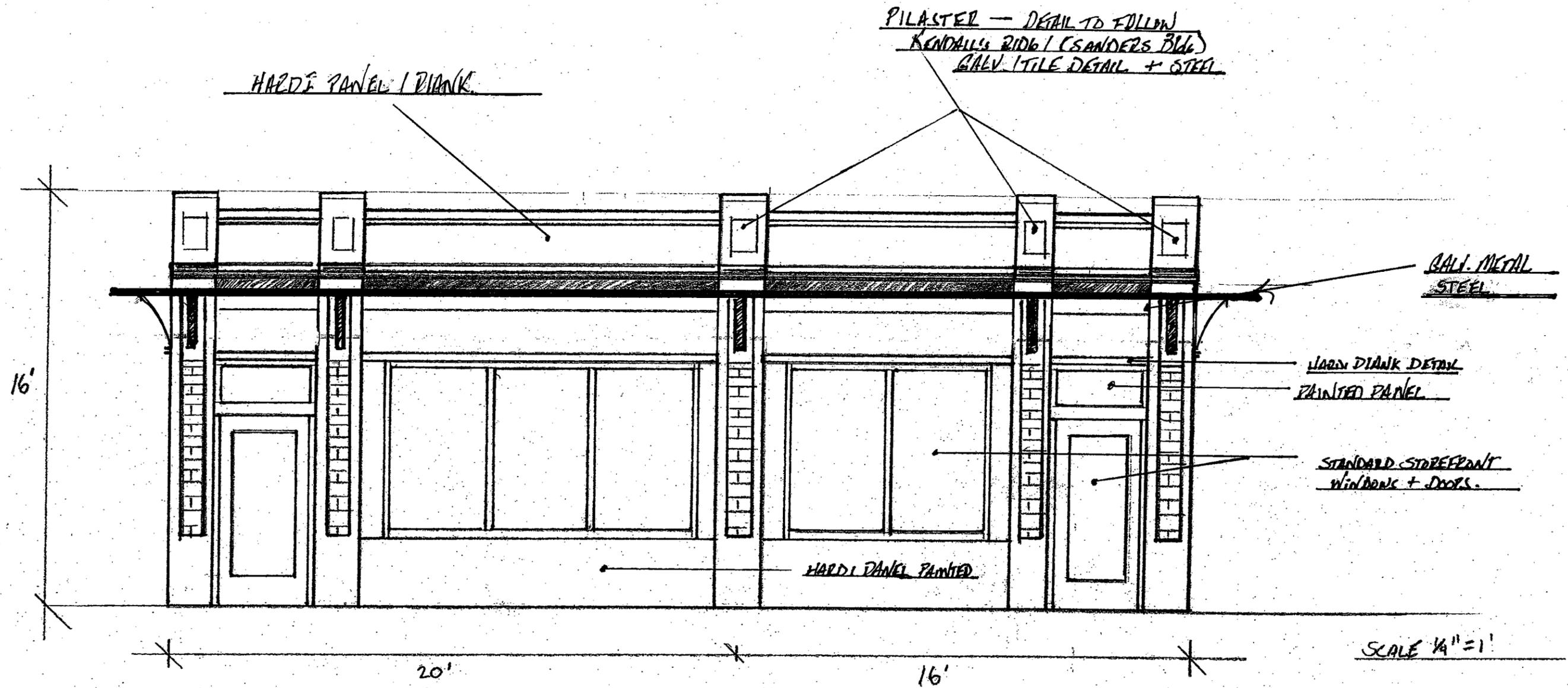
B



FACADE ELEVATION FATHERLAND STREET B(20') + B(20')

C

C

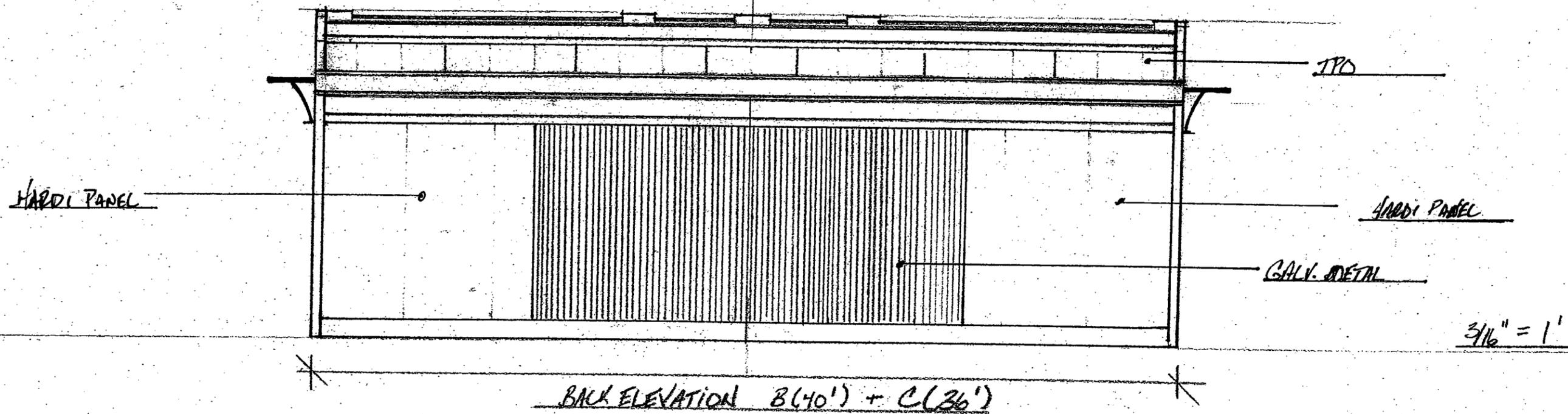
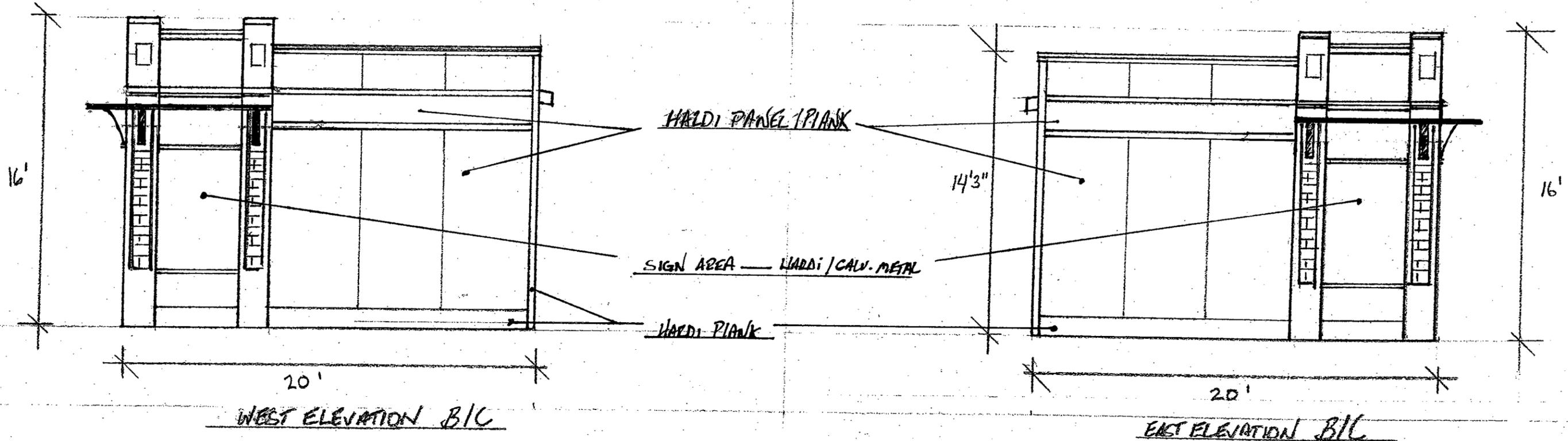


FACADE ELEVATION FATHERLAND STREET C(20') C(16')

SOUTH ELEVENTH STREET + FATHERLAND STREET

B+C

13



OFFICE/RETAIL

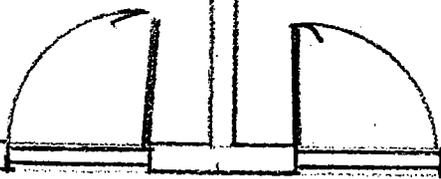
UNIT B

14

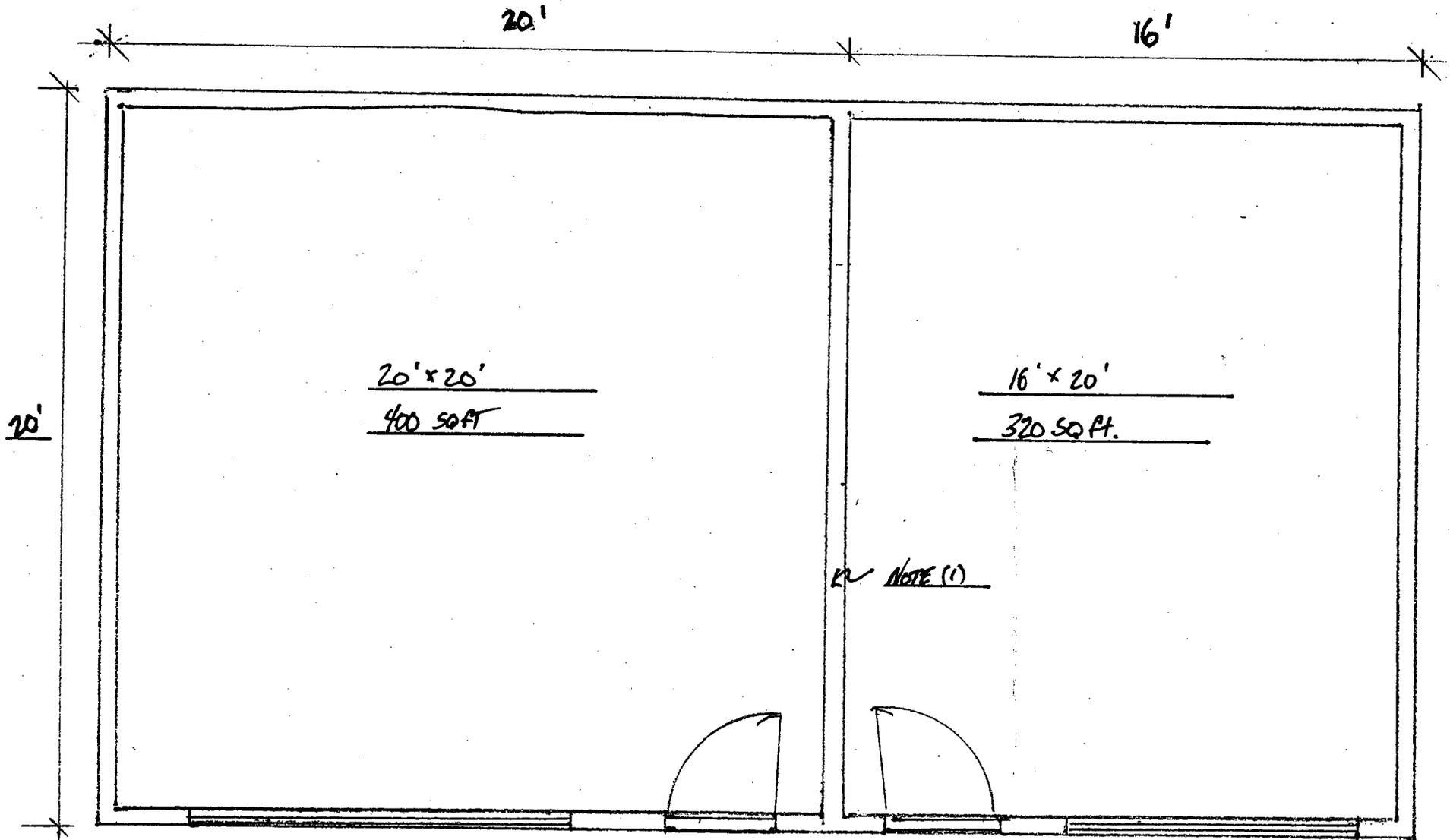
20' x 20'  
400 SQ FT

20' x 20'  
400 SQ FT

NOTE: (1)



NOTE:  
(1) 2 1/2" FIRE WALL

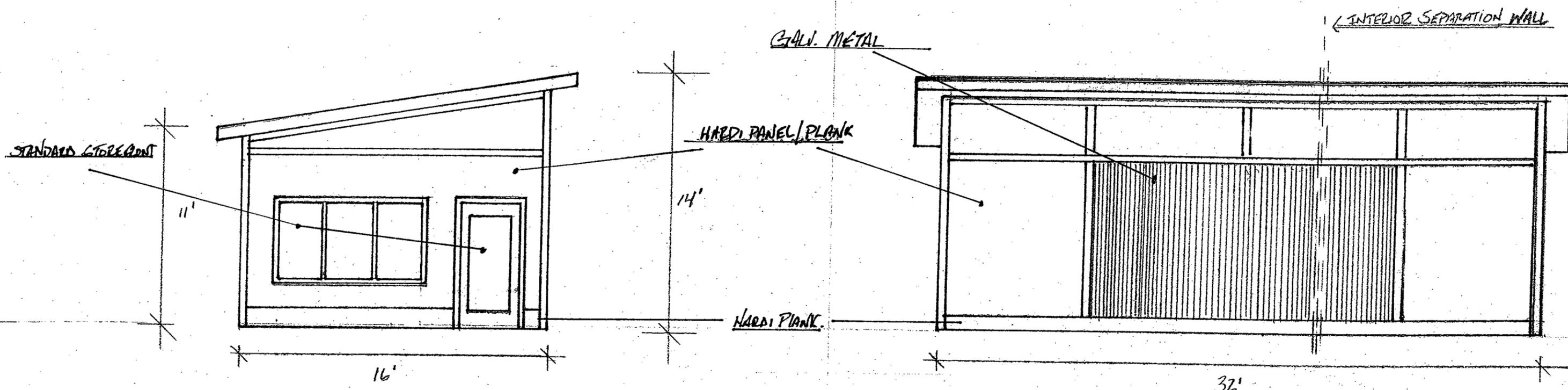


NOTE:  
1) 2 HOUR FIRE WALL

D/E

D/E

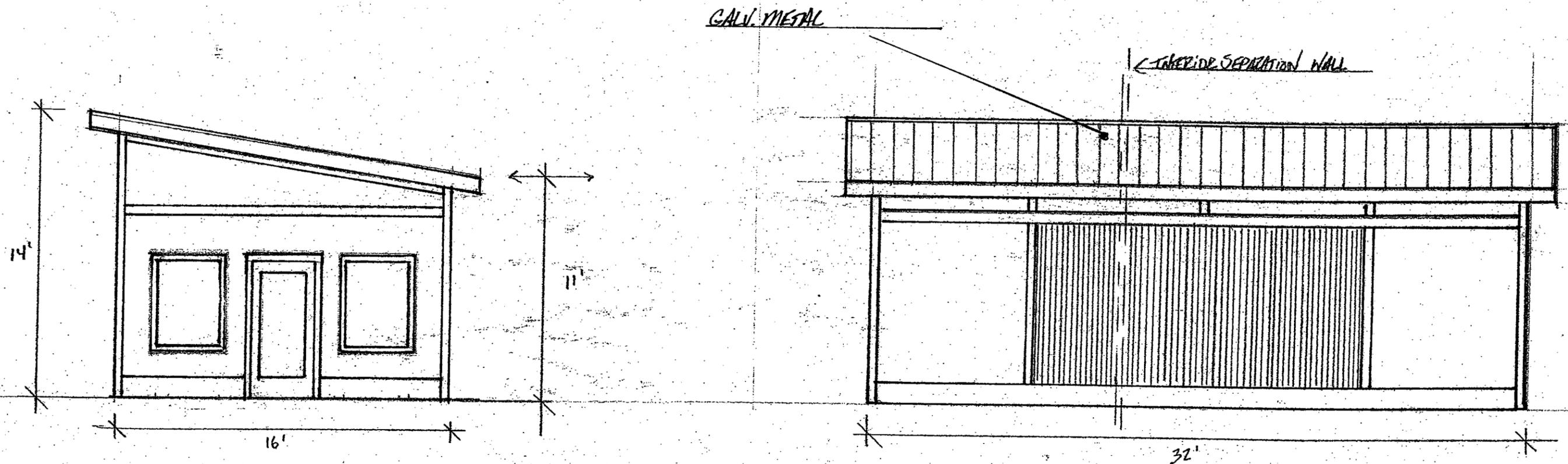
16



INTERIOR BUILDINGS D + E  
★ ★ DETAIL FAÇADE D (EAST) E (WEST MIRROR)

NORTH ELEVATION D (32') E (36')

3/16" = 1'

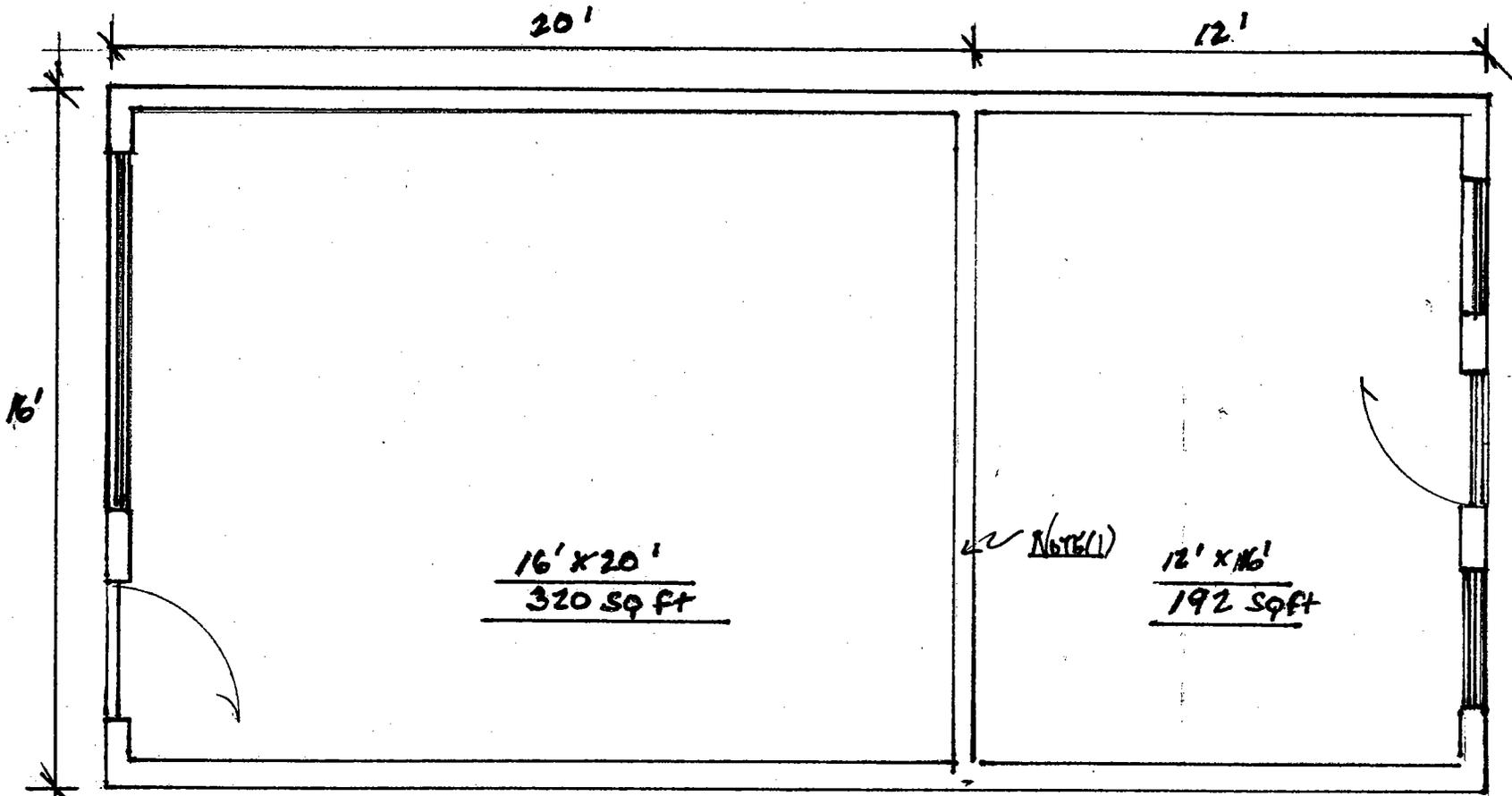


OFFICE/RETAIL QTY 3

UNIT



17



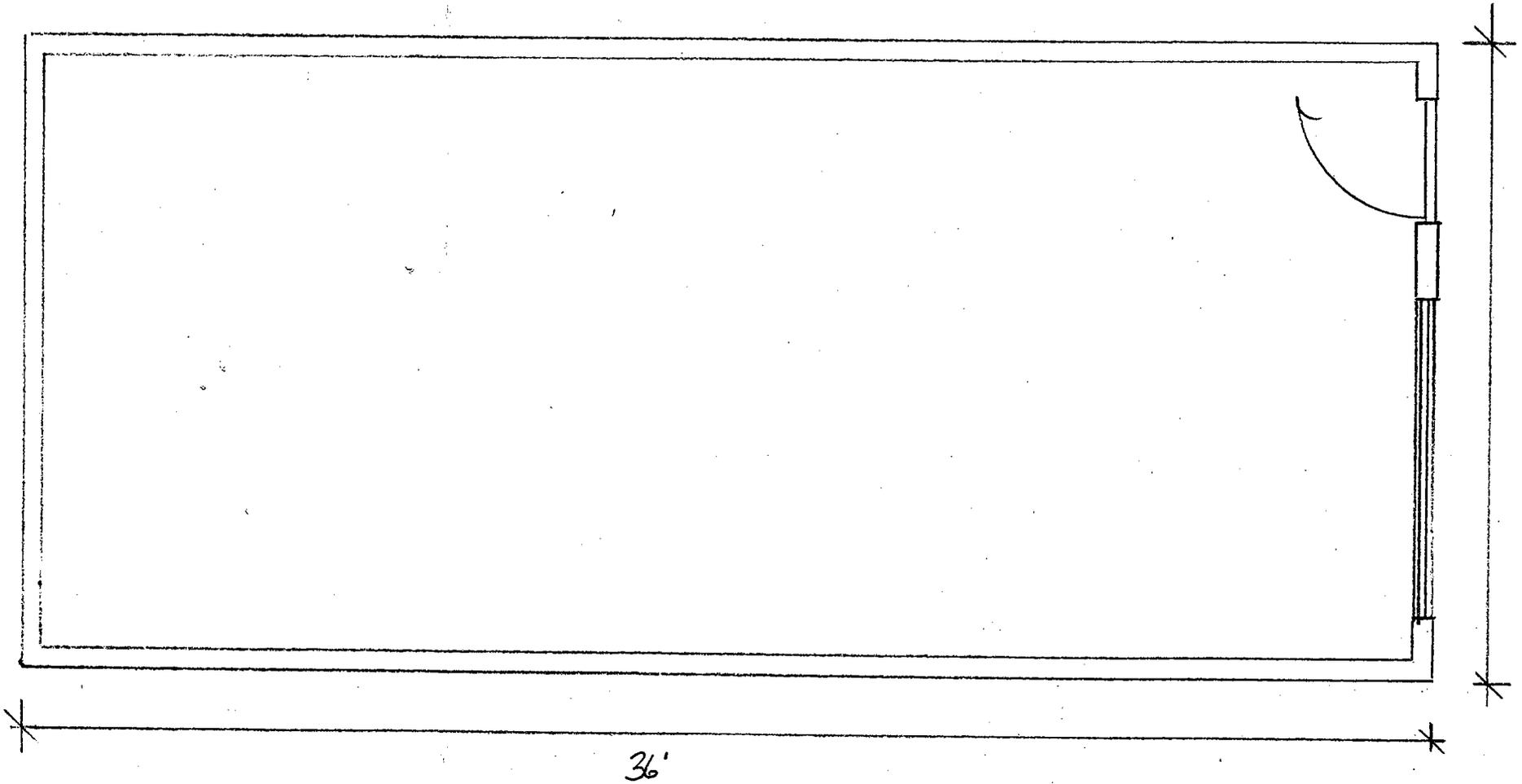
NOTE:

1) 2 1/2" FIRE WALL

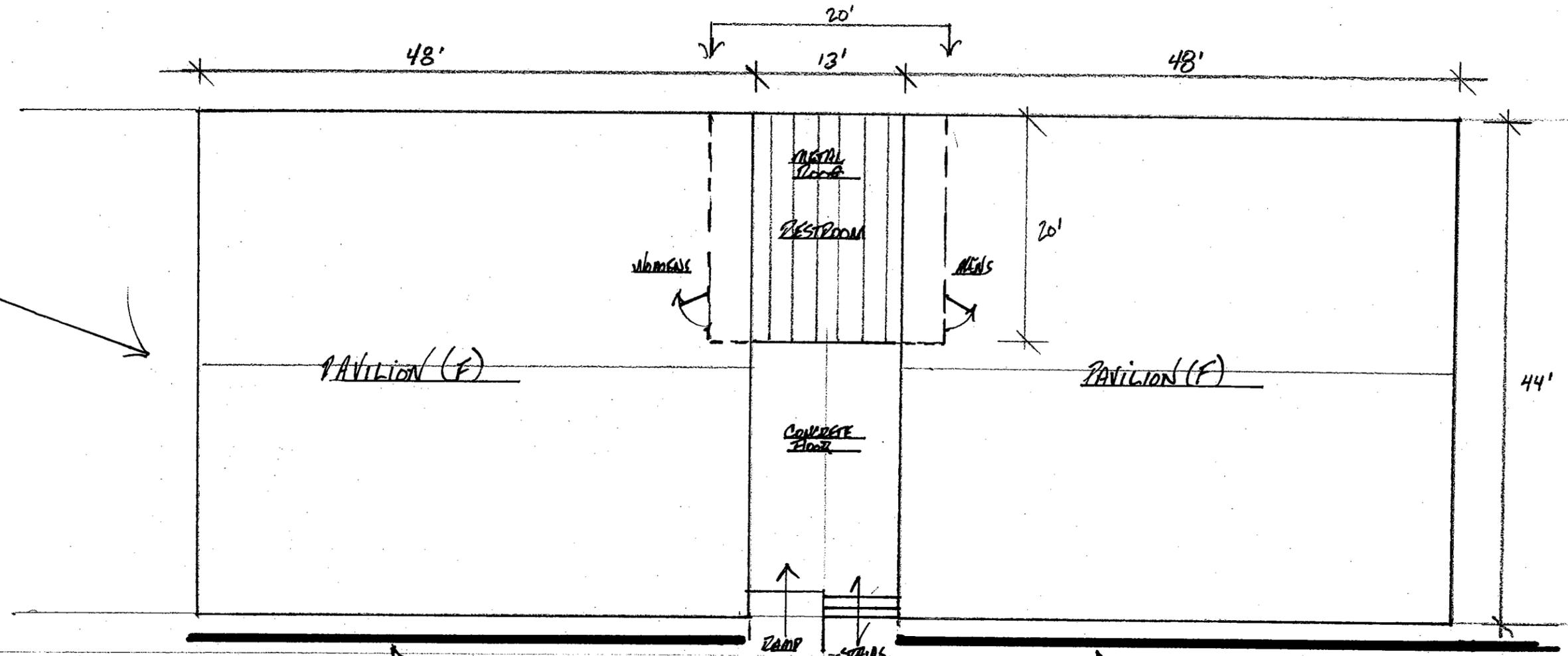
OFFICE/RETAIL

UNIT E

18



S. 11<sup>th</sup> STREET  
ENTRY



SIDENWALK

REDI ROCK  
RETAINING WALL

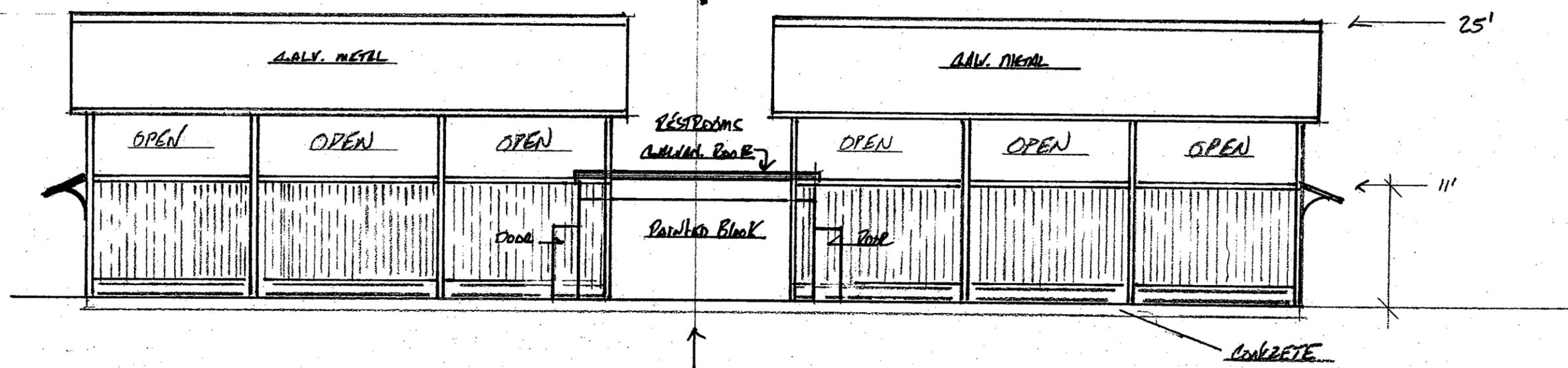
RAMP

STAIRS

TO FATHERLAND

SIDENWALK

REDI ROCK  
RETAINING WALL



25'

OPEN

OPEN

OPEN

RESTROOMS  
PAINTED BLOCK

OPEN

OPEN

OPEN

PAINTED BLOCK

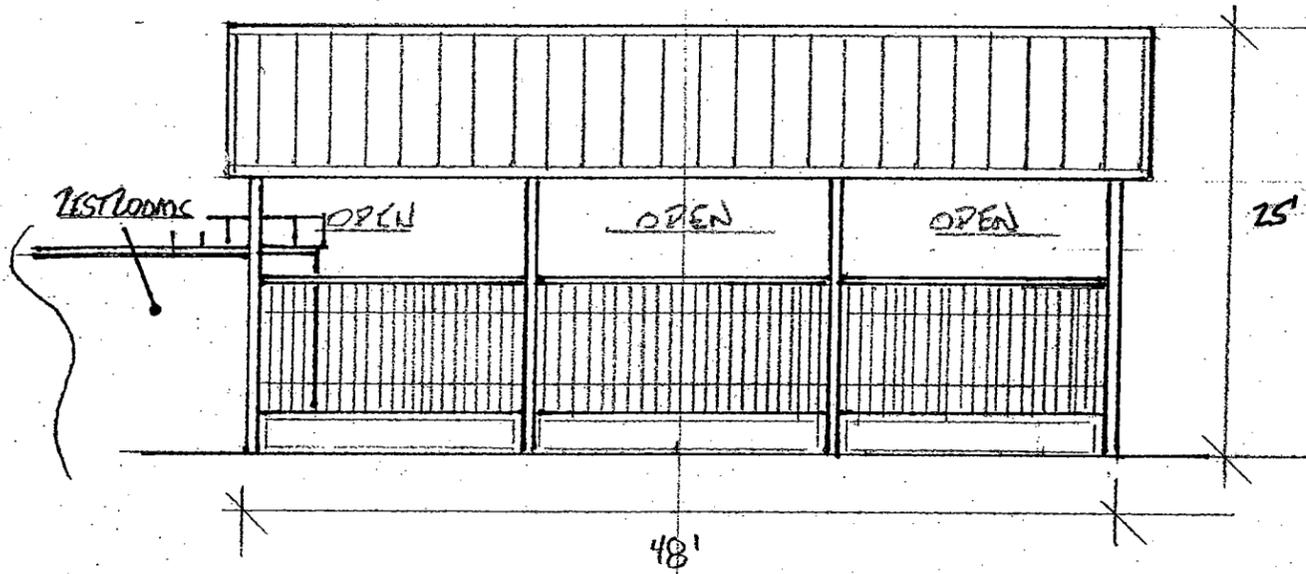
CONCRETE

11'

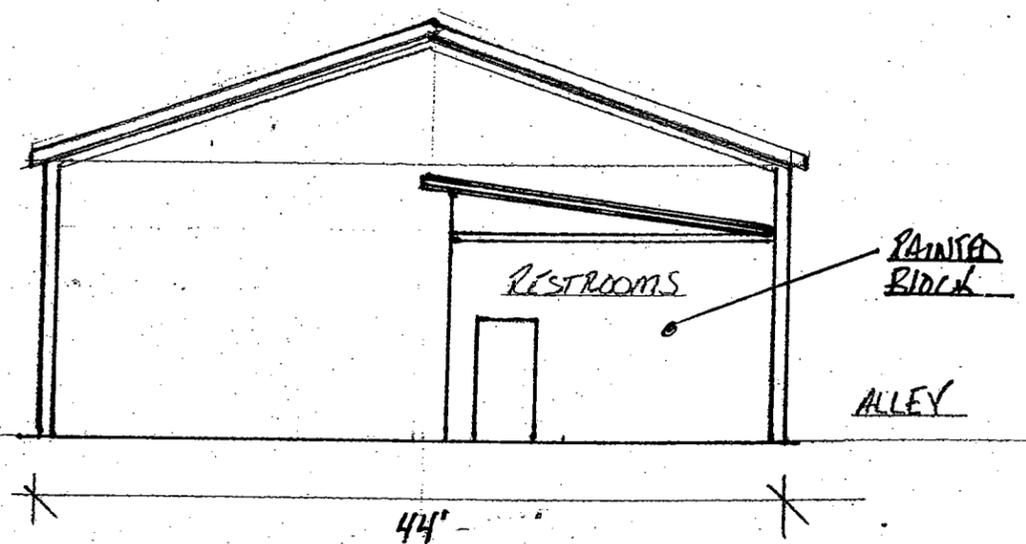
SOUTH 11<sup>th</sup> STREET + FATHERLAND STREET

FROM FATHERLAND

3/32" = 1"



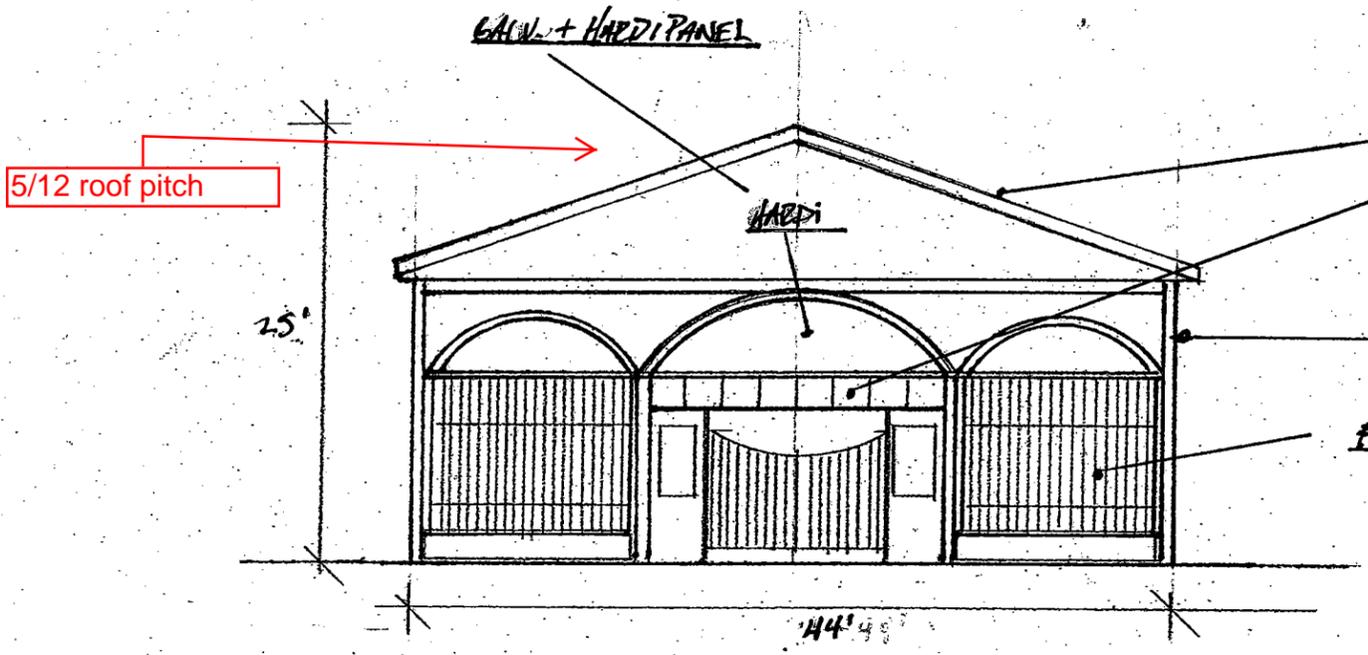
EAST PAVILION ALLEY ELEVATION



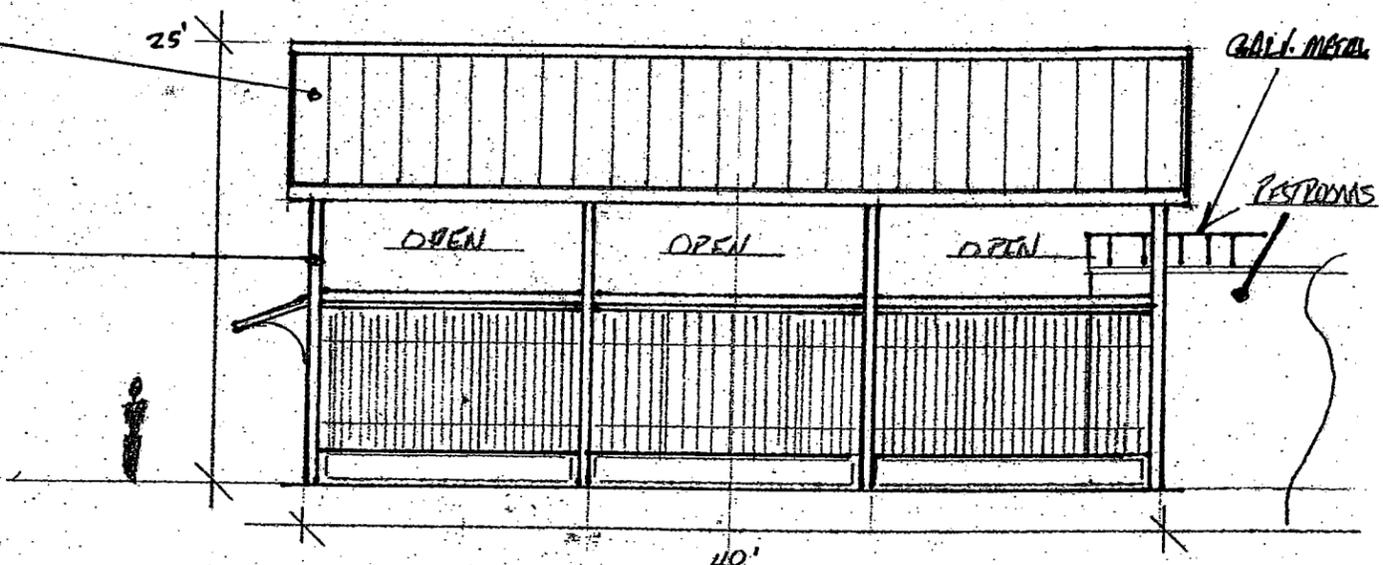
INTERIOR ELEVATION

★ NOTE:  
 WEST PAVILION - MIRROR IMAGE

3/32" = 1'

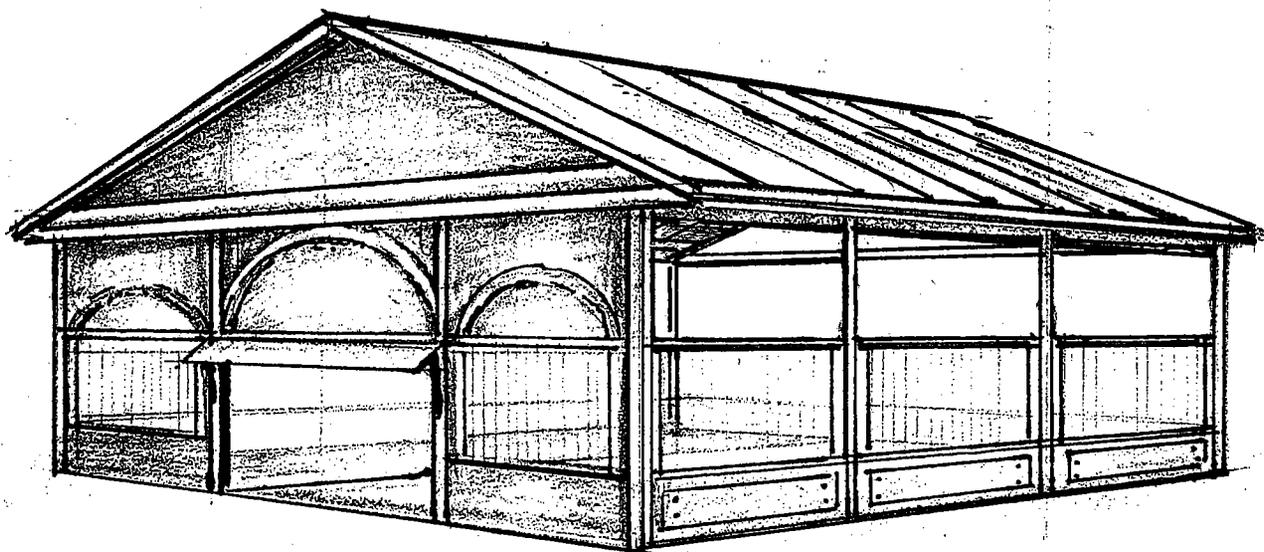


EAST PAVILION SOUTH ELEVENTH STREET ELEVATION



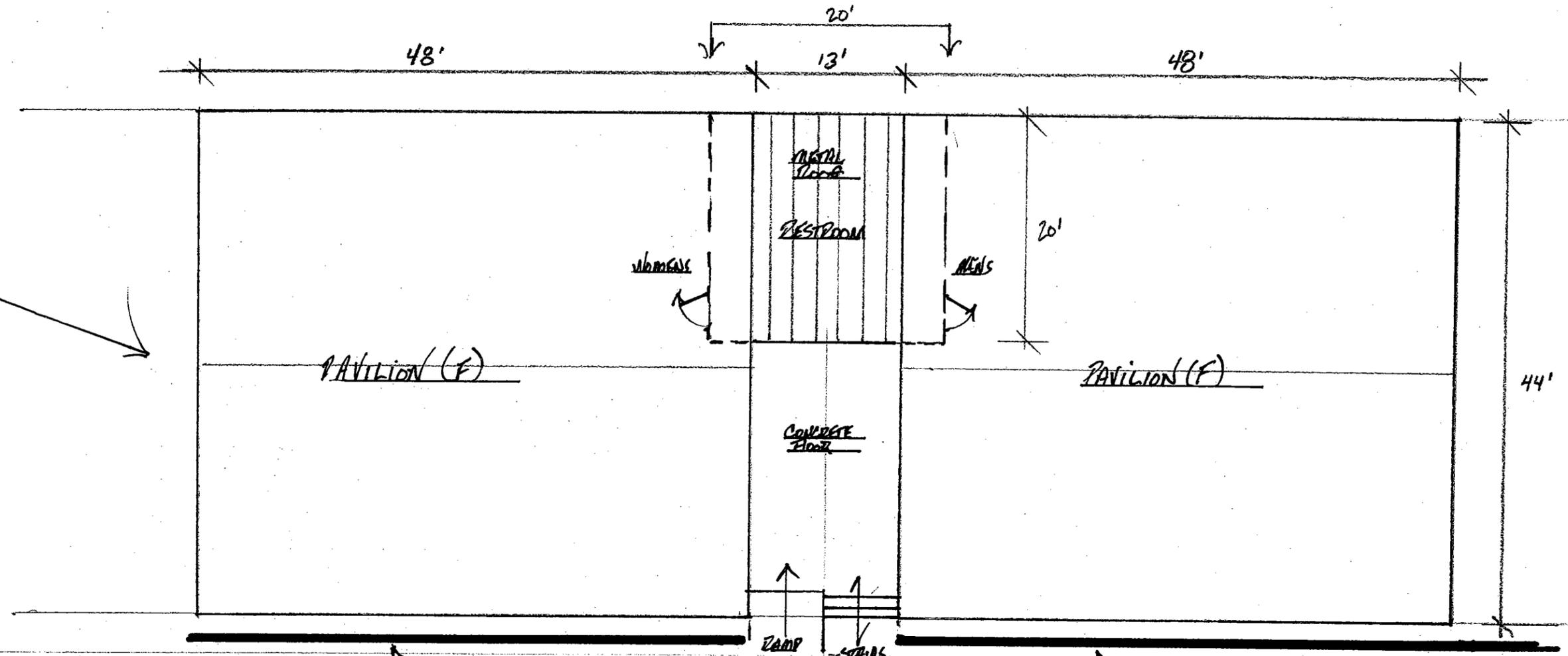
EAST PAVILION INTERIOR YARD ELEVATION

(21)



$\frac{3}{32}'' = 1'$

S. 11<sup>th</sup> STREET  
ENTRY



SIDEWALK

REDI ROCK  
RETAINING WALL

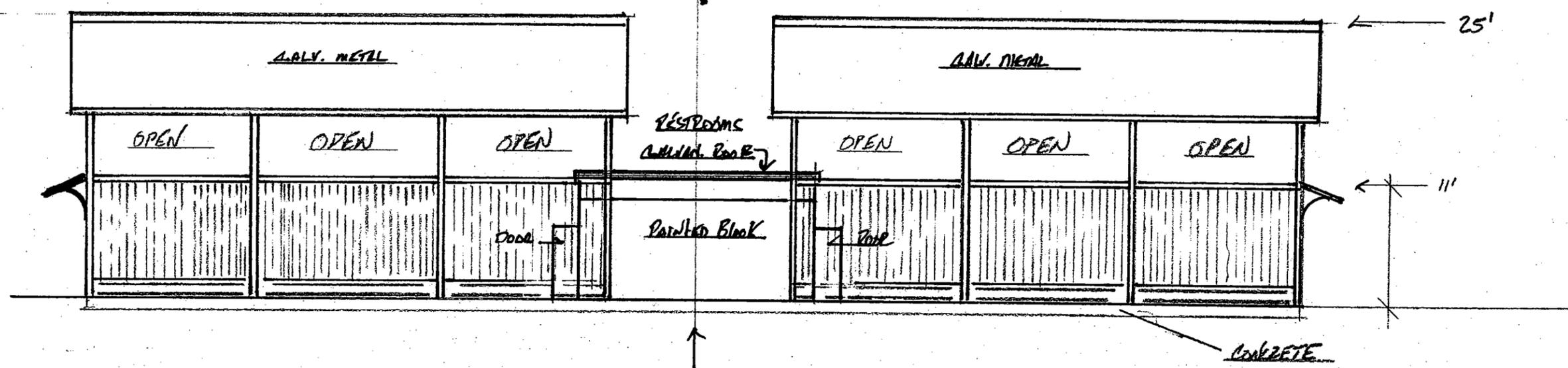
RAMP

STAIRS

TO FATHERLAND

SIDEWALK

REDI ROCK  
RETAINING WALL



25'

ALV. METAL

OPEN

OPEN

OPEN

RESTROOMS  
PAINTED BLOCK

OPEN

OPEN

OPEN

PAINTED BLOCK

DOOR

TOILET

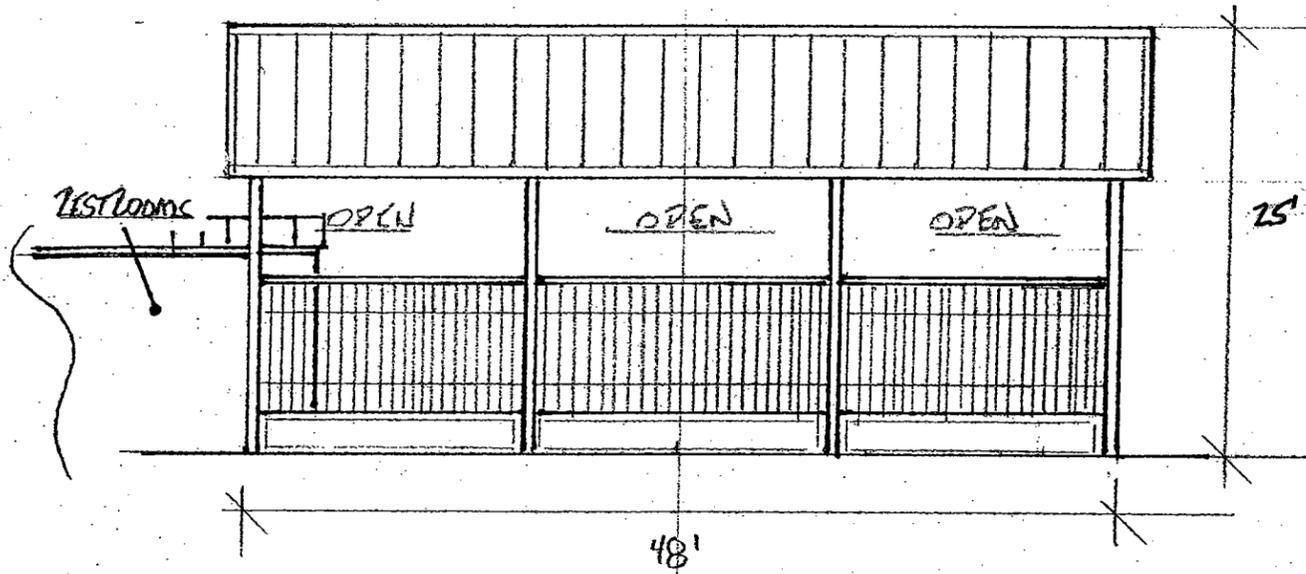
CONCRETE

11'

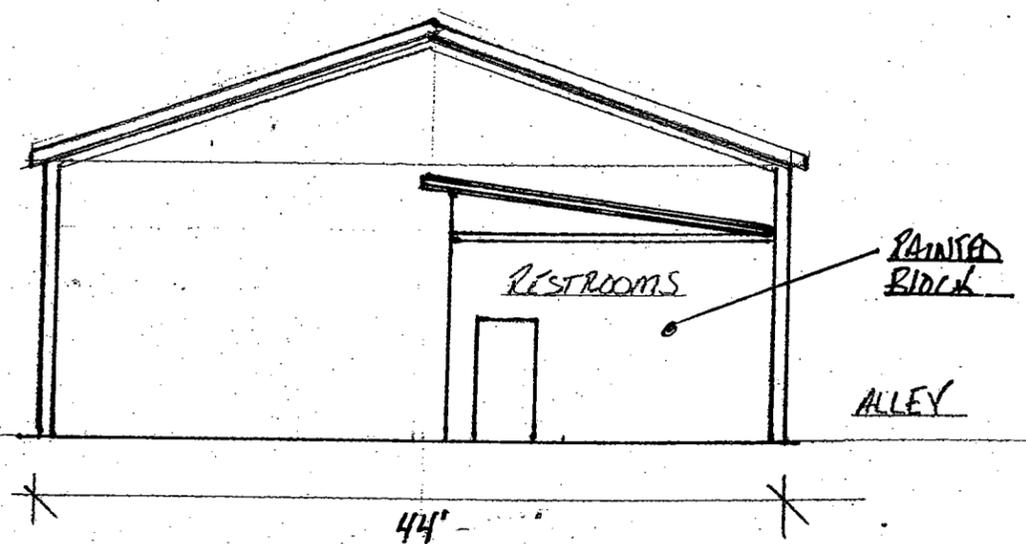
SOUTH 11<sup>th</sup> STREET + FATHERLAND STREET

FROM FATHERLAND

3/32" = 1'



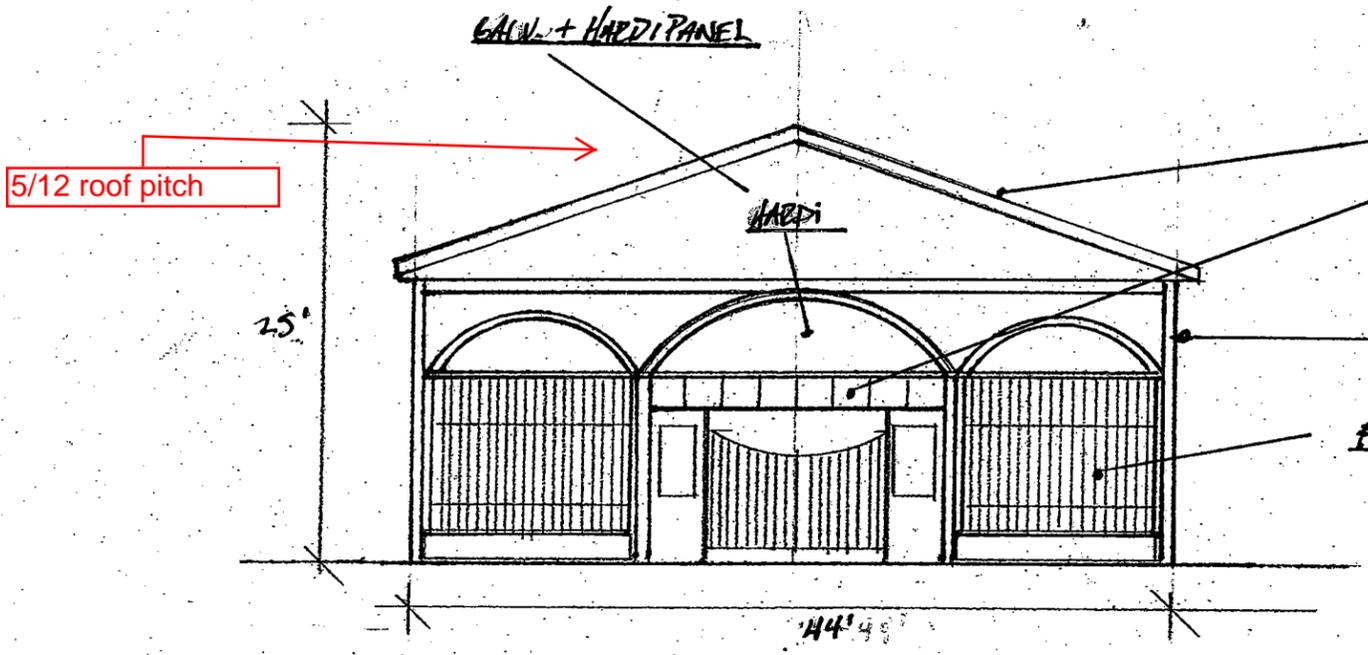
EAST PAVILION ALLEY ELEVATION



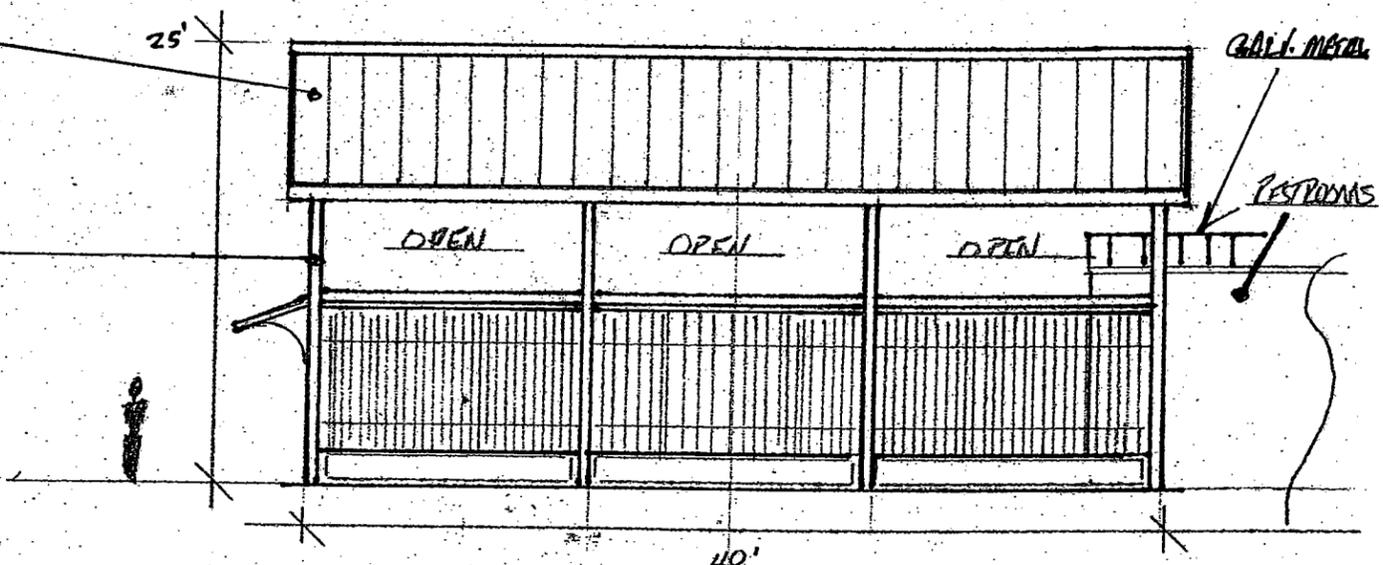
INTERIOR ELEVATION

★ NOTE:  
WEST PAVILION - MIRROR IMAGE

3/32" = 1'

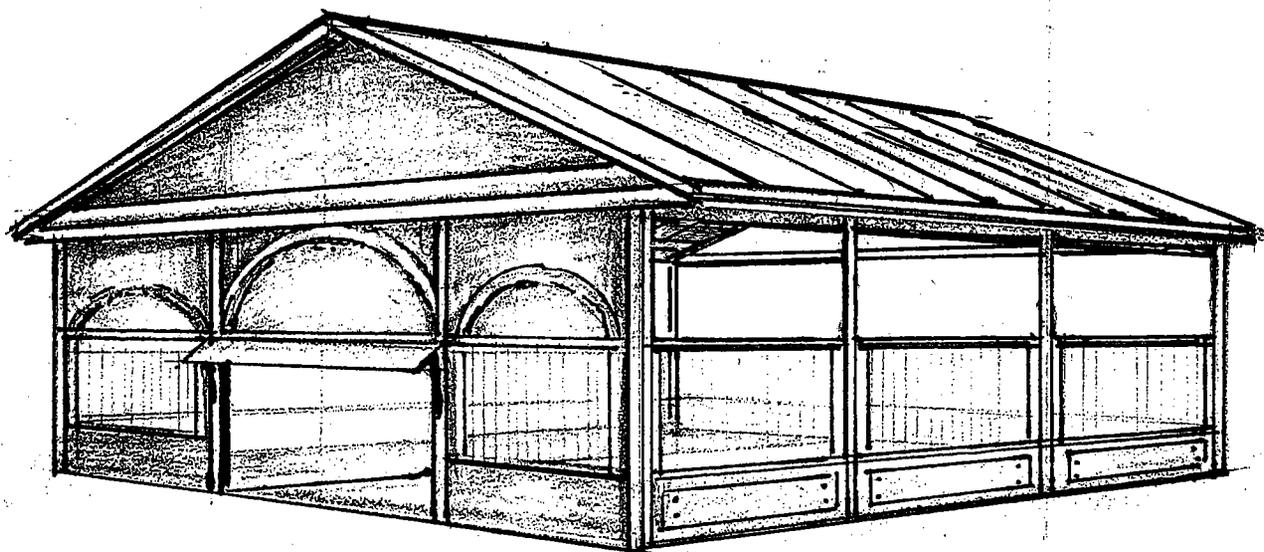


EAST PAVILION SOUTH ELEVENTH STREET ELEVATION



EAST PAVILION INTERIOR YARD ELEVATION

(21)



$\frac{3}{32}'' = 1'$