



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

2216 White Avenue

February 15, 2012

Application: New Construction - Addition

District: Woodland in Waverly Historic Preservation Zoning Overlay

Council District: 17

Map and Parcel Number: 10514013600

Applicant: John Root, Architect

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant is proposing to enlarge the upperstory of a contributing Queen Anne cottage with two rear dormers. One will be a side-facing shed-roofed dormer, behind an existing side gable projection. The other will be a rear-facing gable, minimally set in from the side of the existing hipped roof. The materials of both dormers will be: smooth faced cement-fiber clapboard siding, asphalt shingle roof, wood trim, and wood windows.

Recommendation Summary: Staff recommends approval with the condition that the rear facing gable set in from the existing ridgeline by a minimum of one foot (1'). With this condition, Staff finds that the additions meet the design guidelines for the Woodland-in-Waverly Historic Preservation Zoning Overlay.

Attachments

A: Photographs

B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Background: 2216 White Avenue is a clapboard-sided Queen Anne cottage, constructed circa 1904. It is listed in the Woodland in Waverly Historic District as a contributing structure.

The form of the historic house is a square central mass with a tall hipped roof, with shorter gabled projections to the front, left, and rear.

Applicable Design Guidelines:

II.B.1 Roof Form and Roofing Materials

- a. Original roof pitch and configuration should be maintained.
- b. The original size and shape of dormers should be maintained. Dormers generally should not be introduced where none existed originally.
- c. Original roof materials and color should be maintained. If replacement is necessary, original materials should be used. Asphalt/fiberglass shingles may be substituted for original roofing when it is not economically feasible to repair or replace with original materials or when the original roof is beyond repair. The color and texture of asphalt/fiberglass shingles should be appropriate to the architectural style and period of the house. Generally, wood shakes are not appropriate.

Original roofing materials may include, but are not limited to, slate, metal, and, on twentieth century buildings, asphalt shingles.

Roof elements may include, but are not limited to, eaves, cornice, rafters, cresting, gutter systems, brackets, finials, pendants, vents, and chimneys.

New roof dormers are considered additions because they increase the habitable space of a building. Please see the additions section for further information.

III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.
- b. The creation of an addition through enclosure of a front porch is not appropriate.
- c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.
- d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.
- e. Additions should follow the guidelines for new construction.

III.B.2 New Construction

- a . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- b . Scale: The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- c . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
- d . Materials, Texture, and Details and Material Color: The materials, texture, and details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl, aluminum, and T-1-11 panel siding are not appropriate.
- e . Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- f . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- g . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Analysis and Findings:

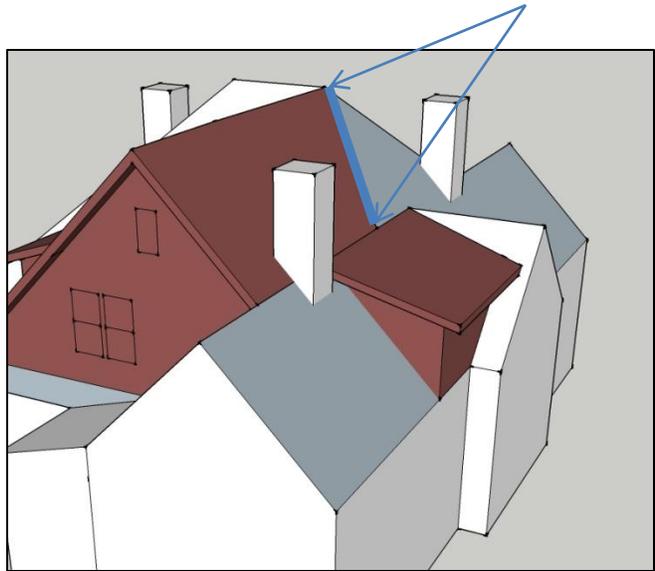
The applicant is proposing to construct a rear addition to the upperstory of the structure. The footprint of the structure will not be changed. The addition will be composed of two dormers: a side-facing shed dormer behind the left gable projection, and a rear-facing gable behind the main hipped roof.

Materials

The materials of both elements will be: smooth faced cement-fiber clapboard siding, asphalt shingle roof, wood trim, and wood windows. These materials are compatible with the historic house and meet guideline III.B.2d (Materials).

The side-facing shed dormer will be stacked directly above the first-story wall below, which itself is set in two feet, six inches (2'-6") from the outside wall of the left gabled projection. Although wall dormers are typically not appropriate for additions to primary structures, the new dormer will be only minimally visible from the right-of-way (if at all), and does not impair the integrity of the original structure. Staff finds this dormer to meet guidelines II.B.1.a, III.B.1.a, and III.B.1.d

The rear-facing gable dormer will be on the rear slope of the original hipped roof. According to the design guidelines, additions should not disturb side façade and should be constructed in a manner that allows for the preservation of the original form of the structure, if the addition should ever be removed. For these reasons, the Commission has required that additions be inset from the side walls and that they not interfere with the existing ridges of a roofline, allowing the original form to remain evident. In this case, at the top of the gable, the amount that the new roof would set in from the original roof would be one foot, diminishing to zero as it approaches the bottom. Staff finds that this minimal offset would impair the integrity of the original structure and inappropriately disturb the original roof configuration, which does not meet guidelines II.B.1.a, III.B.1.a, and III.B.1.d. Staff recommends that the dormer be set in from the existing hip-ridge by a minimum of one foot (1').



Recommendation:

Staff recommends approval with the condition that the rear facing gable set in from the existing hip-ridge by a minimum of one foot (1'). With this condition, Staff finds that the additions meet the design guidelines for the Woodland-in-Waverly Historic Preservation Zoning Overlay.



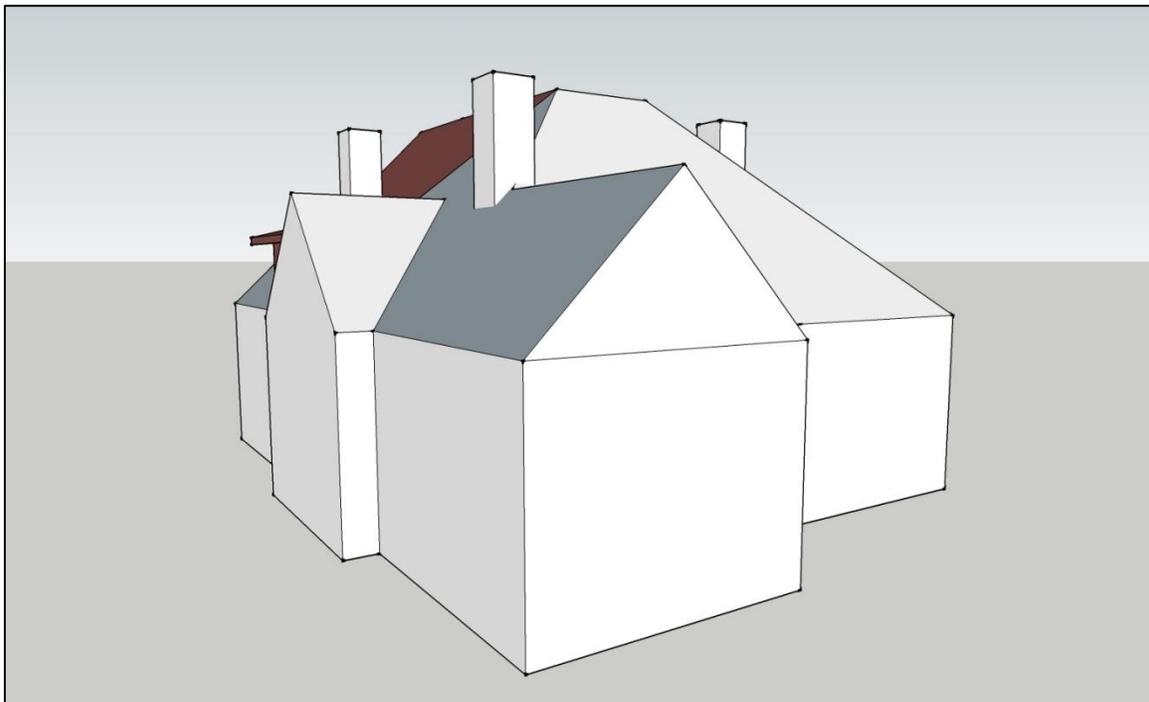
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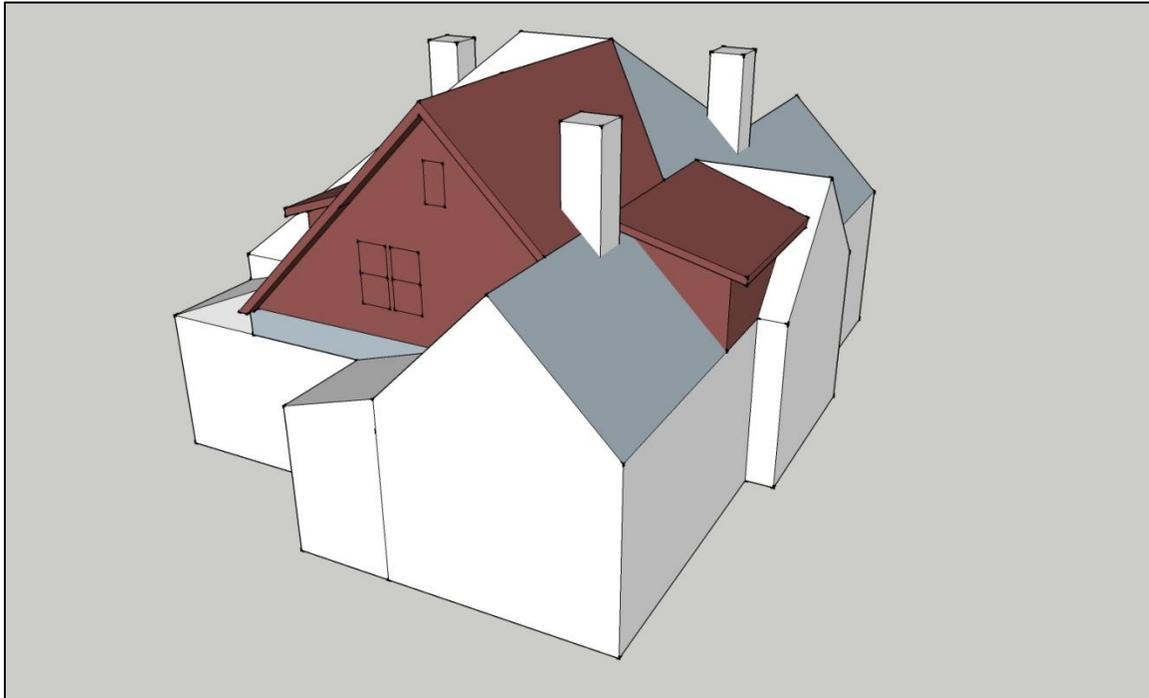
Location of proposed gabled dormer.



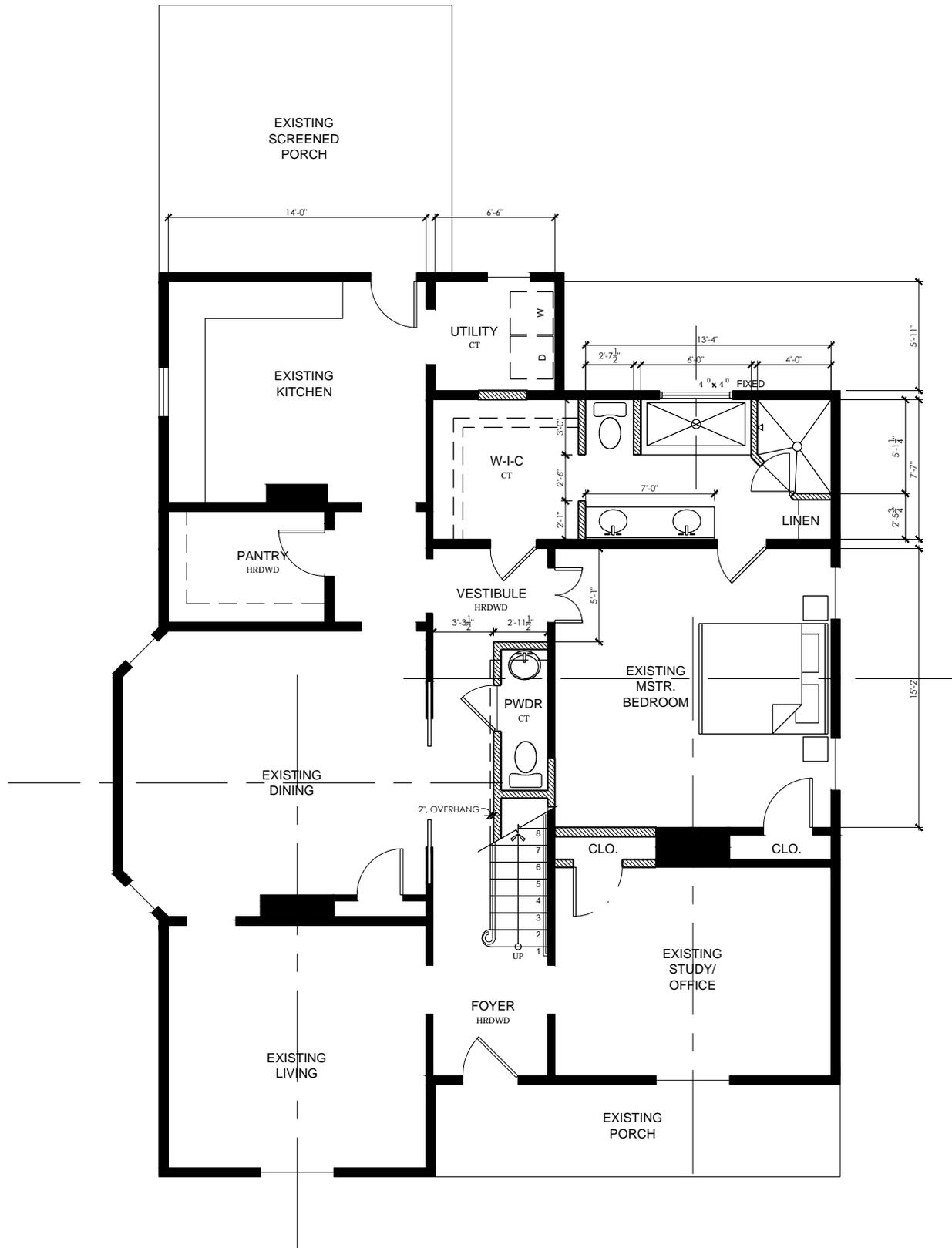
2216 White Avenue.



Rendering from front, provided by applicant. Additions shaded in red.



Rendering from rear, provided by applicant. Additions shaded in red.



A1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLANS

#1277
 RENOVATIONS TO:
2216 White Avenue
 NASHVILLE, TN 37204

REV: DATE: DESC:
 0 02.1.12 FOR HISTORIC APPROVAL

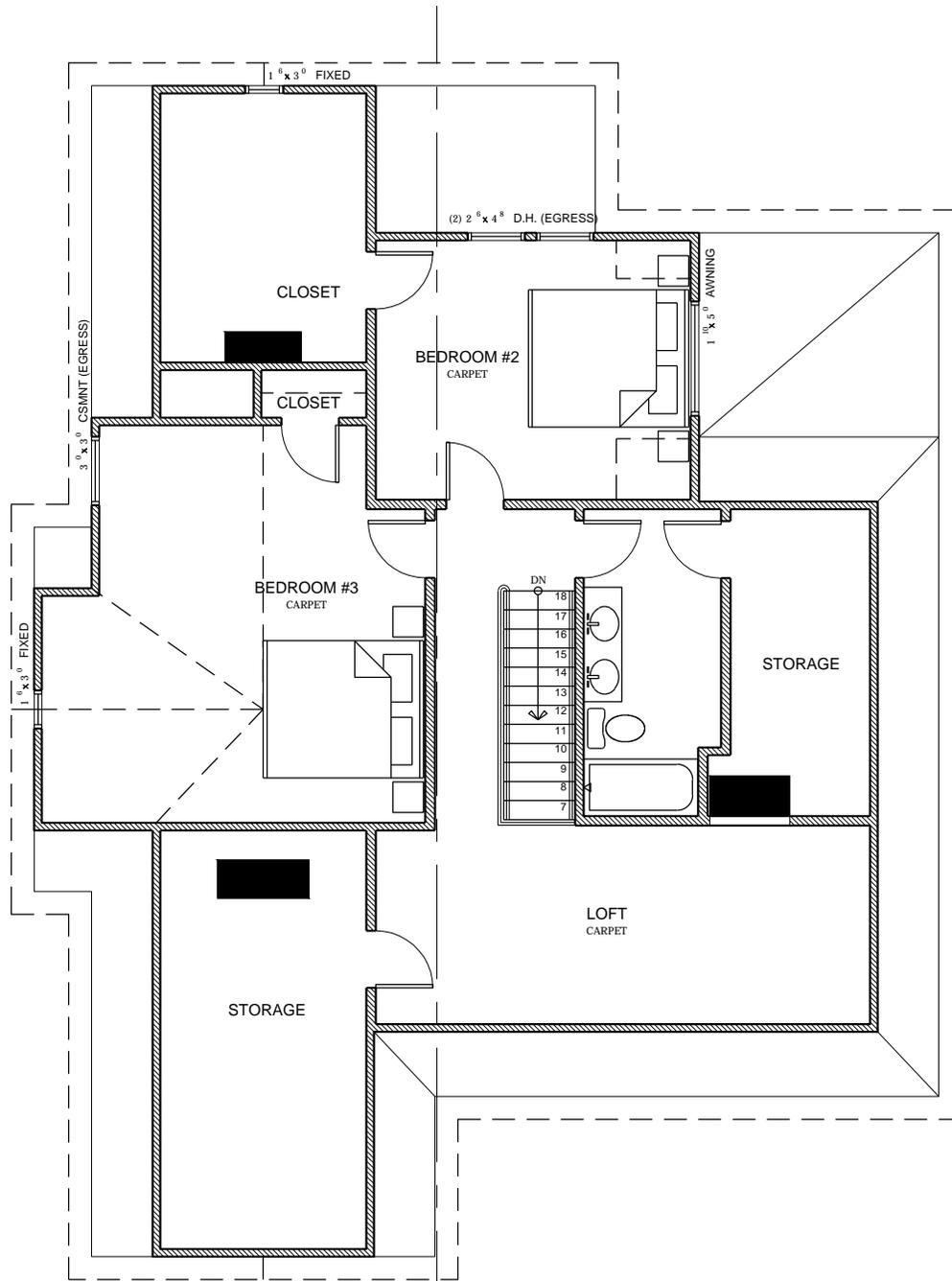
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A2.1



A1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLANS

#1277
 RENOVATIONS TO:
2216 White Avenue
 NASHVILLE, TN 37204

A2.2

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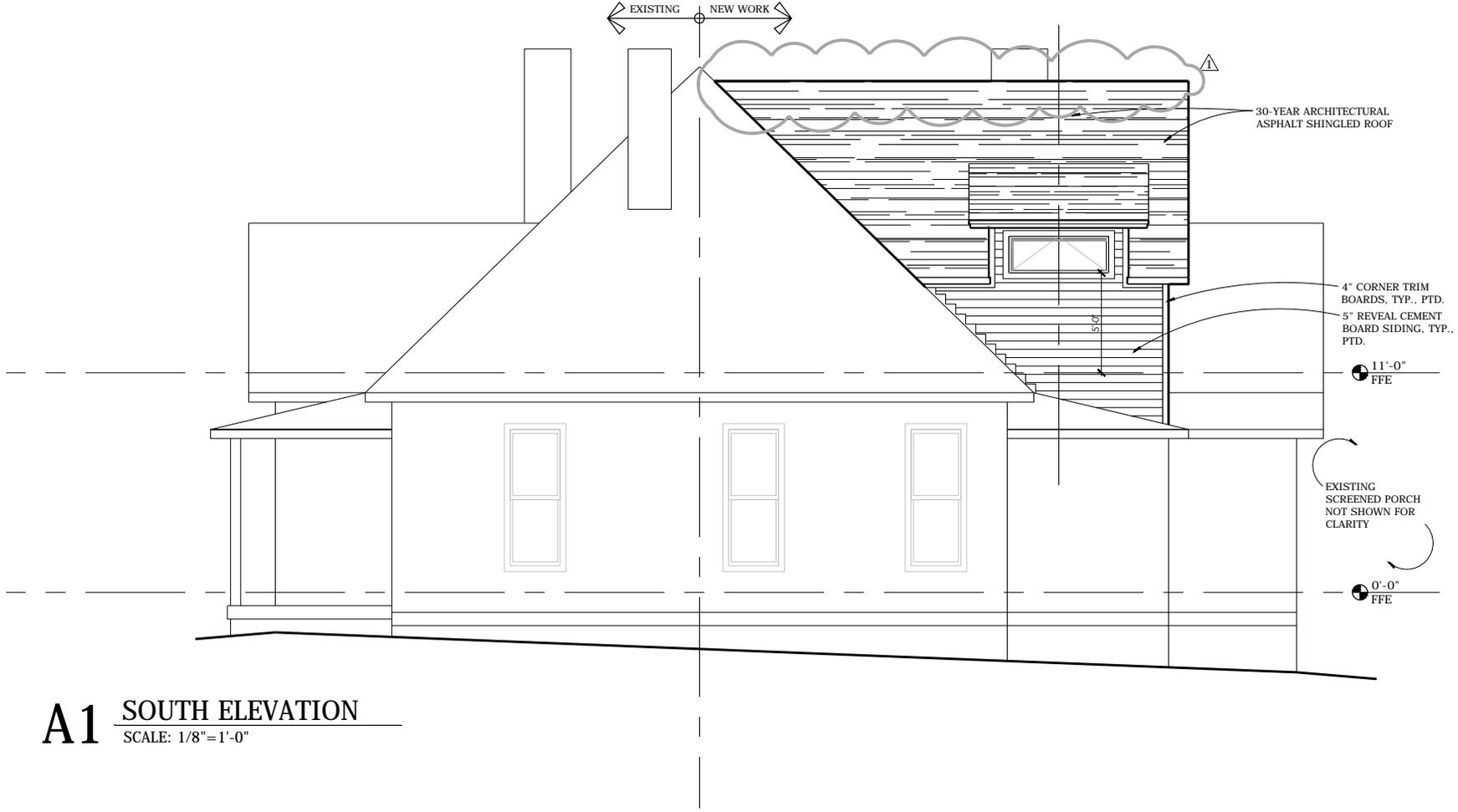
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A1 SOUTH ELEVATION

SCALE: 1/8"=1'-0"



EXTERIOR ELEVATIONS

#1277

RENOVATIONS TO:

2216 White Avenue
NASHVILLE, TN 37204

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0

02.1.12

FOR HISTORIC APPROVAL

02.2.12

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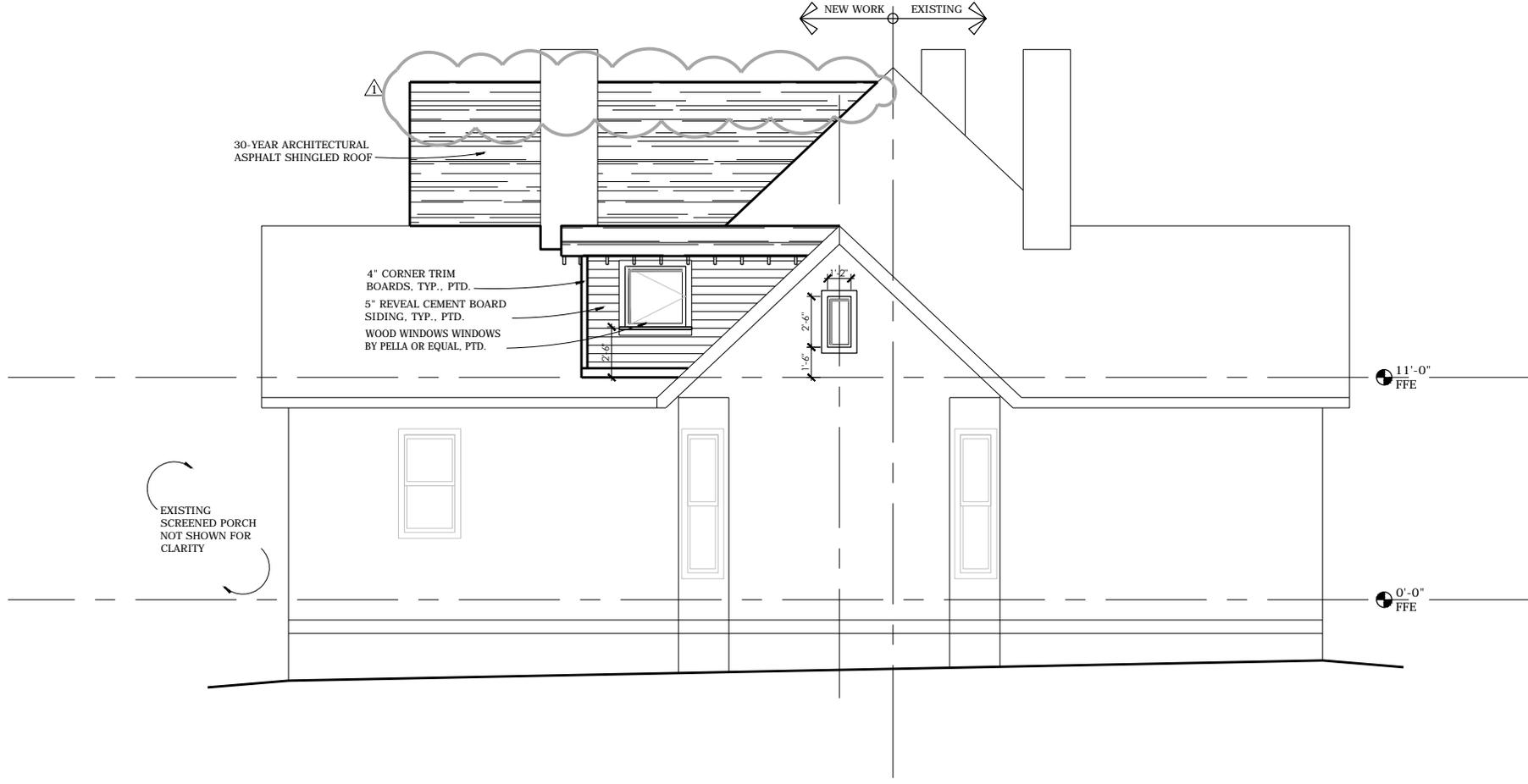
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A4.3

A1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS

RENOVATIONS TO:
2216 White Avenue
 NASHVILLE, TN 37204

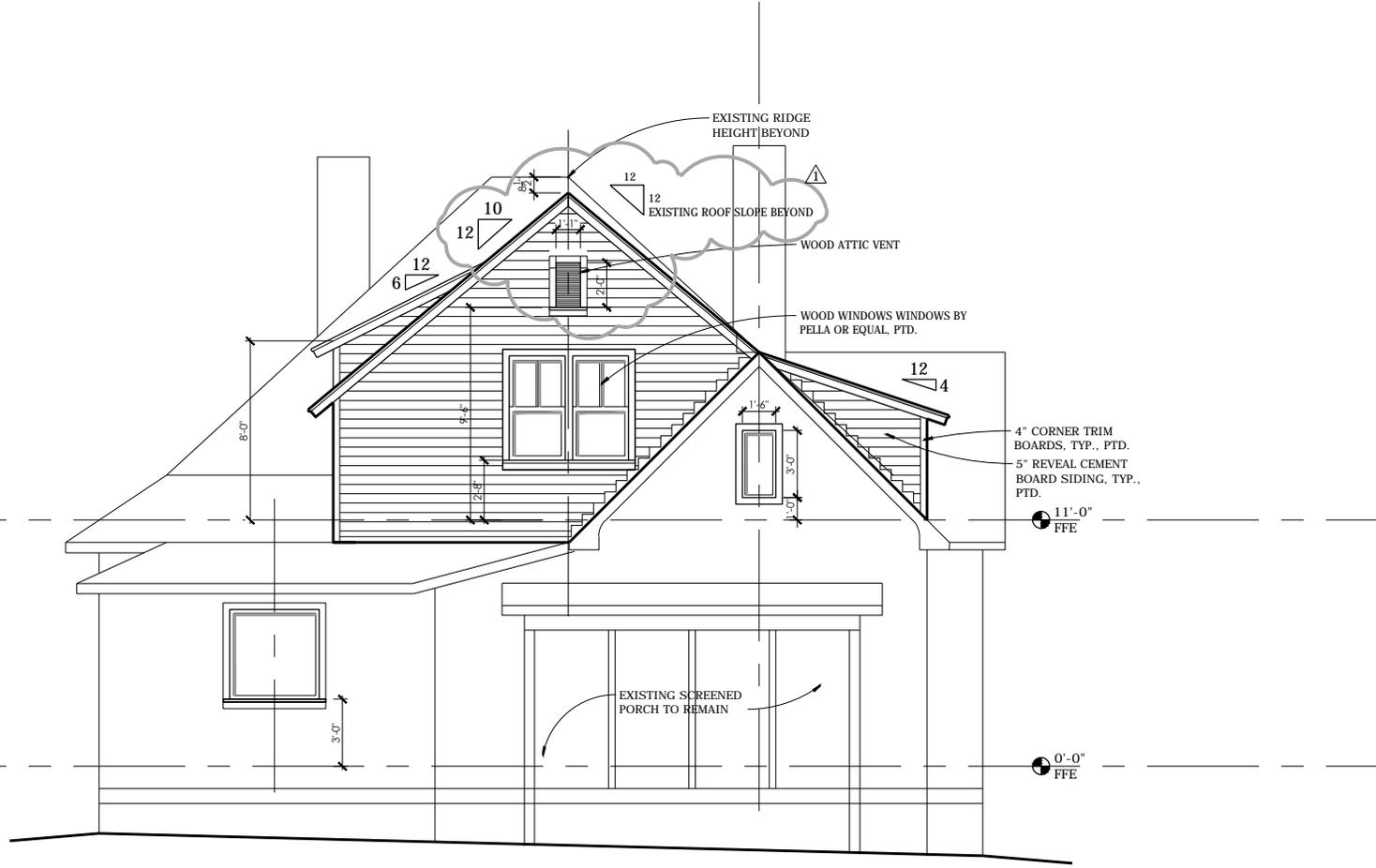
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1	02.2.12	FOR HISTORIC APPROVAL

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A1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS

#1277

RENOVATIONS TO:

2216 White Avenue
NASHVILLE, TN 37204

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