



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 809 Russell Street February 15, 2012

Application: New Construction—Addition and accessory structure; Reduction of rear setback.

District: Edgefield Historic Preservation Zoning Overlay

Council District: 06

Map and Parcel Number: 08216009900

Applicant: Van Pond, Architect

Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: The applicant is proposing to construct a rear addition, construct an accessory structure, and reduce the rear setback in the Edgefield Historic Preservation District. The project also involves restoring the front retaining wall configuration and installing new landscape features.

Recommendation Summary: Staff recommends approval of the application, with several conditions:

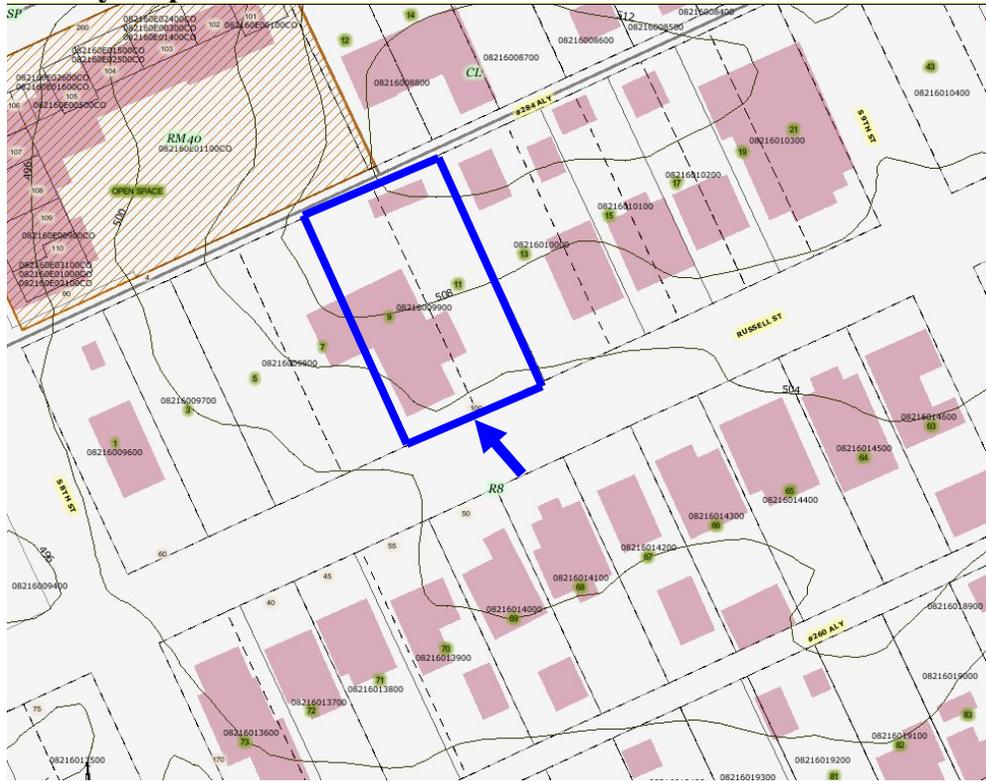
1. Staff review and approve a brick sample, a limestone sample, wood and door specifications, and the color of the asphalt shingle prior to purchase and installation of these materials;
2. The applicant work with staff on the foundation material for the addition;
3. Staff review and approve the material and design for all landscape features, including, but not limited to, the curb, curb fence, terrace, parking court, and pathways.

With the incorporation of these recommendations, Staff finds the proposed new addition and garage to be compatible with surrounding historic neighborhood and to meet *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

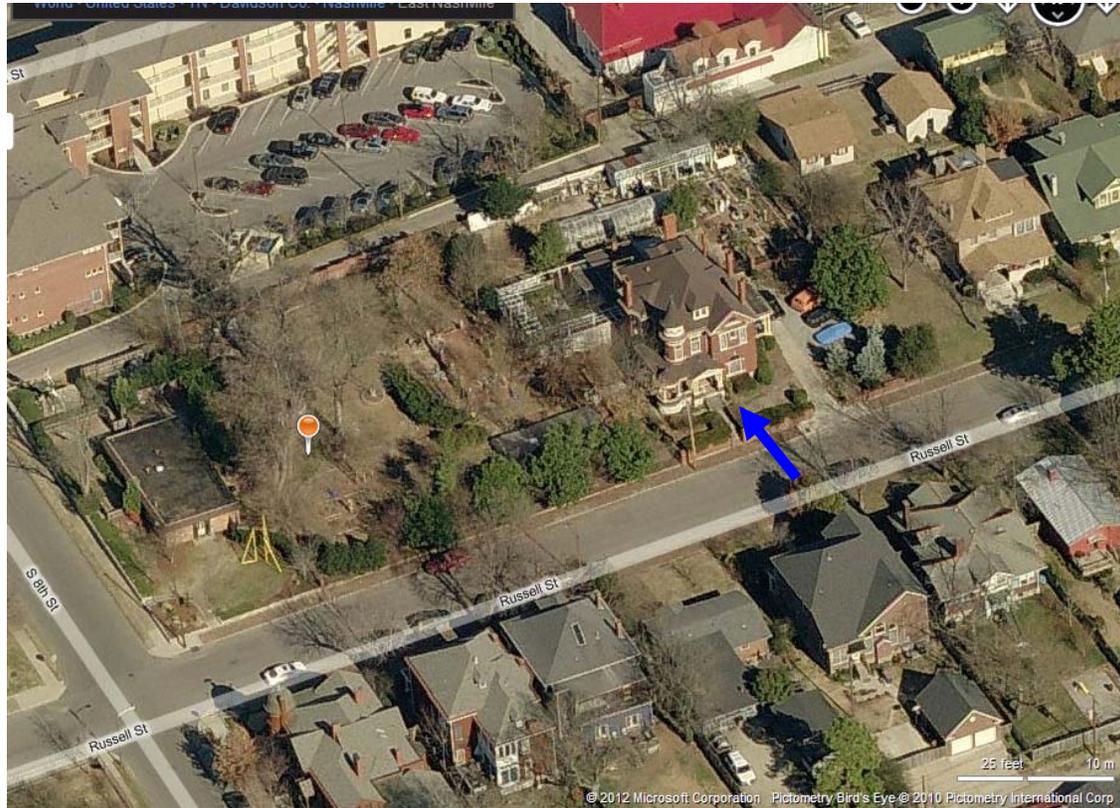
Attachments

- A:** Photographs
- B:** Site Plan
- C:** Elevations & plans

Vicinity Map:



Aerial Photo:



Background: 809 Russell Street is listed as a historically contributing structure in the National Register Nomination for the Edgefield Historic Preservation District and was constructed in the late 19th Century. The home is of the Queen Anne style and is one of the larger and grander solid-masonry homes remaining in the neighborhood. In 2010, the Commission voted to approve a permit to demolish non-contributing additions, landscape features, and an outbuilding. In 2011, MHZC staff issued permits to re-roof and repoint the structure.

Applicable Design Guidelines:

III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.
- b. An addition should connect to the associated building in such a way that the original form of the building is visually evident.
- c. An addition should be compatible, by not contrasting greatly, with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.
- d. The creation of an addition through enclosure of a front porch is not appropriate.
- e. The enclosure of side porches may be appropriate if the visual openness and character of the porch is maintained.
- f. Dormers generally should not be introduced where none existed originally.
- g. New additions should follow the guidelines for new construction.

III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. d . Roof Form: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof form, orientation, and pitch of surrounding historic buildings.
- a. Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.
Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals.

The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims,

hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.

h. Outbuildings:

- 1) A new outbuilding should reflect the character of outbuildings contemporary with the associated house. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof form and architectural features of the associated house. Generally, either approach is appropriate for new outbuildings. Stone, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim).

Generally, the minimum roof pitch appropriate for outbuildings is 12:4; a steeper pitch is usually better. Raised panels on publicly visible garage doors are not appropriate.

Publicly visible pedestrian doors should either relate to the style of the associated house or be flush. Publicly visible windows should relate to the style of the associated house.

- 2) Outbuildings should be situated on the lot as is historically typical for the neighborhood.

Although historic outbuildings are usually located as near to a rear corner of a parcel as possible, the current building code requires deeper setbacks from the side and rear property lines. Variances to the codes standard can be requested from the Board of Zoning Appeals with the support of the MHZC.

IV.B.1 Fences

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards and can be up to 6' in height.
A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.
- d. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is publicly visible, it should be camouflaged with plantings, or painted black or dark green.
- e. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

IV.B.2 Permanent Built Landscape Features

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

IV.B.4 Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture, and other work undertaken in public spaces shall be presented to the MHZC for review for compatibility with the character of the district.

Analysis and Findings:

The applicant is proposing to construct a rear addition, construct an accessory structure, and reduce the rear setback in the Edgefield Historic Preservation District. The project also involves restoring the front retaining wall configuration and installing new landscape features.

Setback and Rhythm of Spacing: The proposed addition is located entirely behind the existing house and meets Codes' base zoning requirements for setbacks. The addition is inset two feet (2') from each of the rear sidewalls of the house for a length of five feet (5') on the right side and a length of eleven feet, four inches (11'4") on the left side. On the right side, after the inset, the addition lines up with the majority of the house's right side wall. However, because the right side wall of the house has a projecting bay and a side porch, the addition still remains entirely behind the historic house on this side. On the left side, after the inset, the house lines up with the rear of the house's left side wall for a length of approximately eleven feet (11') before it expands out again in a projecting bay. This bay, which includes a screened porch, projects approximately four feet (4') from the rear sidewall of the house, but is still approximately three feet (3') inset from the historic house's left projecting bay.

The accessory structure is located in the rear of the property with its garage doors facing the alley, as is typical for accessory structures in this neighborhood. Because the structure is more than seven hundred square feet (700 sq. ft.) and because it is connected to the addition with a covered walkway, base zoning requires that the structure have a twenty-foot (20') rear setback and a five foot (5') side setback. While the accessory structure is more than five feet (5') from the side property lines, it is only ten feet (10') from the rear property line, and it therefore requires a rear setback reduction. Staff finds a rear setback reduction appropriate in this instance because accessory structures in Edgefield are typically located ten feet (10') or less from the rear property line, and a setback of twenty-feet (20') would place the structure too close to the interior of the lot.

Staff finds the proposed setback and rhythm of spacing for the addition and the accessory structure, and the proposed rear setback back reduction to meet Sections III.B.1., III.B.2.a, and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Height, Scale, and Building Shape: The existing house has a maximum width of approximately fifty-three feet (53'), including the covered ten-foot (10') side porch. The house's depth is approximately sixty-three feet (63'), including the front porch which is five feet (5') deep. The house's maximum height is approximately forty-five feet (45'). The addition will be subordinate in width, depth, and height to the historic house. It will have a maximum depth of thirty-nine feet (39'), a maximum width of approximately thirty-seven feet (37'), and a maximum height of thirty-seven feet, eight inches (37'8").

The accessory structure will also be subordinate to the house in its width, depth, and height. It has a maximum width of fifty-feet, four inches (50'4"), although a portion of the width is only forty-six feet, four inches (46'4"). Its maximum depth is twenty-seven

feet, eight inches (27'8"), and its maximum height is twenty-nine feet, six inches (29'6"). The addition and the accessory structure are connected to the house with a covered walkway that is open on both sides. The height of the walkway is approximately thirteen feet (13').

The building shape for both the addition and the accessory structure relate to the shape of the house, while still being subordinate to the house. The design guidelines require that the neighborhood's context of mass in relation to open spaces be preserved. In the immediate context of this project, there are several historic houses that have larger accessory structures. The open area in the immediate vicinity for historic houses ranges from 54% to 76% of the respective lots. 809 Russell Street is a double-width lot, and with the addition and the accessory structure, the area covered will be approximately sixty-nine percent (69%), which is within the range of lot coverage for the immediate vicinity. It should also be noted that the owner of 809 Russell also owns the two parcels to the left of the house, and those lots are currently planned to be landscaped as a side yard for 809 Russell Street. Therefore, the lot coverage will appear from the street to be much less than sixty-nine percent (69%).

Staff finds the height and scale of both the addition and the accessory structure to be subordinate to the historic house and to meet Sections III. B. 1., III.B.2.b., III .B.2.c. and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Materials: The primary cladding material for the addition and the accessory structure will be brick to match the existing house. Other materials for the addition and the accessory structure include Indiana limestone sills, headers, steps, and other detailing; architectural fiberglass shingles; wood columns and trim; wood windows; copper finials and other copper detailing; Hardie Panel siding with applied wood moldings; and steel garage doors. The house's foundation is stone, but because of the slope of the site, towards the back of the lot, the foundation line decreases and the brick almost extends to the grade. The foundation material is proposed to be brick and will not be delineated from the house above with a soldier course or a rowlock. The Commission typically asks to see a change in material from the foundation to the rest of the house, and staff therefore asks that a condition of approval be that the applicant work with staff on the foundation material for the addition.

The Commission has approved all of these materials in the past, but staff asks to review and approve a brick sample, a limestone sample, wood and door specifications, and the color of the asphalt shingle prior to purchase and installation of these materials. With these staff reviews, staff finds that the materials for the addition and the accessory structure meet Sections III.B.1., III.B.2.g., and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Roof: The historic house has a varied roof form, as is typical of the Queen Anne style. The bulk of the roof is hipped, and the front of the house has a front-facing gabled bay and a round turret. The addition's roof will primarily be hipped with a slope of twelve-twelve (12/12), although both the portion of the addition that is inset from the sidewalls

of the house and the connector to the accessory structure will have a flat roof. The projecting bays on the addition will have semi-conical roofs with a slope of three-twelve (3/12). The accessory structure will have a hipped roof with projecting side gabled bays, all with a slope of twelve-twelve (12/12). Staff finds the proposed roof forms to be appropriate to the Queen Anne historic house and to the neighborhood. Staff finds the roof forms to meet Sections III.B.1., III.B.2.d., and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The windows on the addition and the accessory structure are generally taller than they are wide and are appropriately proportionate to those windows on the historic house. There are no large areas of wall space without a window or a door opening. Staff therefore finds that the proportion and rhythm of openings for the addition and the accessory structure meet Sections III.B.1., III.B.2.f., and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Outbuilding: The proposed accessory structure meets the design guidelines in terms of its location, setback, height, scale, building shape, materials, roof form, and proportion and rhythm of openings. Staff therefore finds that the structure meets section III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Appurtenances: The application involves removing the front brick retaining wall and restoring the front property line curb, as seen in the historic photograph. In addition, a new curb fence will be installed to match the fence shown in the photo. Staff asks that a condition of approval be that staff review and approve the design and material for the curb and curb fence prior to the purchase and installation of these materials. The project also involves a new terrace, parking court, and pathways, and staff asks that a condition of approval be that staff review and approve the design and materials for these and any other landscape features prior to their construction.

With the abovementioned-staff approvals, the landscape features and fencing will meet Sections IV.B.1. and IV.B.2. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Staff recommends approval of the application, with several conditions:

1. Staff review and approve a brick sample, a limestone sample, wood and door specifications, and the color of the asphalt shingle prior to purchase and installation of these materials;
2. The applicant work with staff on the foundation material for the addition;
3. Staff review and approve the material and design for all landscape features, including, but not limited to, the curb, curb fence, terrace, parking court, and pathways.

With the incorporation of these recommendations, Staff finds the proposed new addition and garage to be compatible with surrounding historic neighborhood and to meet *Edgefield Historic Zoning District: Handbook and Design Guidelines*.



809 Russell Street



Lots next to 809 Russell, owned by the same owners



Rear yard, from the right side of the house.



Rear façade and yard



Rear and left elevations



809 Russell Street

Street Photograph, Prior to Edgefield Fire of 1916.

Illustrating Yard Curb to be revealed, Proposed Front Yard Grading Configuration and Curb-Top Fence to be Emulated.



809 Russell Street
Current Exterior Street Photograph

Scale 1/64" = 1'0"

PROJECT PROPERTY INFORMATION

PROPERTY OWNER: JOEL R. HALL
902 RUSSELL STREET
NASHVILLE, TENNESSEE 37206

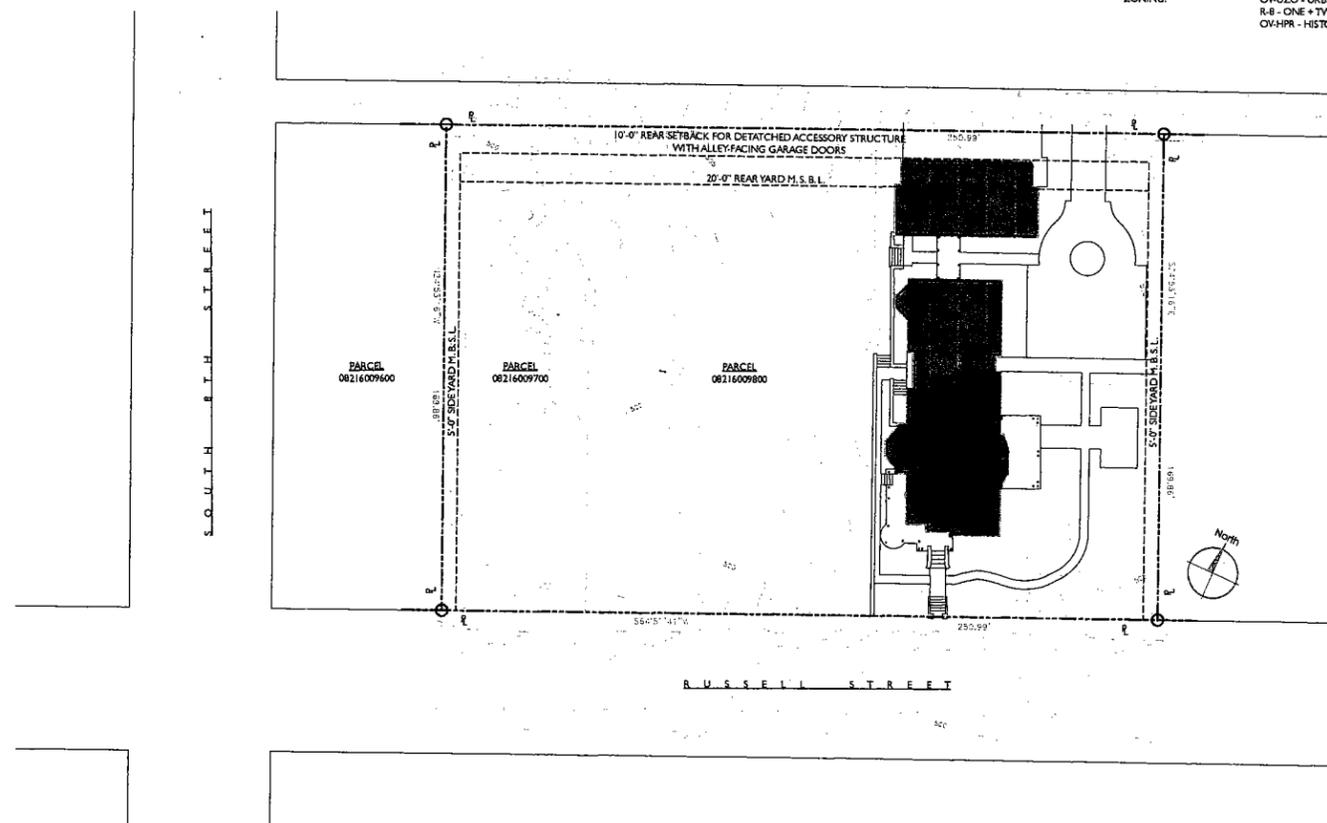
PROPERTY INFORMATION:
DAVIDSON COUNTY PARCEL ID # 08216009900

ADDRESS: 809 RUSSELL STREET
NASHVILLE, TENNESSEE 37206

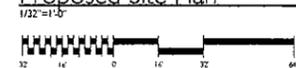
DESCRIPTION: LOT 9 11 BRANSFORD & KINNAIRD

LOT AREA: 16,553 SF / 38 AC +/-

ZONING: OV-UZO - URBAN ZONING OVERLAY
R-8 - ONE + TWO FAMILY 8,000 SF LOT
OV-HPR - HISTORICAL PRESERVATION OVERLAY



Proposed Site Plan



Extensions for:
809 Russell Street

Nashville, Tennessee 37206

17 January 2012

Scale 1/64" - 1'0"

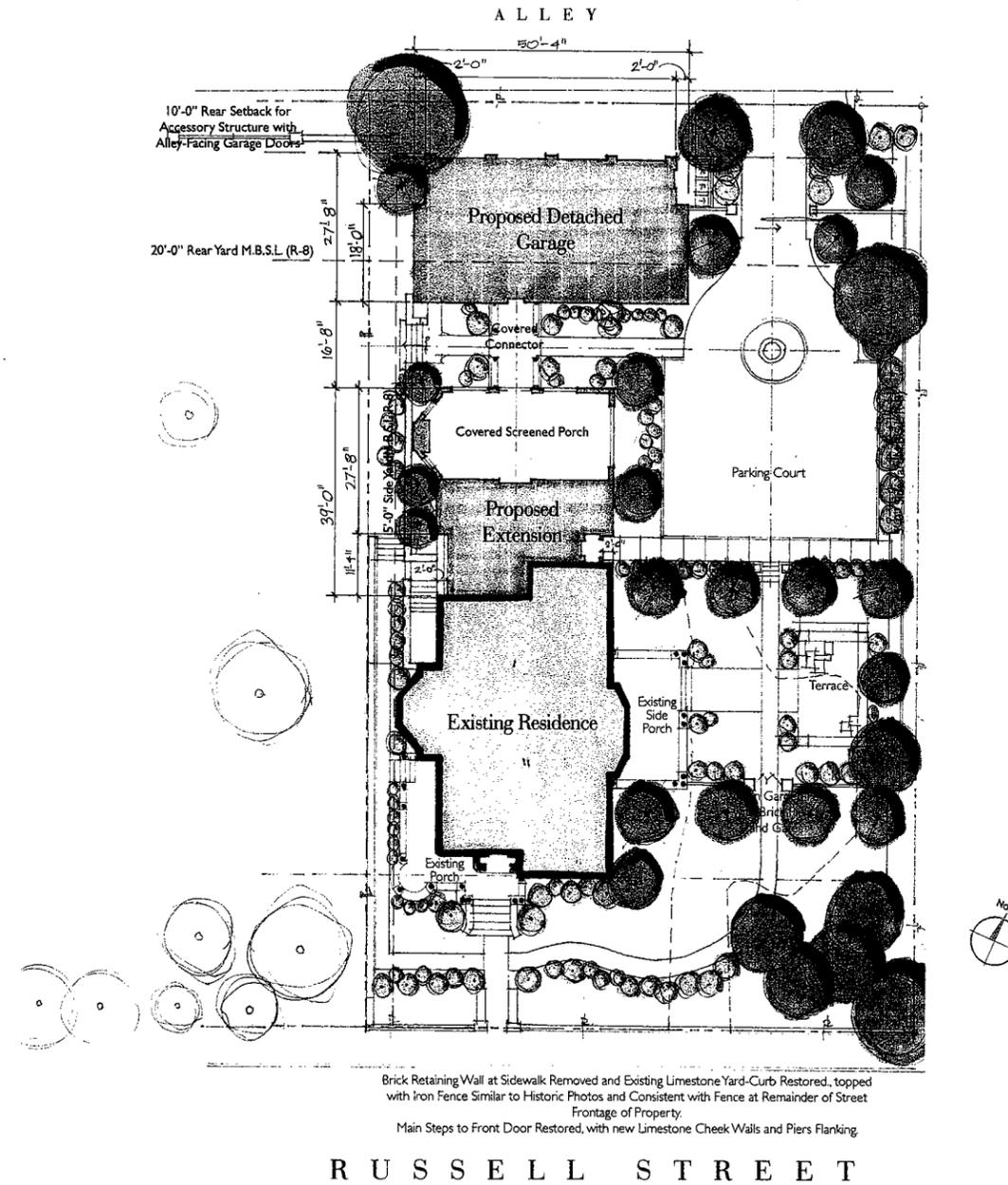
Van Pond Architect

1200 Division Street
Nashville, Tennessee 37203

615.499.4387

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Proposed Enlarged Partial Site Plan



Extensions for:
809 Russell Street

Nashville, Tennessee 37206

17 January 2012

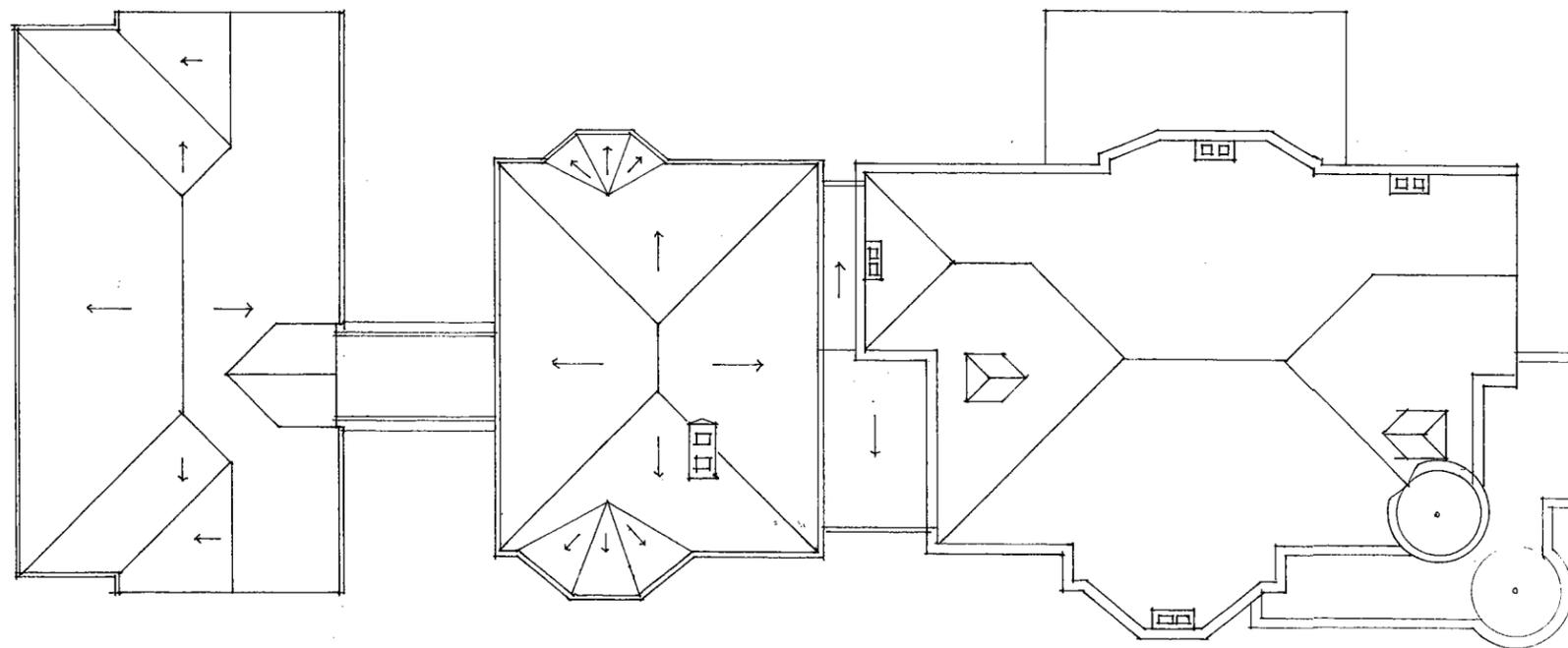
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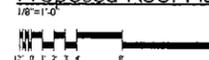
1200 Division Street
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Proposed Roof Plan



Extensions for:

809 Russell Street

Nashville, Tennessee 37206

17 January 2012

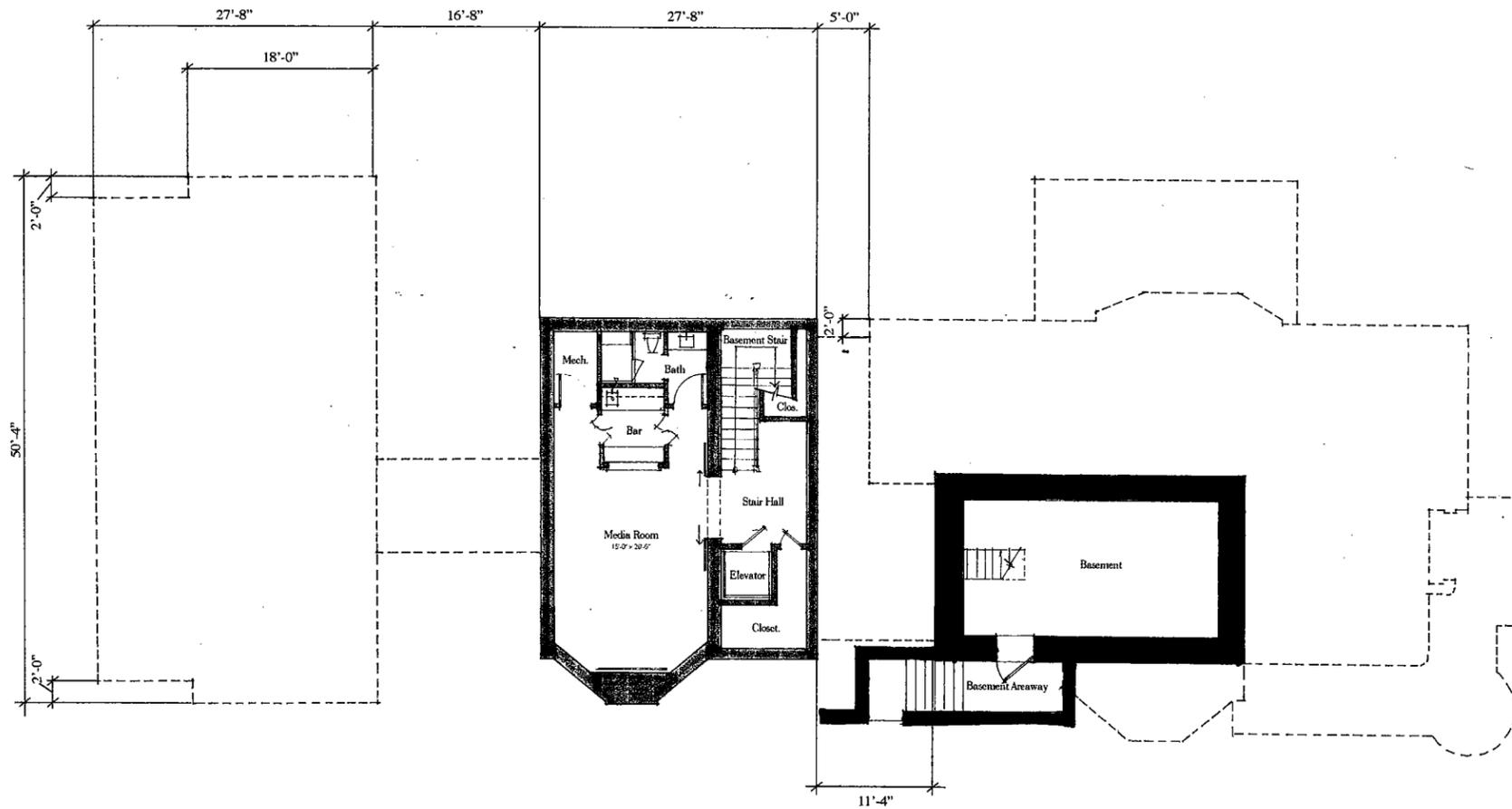
Scale 1/16" - 1'0"

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Proposed Basement Floor Plan



Extensions for:
809 Russell Street

Nashville, Tennessee 37206

17 January 2012

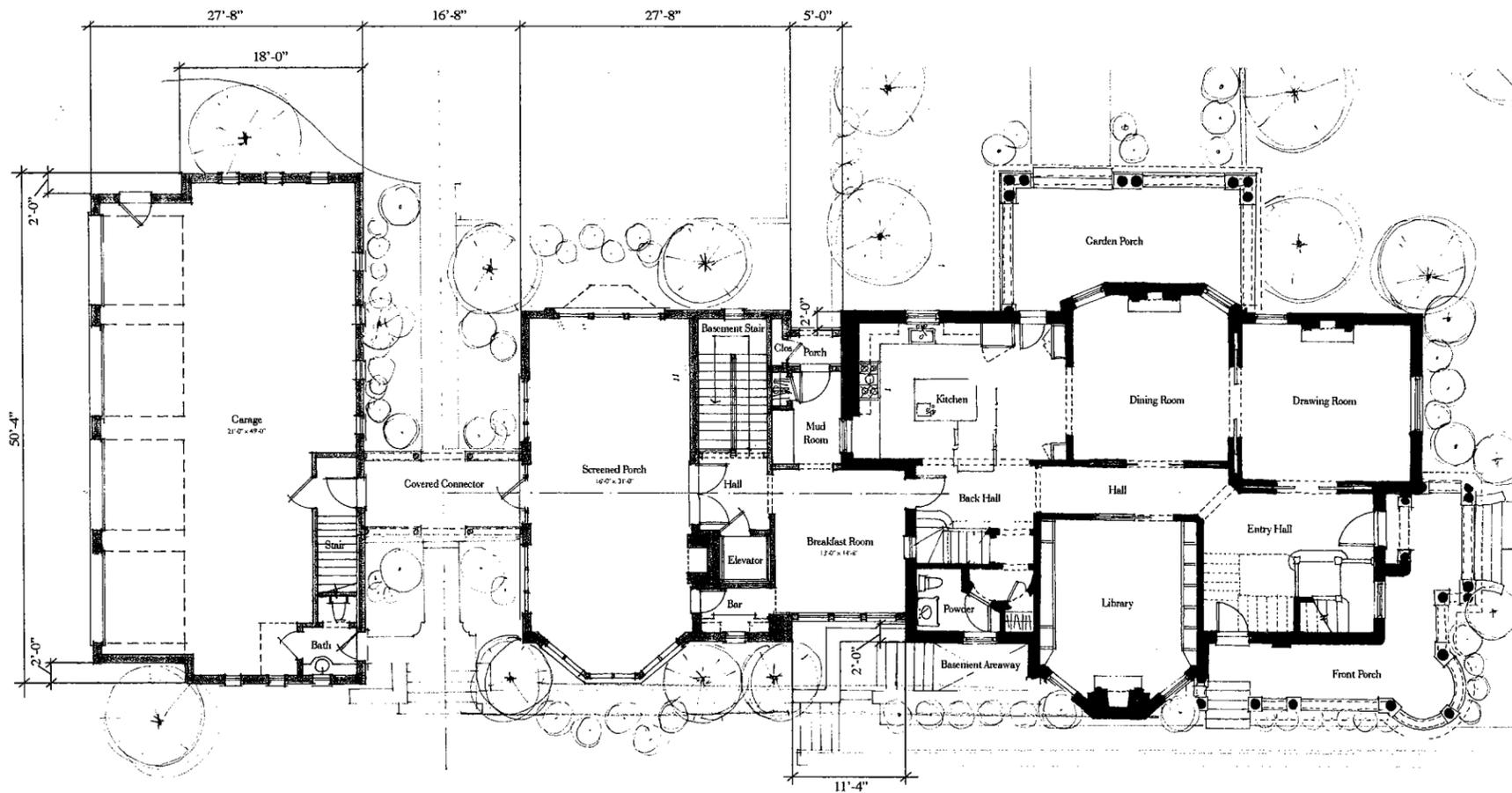
Scale 1/16" - 1'0"

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Proposed Main Floor Plan



Extensions for:
809 Russell Street

Nashville, Tennessee 37206

17 January 2012

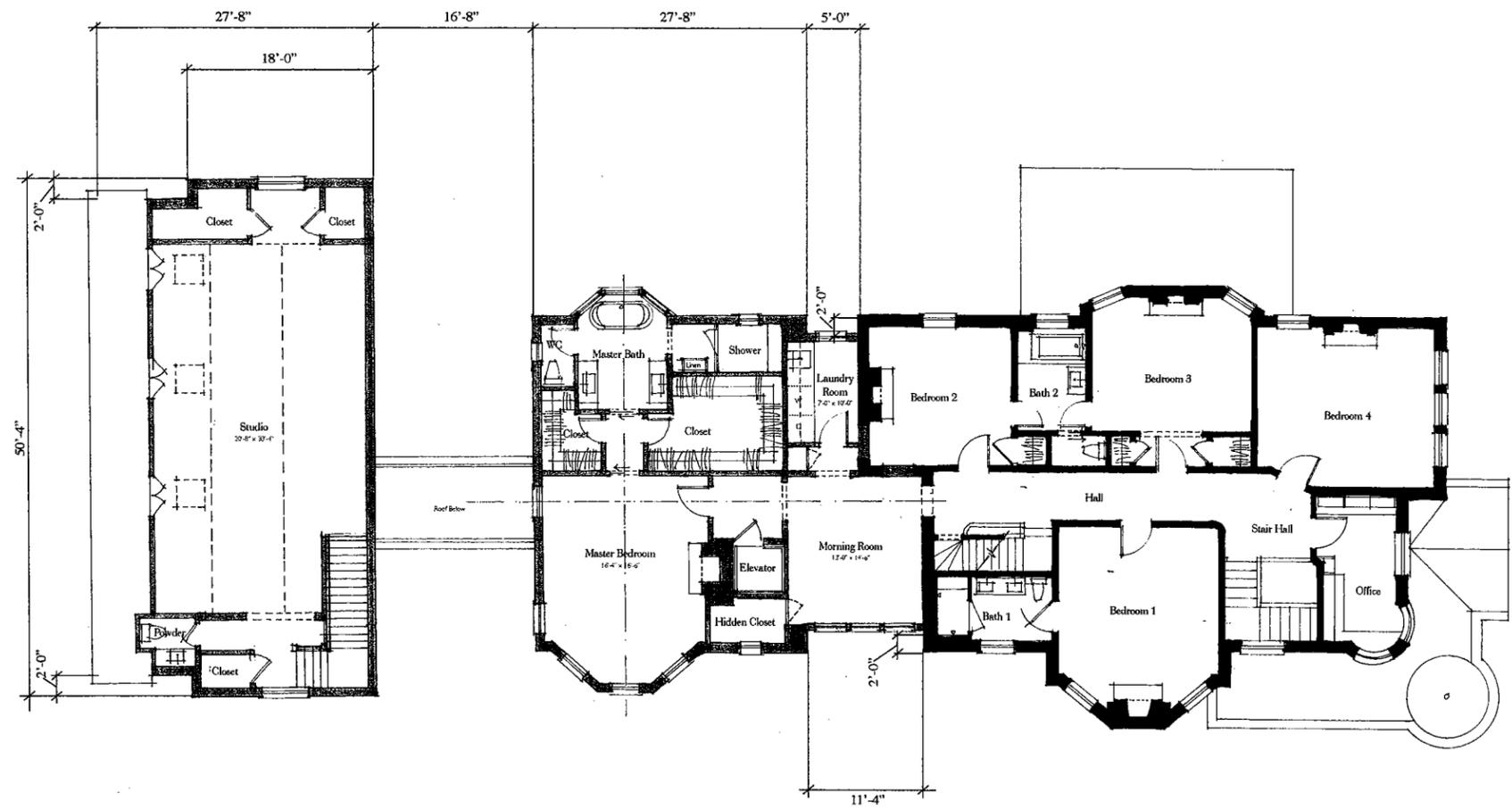
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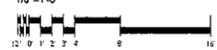
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Proposed Upper Floor Plan



Extensions for:
809 Russell Street

Nashville, Tennessee 37206

17 January 2012

Scale 1/16" - 1'0"

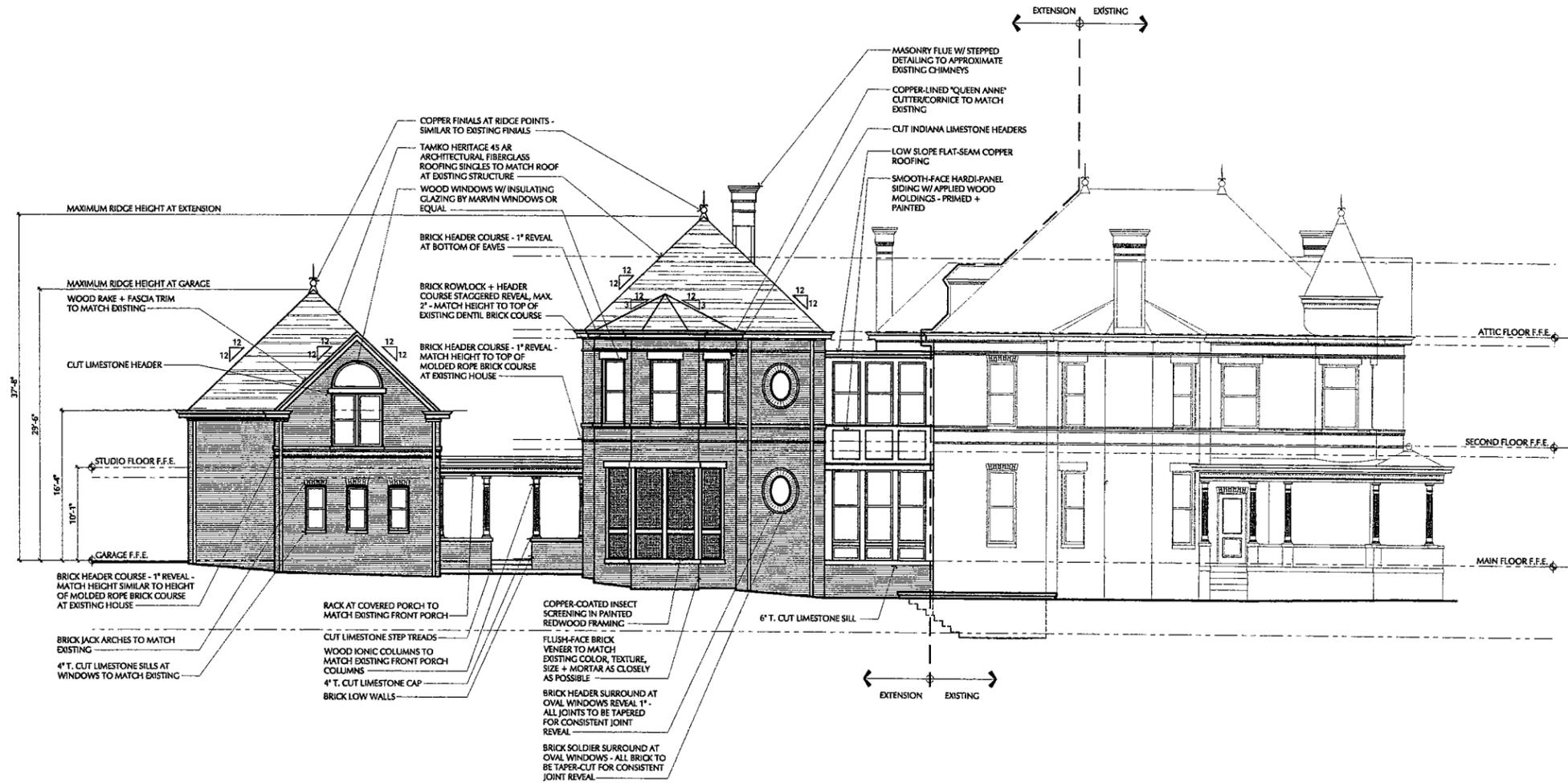
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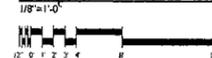
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Proposed Side Elevation



Extensions for:
809 Russell Street

Nashville, Tennessee 37206

17 January 2012

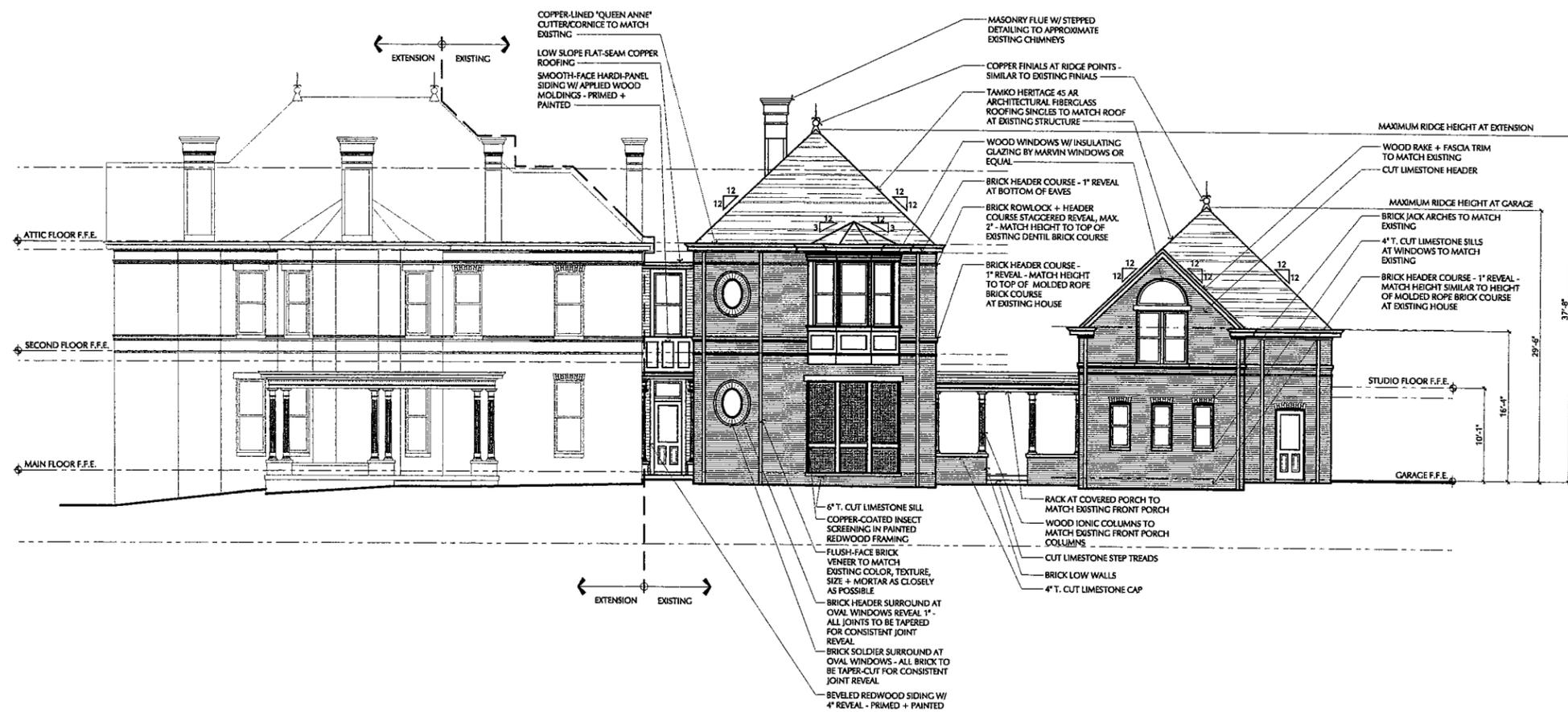
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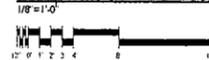
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Proposed Side Elevation



Extensions for:
809 Russell Street

Nashville, Tennessee 37206

17 January 2012

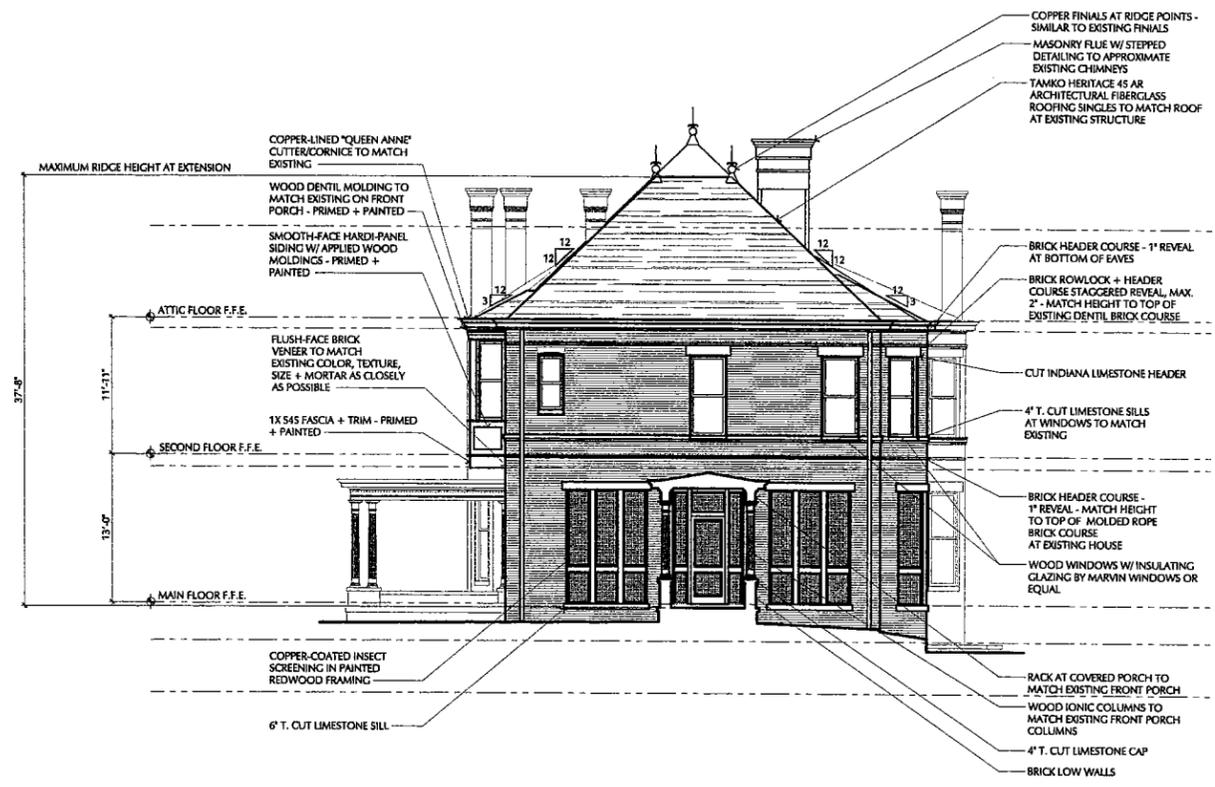
Scale 1/16" - 1'0"

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Proposed Section Through Covered Connector



Extensions for:

809 Russell Street

Nashville, Tennessee 37206

17 January 2012

Scale 1/16" - 1'0"

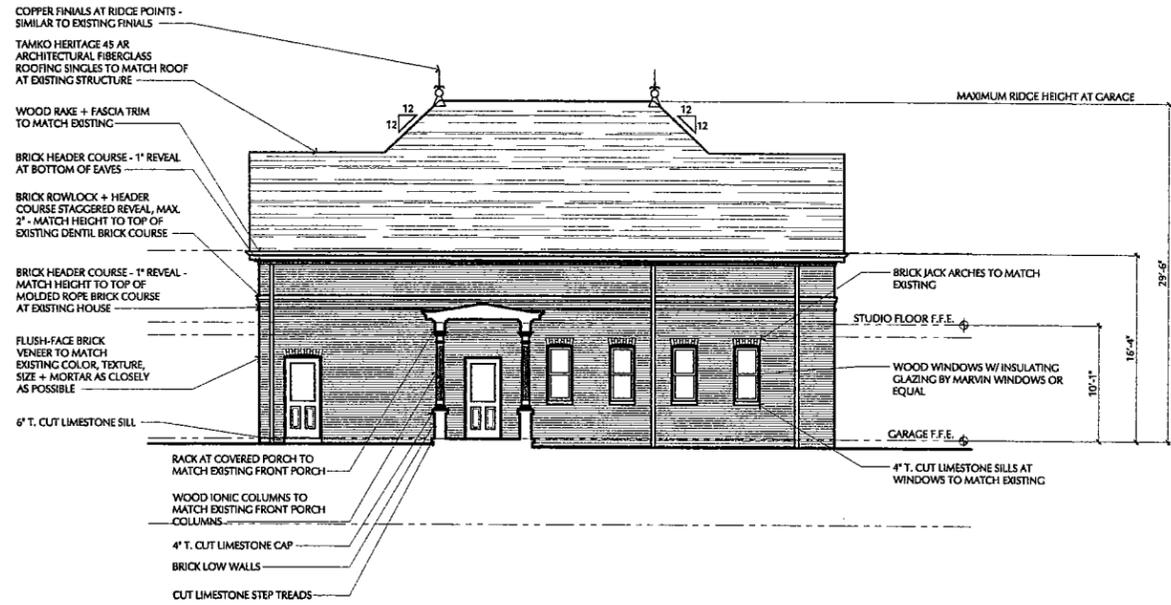
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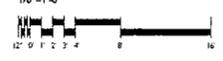
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Proposed Section Through Covered Connector — Garage



Extensions for:
809 Russell Street
 Nashville, Tennessee 37206

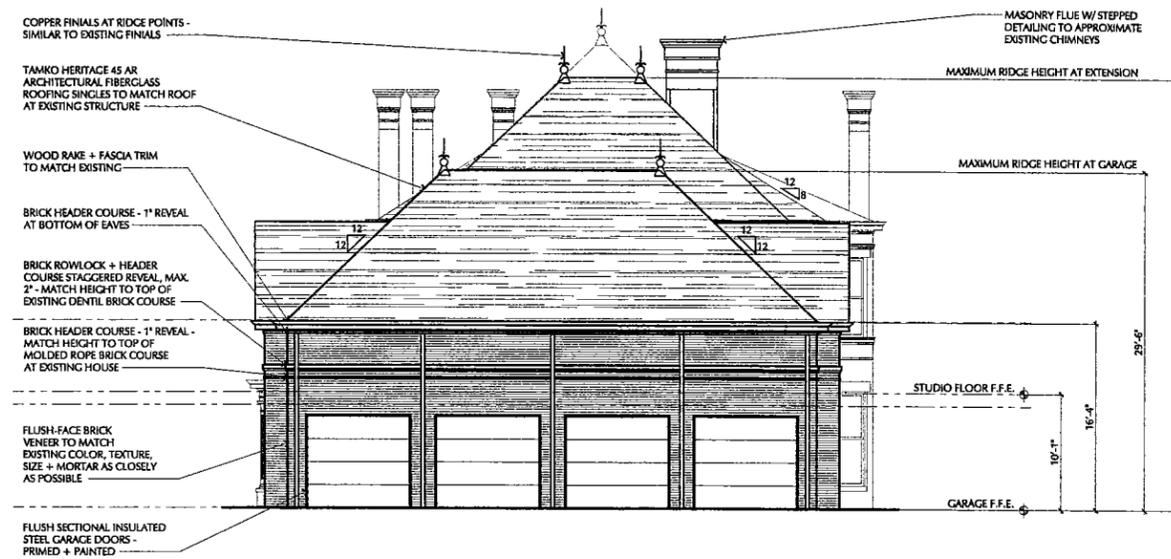
17 January 2012

Scale 1/16" = 1'0"

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Proposed Rear Elevation



Extensions for:
809 Russell Street

Nashville, Tennessee 37206

17 January 2012

Scale 1/16" - 1'0"

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