



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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## STAFF RECOMMENDATION

1413 Russell Street  
January 18, 2012

**Application:** Infill

**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

**Council District:** 06

**Map and Parcel Number:** 08313027900

**Applicant:** Brent Craig, Rigid Development

**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The applicant proposes to construct a new two-story house. The house will have cement-fiber siding with wood windows and trim, with a split-faced cement block foundation and an asphalt shingle roof.

**Recommendation Summary:** Staff recommends approval of the proposed infill with the conditions that:

1. Drawings be corrected so that all measurements and labels match and show any appurtenances including but not limited to paving, lighting, fences and utility connections;
2. The porch beam be increased to a minimum of twelve inches (12");
3. The water-table band be lowered so that the top of the band aligns with the porch floor level;
4. The chimney material be masonry, or shortened to resemble a "box-bay;"
5. The front door and porch design be Craftsman-style, appropriate to the general style of the house; and
6. The two windows nearest to the front on the left elevation be moved back from the front corner of the house. The first story window shall be lowered to align with the other first story windows.

Staff finds the application to otherwise be in compliance with the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

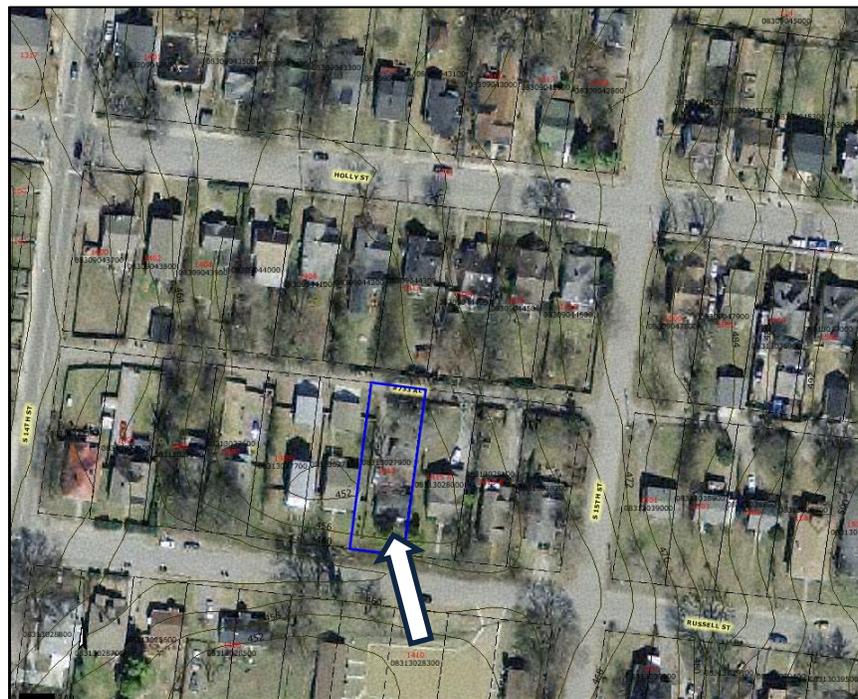
**Attachments**

- A:** Site Plan
- B:** Floorplans
- C:** Elevations

**Vicinity Map:**



**Aerial Map:**



**Background:** 1413 Russell Street is currently a vacant lot. A non-contributing structure on the site was recently demolished, approved by the MHZC at the November, 2011 meeting.

The lot is in a low area of Russell Street where the grade is approximately twelve feet (12') below street level. The vicinity also has compromised historic integrity, where several nearby structures are non-contributing, recent infill, or have been inappropriately altered.

## **Applicable Design Guidelines:**

### **II.B. New Construction**

#### **1. Height**

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

#### **2. Scale**

The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

*Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases. Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in material, coursing or color.*

#### **3. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setback reductions will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal. Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

*New buildings shall incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

*For multi-unit developments, interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than those that front the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections*

*generally should be wider than the typical spacing between buildings along the street.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

*Generally, curb cuts should not be added.*

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street. Generally, utilities connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

## 7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be visually compatible with the surrounding buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)*

*Brick molding is required around doors, windows and vents within masonry walls.*

## 9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

## **Analysis and Findings:**

The applicant is proposing to construct a new single-family dwelling on the lot.

### Height, Scale

The structure will be two stories tall with a hipped roof and a full-width projecting front porch. The front elevation will be twenty-eight feet (28') wide, with a wall height of seventeen feet, nine inches (17'-9") from the porch floor to the eaves. The hipped roof will peak at twenty-eight feet (28') above the floor level, with two feet (2') of visible foundation bringing the total height to thirty feet (30'). This height is nearly identical to a two-story structure at 1409 Russell Street, constructed in 2008. That structure, like the one proposed here, is in a low area that results in the finished floor level being several feet below street level.

The one-story front porch will be six feet (6') deep, the two-story mass will be thirty-one feet (31') deep, and a one-story section at the rear will be seven feet, six inches (7'-6") deep, for a total length of forty-seven feet, six inches (47'-6"). A covered porch will occupy the rear ten feet (10') of the structure on the right side. There will be a front-facing hipped-roof dormer on the front slope of the house, set back four feet (4') from the primary front wall.

The width of this house will be similar to the adjacent contributing structure on the right and two other contribution structures on the block. The recent infill at 1409 Russell Street is only twenty feet (20') wide, but it would likely have been wider if not prohibited by an easement on the property.

Because of the unusual grade of the lot and the lack of strong historic context, a two-story structure is appropriate for this lot. Staff finds the height and scale of the proposed structure to be compatible with the surrounding buildings and meet design guidelines II.B.1 and II.B.2 (Height, Scale).

[Note – The floorplan shows the front porch as being eight feet (8') deep, but it is depicted as six feet (6') deep on the elevations. The drawing also shows a six inch (6") porch beam, but it is labeled as twelve inches (12"). All drawings should be required to be corrected with all measurements and labels matching, before a permit will be issued.)

### Location, Setbacks

The proposed new structure will be sited so that the front wall is aligned with the front wall of a contributing one-story house adjacent at 1415 Russell Street. The side setbacks will be ten feet (10') on each side. These setbacks maintain the rhythm of spacing established by surrounding historic structures and meet guideline II.B.3 (Setbacks and Rhythm of Spacing). The location also meets the current setbacks required by the bulk zoning regulations.

### Materials

The exterior cladding materials of the structure will be: smooth cement-fiber clapboard siding on the walls and cement-fiber shingles in the hipped front dormer, with a split-faced block foundation and an asphalt-shingle roof. The exterior trim will be wood. The windows will be wood, with three-over-one Craftsman-style windows on the front elevation and one-over-one windows on the other walls. The roof color will be brown, similar to other roofs in the area. Siding and trim color is not reviewed. The exterior cladding and trim, horizontal clapboards and vertical cornerboards, relate to the ornamentation on historic Craftsman and Victorian houses throughout the neighborhood. These materials meet guideline II.B.4 (Relationship of Materials, Textures, Details, and Material Colors).

The elevations show a water-table trim band between the foundation and the first course of siding. The band is drawn so that the bottom edge is aligned with the porch floor level. Historically, this type of trim element is built so that the top of the band aligns with the floor level, with the band being the same width as the porch deck.

The plans show a thirty-foot tall clapboard-sided chimney on the right elevation. Historically, chimneys have been constructed of brick or stone. Staff recommends that the chimney be masonry, actual or veneer, or that it be shortened to resemble a “box-bay” if it does not need to be vented.

The front elevation shows a front door with divided-light glass in the top 2/3 and raised panels in the bottom 1/3. The appearance of the door is not in keeping with the overall character of the house, which is a muted, contemporary adaptation of a two-story Craftsman-style plan. A Craftsman-style door would be more appropriate.

The shingle-clad enclosed porch railing is also more typical of a craftsman-style home, yet the porch posts are not. Staff recommends the proposed porch posts with an open railing or the proposed enclosed railing with pedestal-and-posts.

### Roof Shape

The primary roof will be an 8:12 hip with a ridge oriented front-to-back. The projecting front porch and one-story rear section will also have hipped roofs, but the slopes will be lower, 6:12. These roofs are compatible with those of surrounding historic houses and meet guideline II.B.5 (Roof Shape).

### Orientation

The house will be aligned perpendicular to the street, along with the long axis of the lot, which matches the orientation of other houses on the street. This meets guideline II.B.6 (Orientation).

### Proportion and Rhythm of Openings

The visible elevations of the structure will have sufficient windows, with proportions similar to the window patterns found on surrounding historic buildings. Staff finds the placement of the two windows nearest to the front on the left elevation to be too close to

the corner, creating an incompatible appearance. Moving them both back from the front corner of the structure and bringing the first story window down closer to the height of the other windows on that level would be more appropriate, and would meet guideline II.B.7 (Proportion and Rhythm of Openings). The front and right elevations meet the guidelines as proposed with no changes recommended.

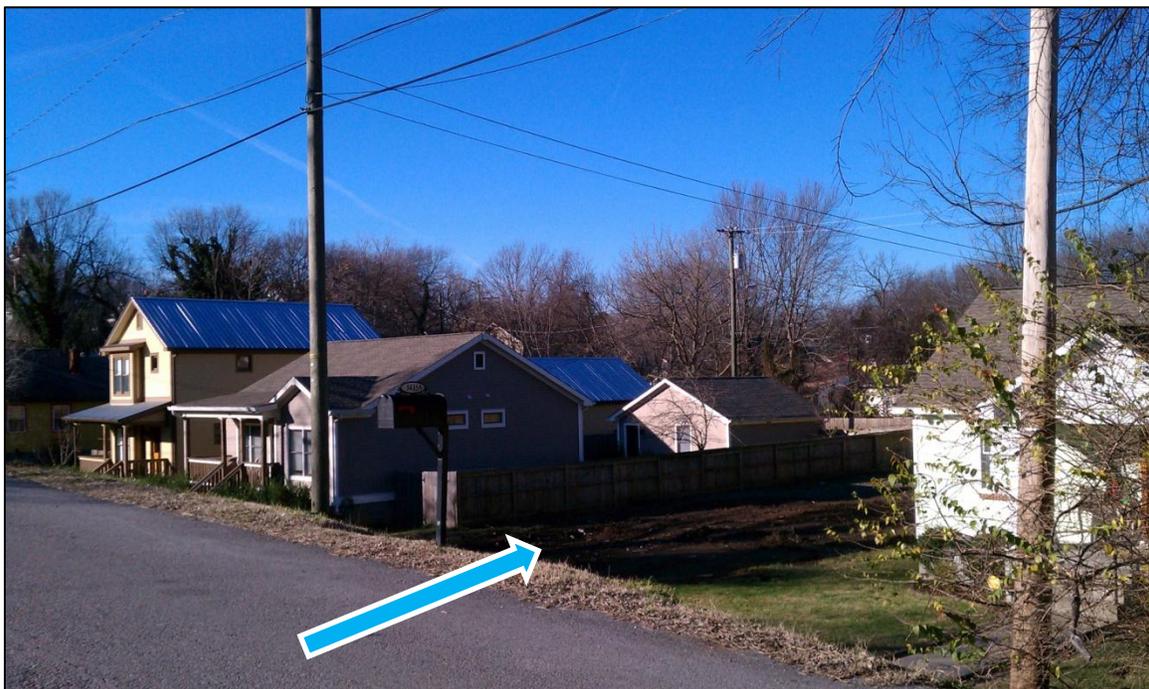
#### Appurtenances

The submitted site plan and elevations do not show paving and other appurtenances. Drawings with all new site improvements, including paving, fences, utility connections and lighting should be required before a permit will be issued.

**Recommendation:** Staff recommends approval of the proposed infill with the conditions that:

1. Drawings be corrected so that all measurements and labels match and show any appurtenances, including but not limited to paving, lighting, fences, and utility connections;
2. The porch beam shall be increased to a minimum of twelve inches (12”);
3. The water-table band should be lowered so that the top of the band aligns with the porch floor level;
4. The chimney material shall be masonry, or shortened to resemble a “box-bay;”
5. The front door and the porch design be Craftsman-style, appropriate to the general style of the house; and
6. The two windows nearest to the front on the left elevation shall be moved back from the front corner of the house. The first story window shall be lowered to align with the other first story windows.

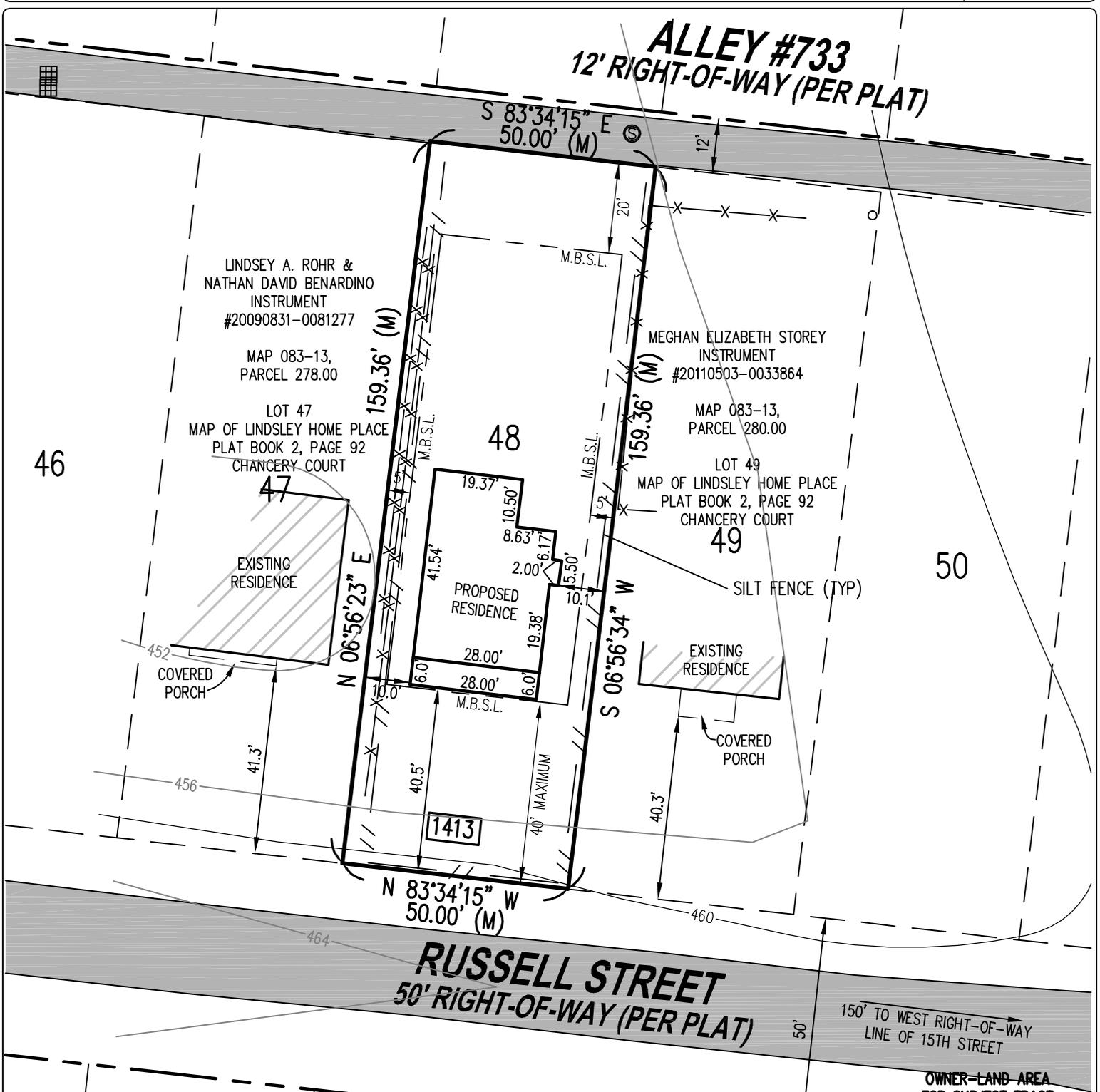
Staff finds the application to otherwise be in compliance with the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.



**Elite Surveying Services, LLC**

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"SUBJECT PROPERTY"  
 MAP 83-13, PARCEL 279.00



**GENERAL NOTES:**

M.B.S.L. = MINIMUM BUILDING SETBACK LINE (PER METRO. CODES)

- The within plat and survey were prepared without benefit of current evidence of source of title for the subject tract or adjoiners and are therefore subject to any statement of facts revealed by examination of such documents.
- In Tennessee it is a requirement of the "Underground Utility Damage Prevent Act" that anyone who engages in excavation must notify all known underground utility owner(s) no less than three nor more than ten working days prior to the date of their intent to excavate and also to avoid any hazard or conflict. The Tennessee One Call telephone number is 1-800-351-1111.
- The surveyor's liability for this document shall be limited to those parties identified in the certification and does not extend to any unnamed party.
- Contours shown are taken from Metro GIS website, no field work was performed.
- All setbacks are shown per Metro Codes Department.  
 Front - 20' Min.-40' Max. - Average Adjoiners  
 Side - 5'  
 Rear - 20'

**OWNER-LAND AREA FOR SUBJECT TRACT**

**AREA**  
 7,967 Sq. Ft.  
 0.18 Acres  
**CORNERSTONE INVESTMENTS, INC.**  
 INSTRUMENT #20111004-0076834

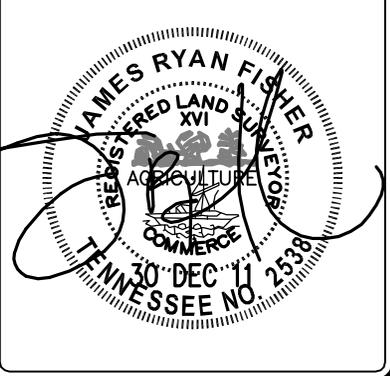
MAP 083-13, PARCEL 279.00

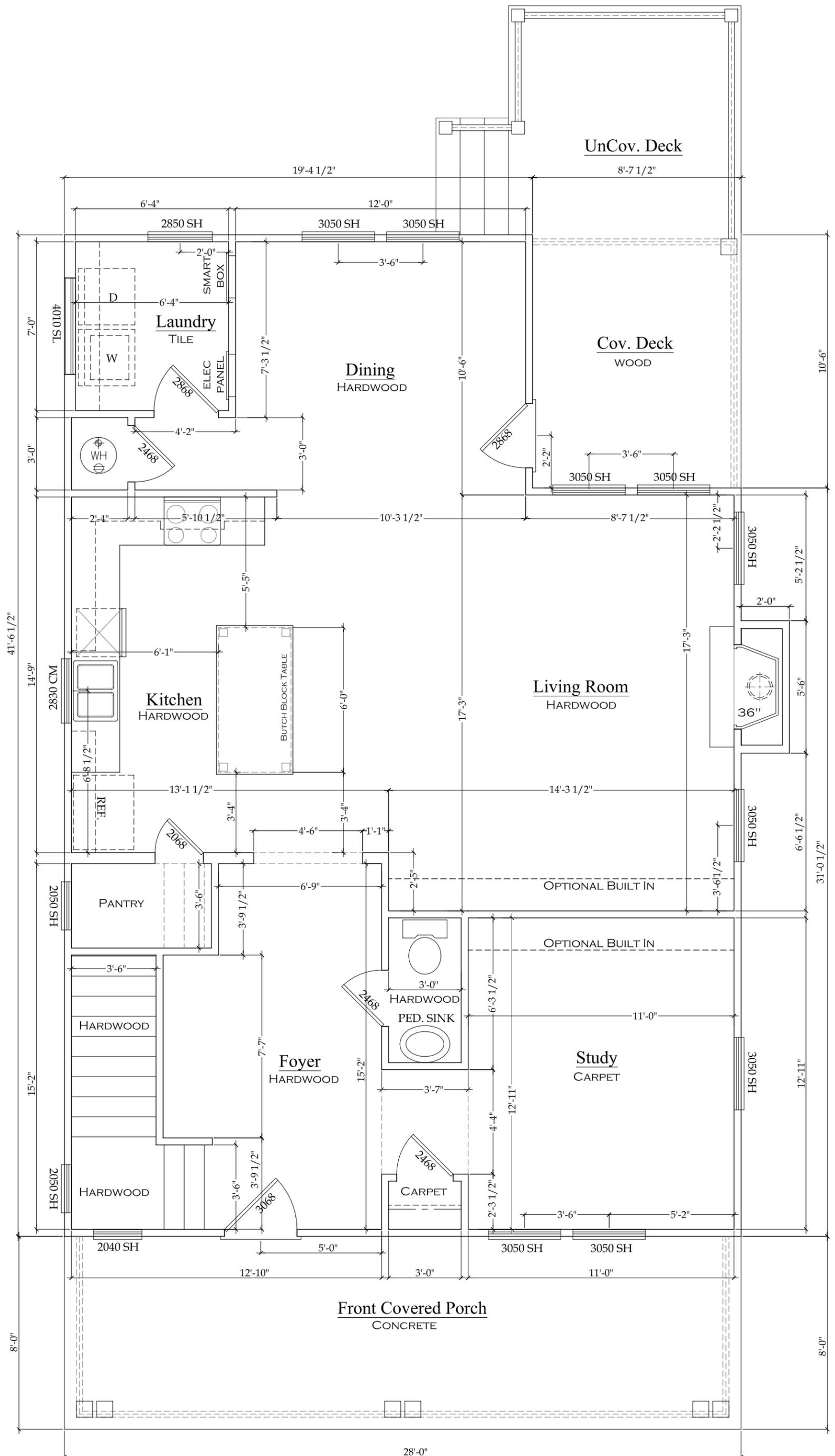
LOT 48  
 MAP OF LINDSLEY HOME PLAC  
 PLAT BOOK 2, PAGE 92  
 CHANCERY COURT

This PLOT PLAN is not a general property survey as defined under Rule 0820-3-07. This document represents a limited accuracy non-monumented survey of the property described hereon performed under the authority of TCA 62-18-126. It should not be relied upon for the construction of fences or other improvements or for establishing the location of property lines. No boundary corners were set with this work.

**PLOT PLAN** Job# 0920.48 SCALE: 1" = 30'

Prepared For: BRENT CRAIG CONSTRUCTION  
 Subdivision: MAP OF LINDSLEY HOME PLACE LOT #48  
 Recording Info: PLAT BOOK 2, PAGE 92, CHANCERY COURT  
 County: DAVIDSON State: TN  
 Street Address: 1413 RUSSELL STREET, NASHVILLE, TN 37206  
 Buyer/owner: CORNERSTONE INVESTMENTS, INC.  
 Prepared By: JRF DATE: 30 DEC 11 M:\2009\20\48\DWGS\092048BDRY.DWG JRF 12\30\11





## First Floor Plan - 1413 Russell

$\frac{1}{4}'' = 1'-0''$

FIRST FLOOR = 1072 SQ. FT.

FRONT PORCH = 224 SQ. FT.

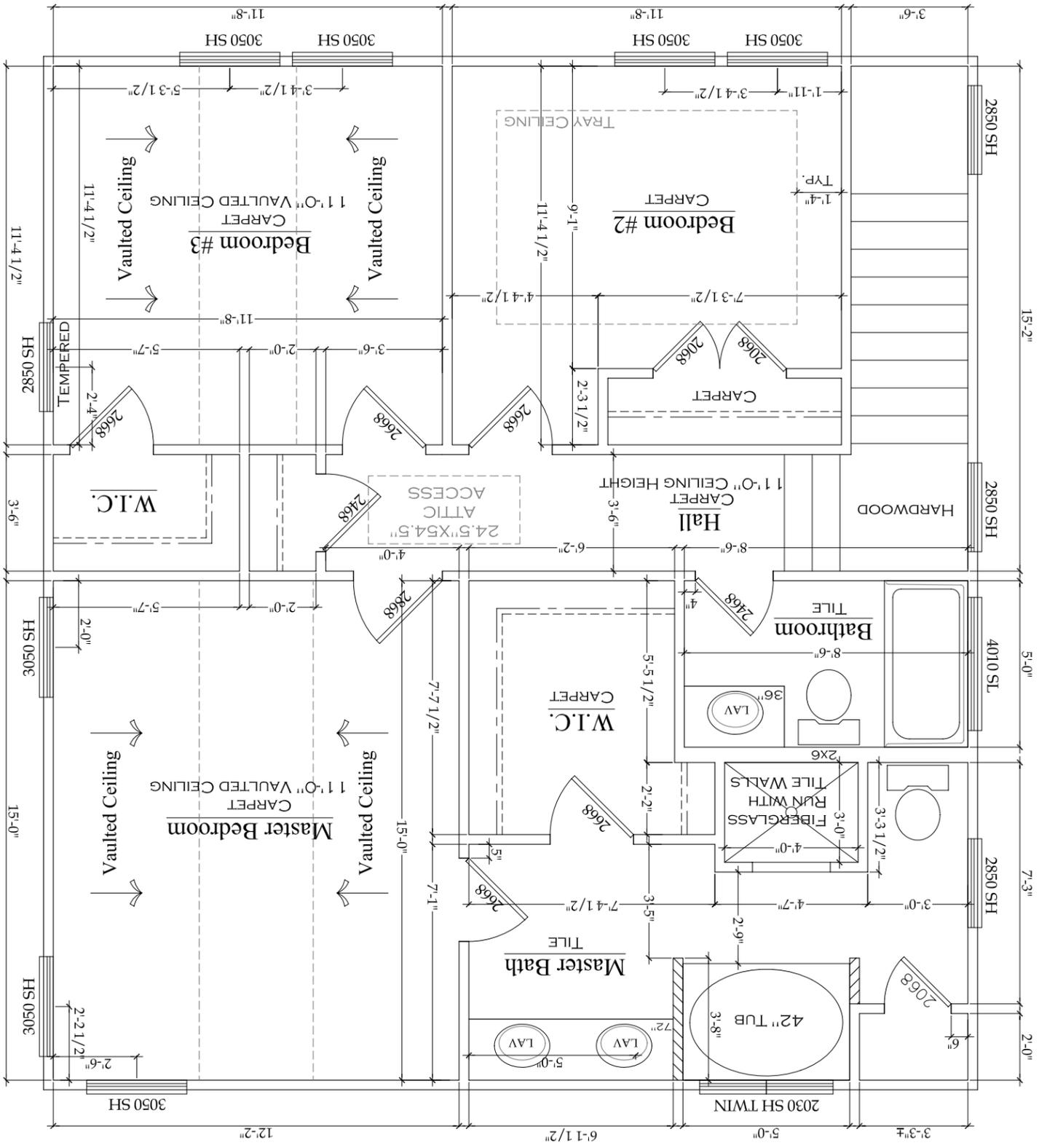
REAR COVERED PORCH = 90 SQ. FT.

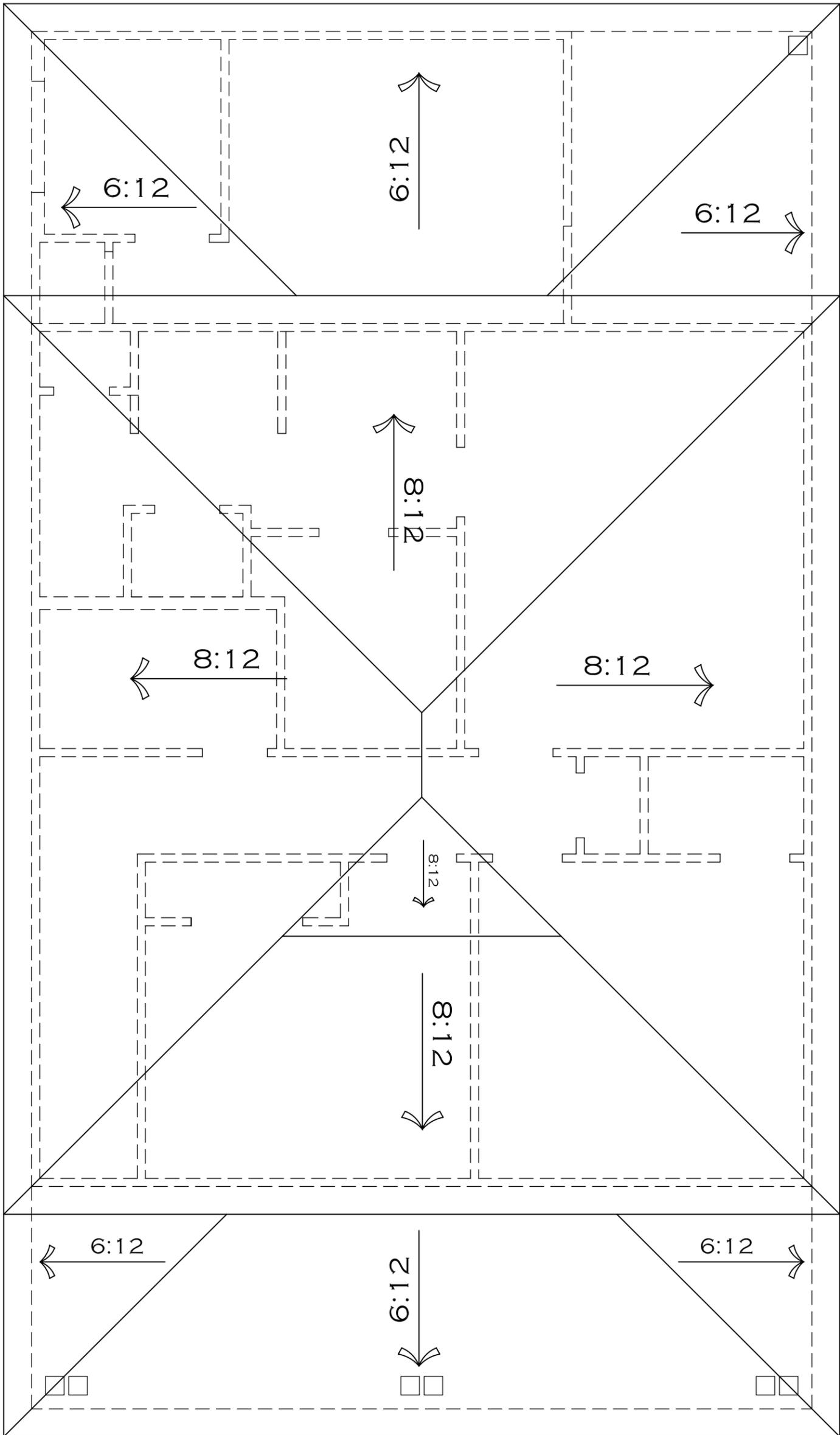
REAR DECK = 92 SQ. FT.

**Second Floor Plan**

**Front**

1/4" = 1'-0"  
SECOND FLOOR = 804 SQ. FT.

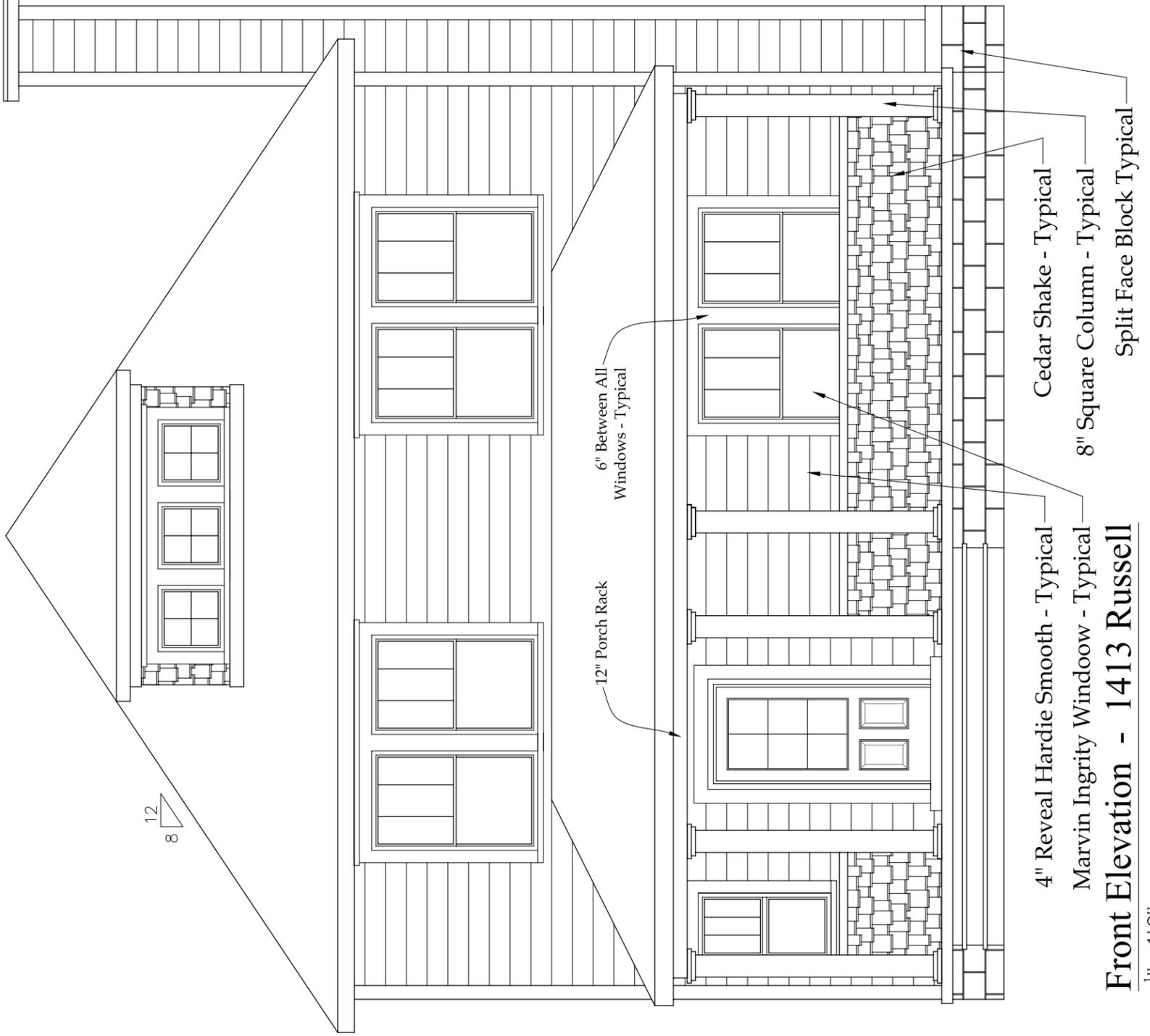


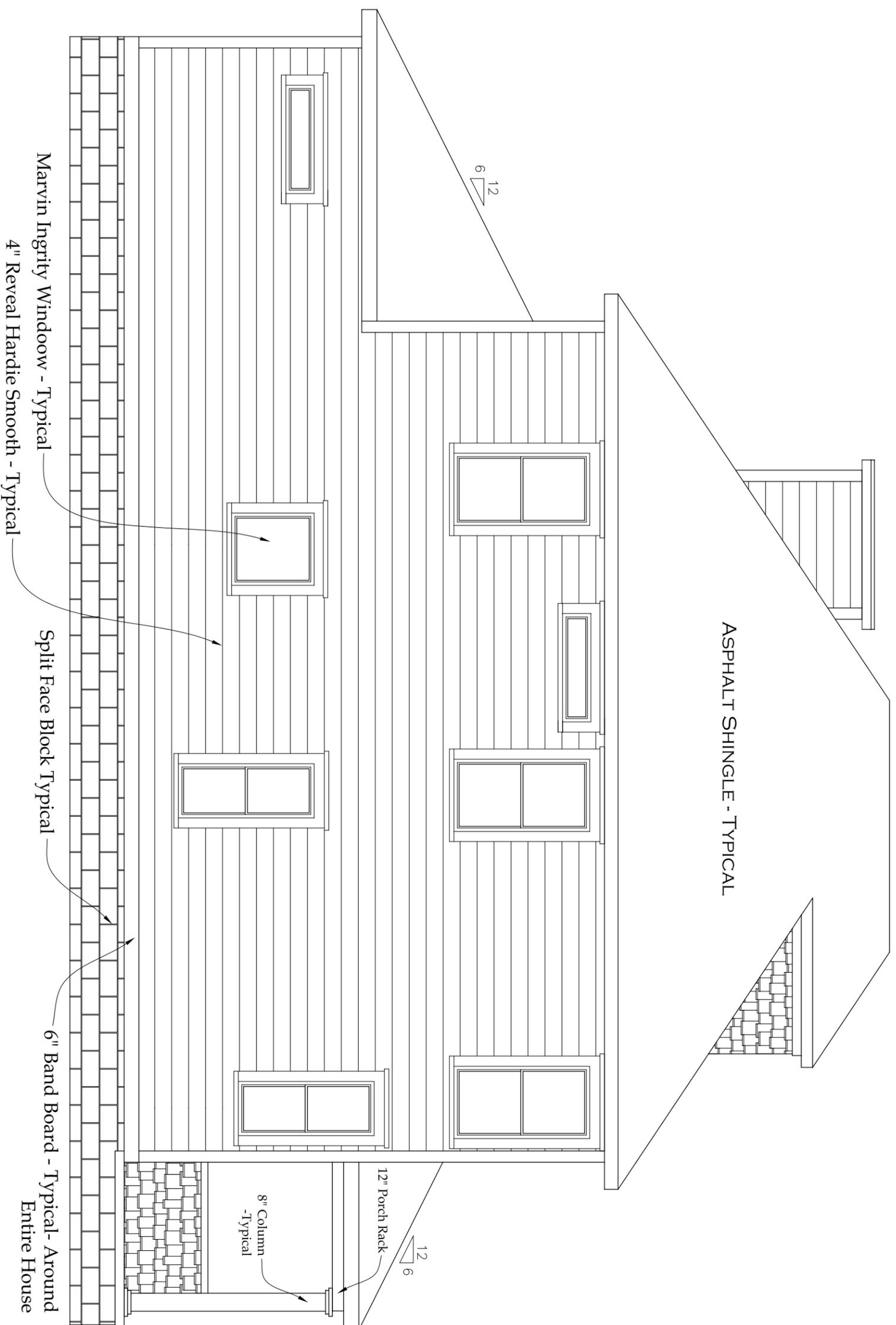


**Roof Plan**

$\frac{1}{4}'' = 1'-0''$

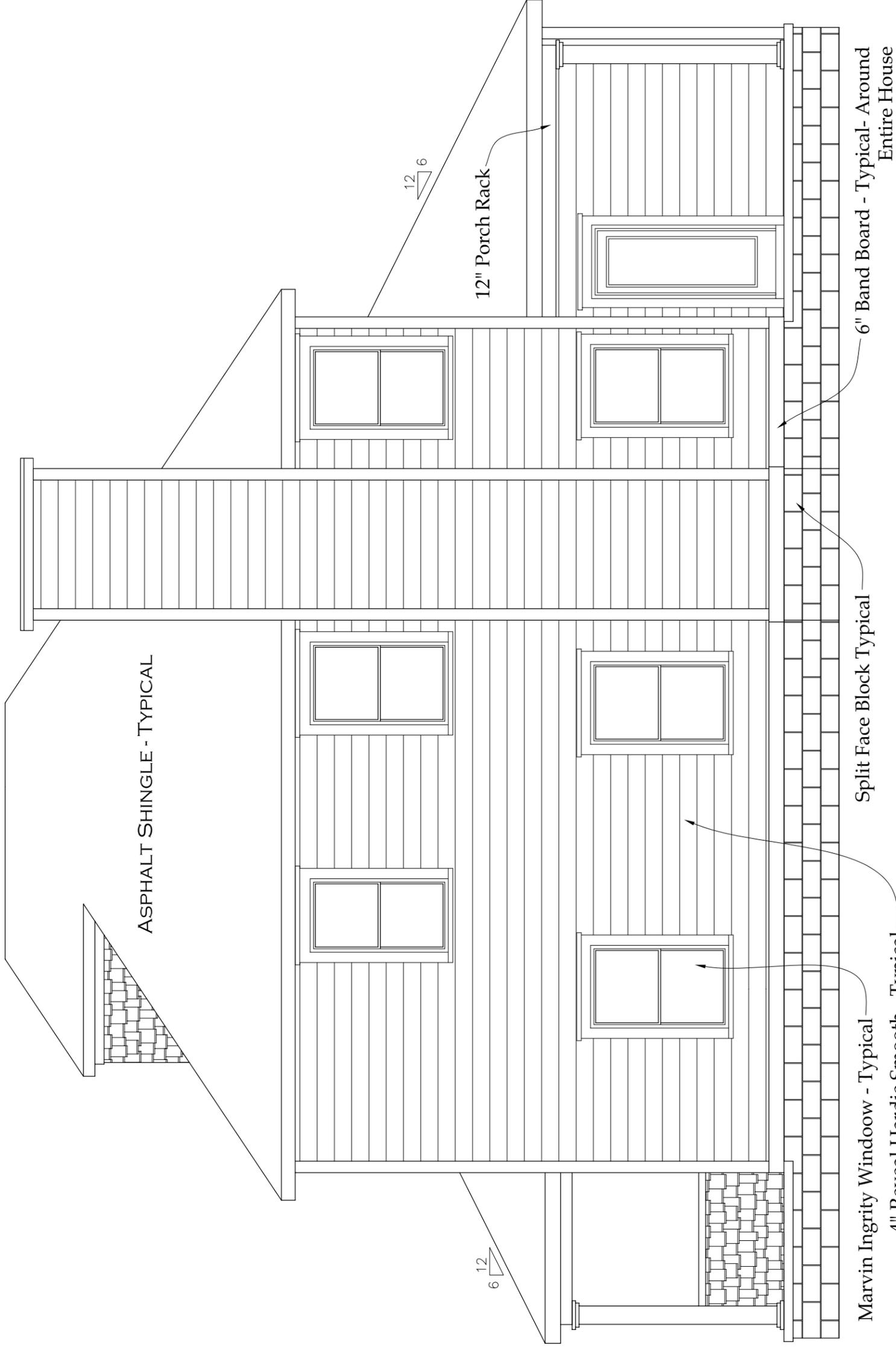
Front





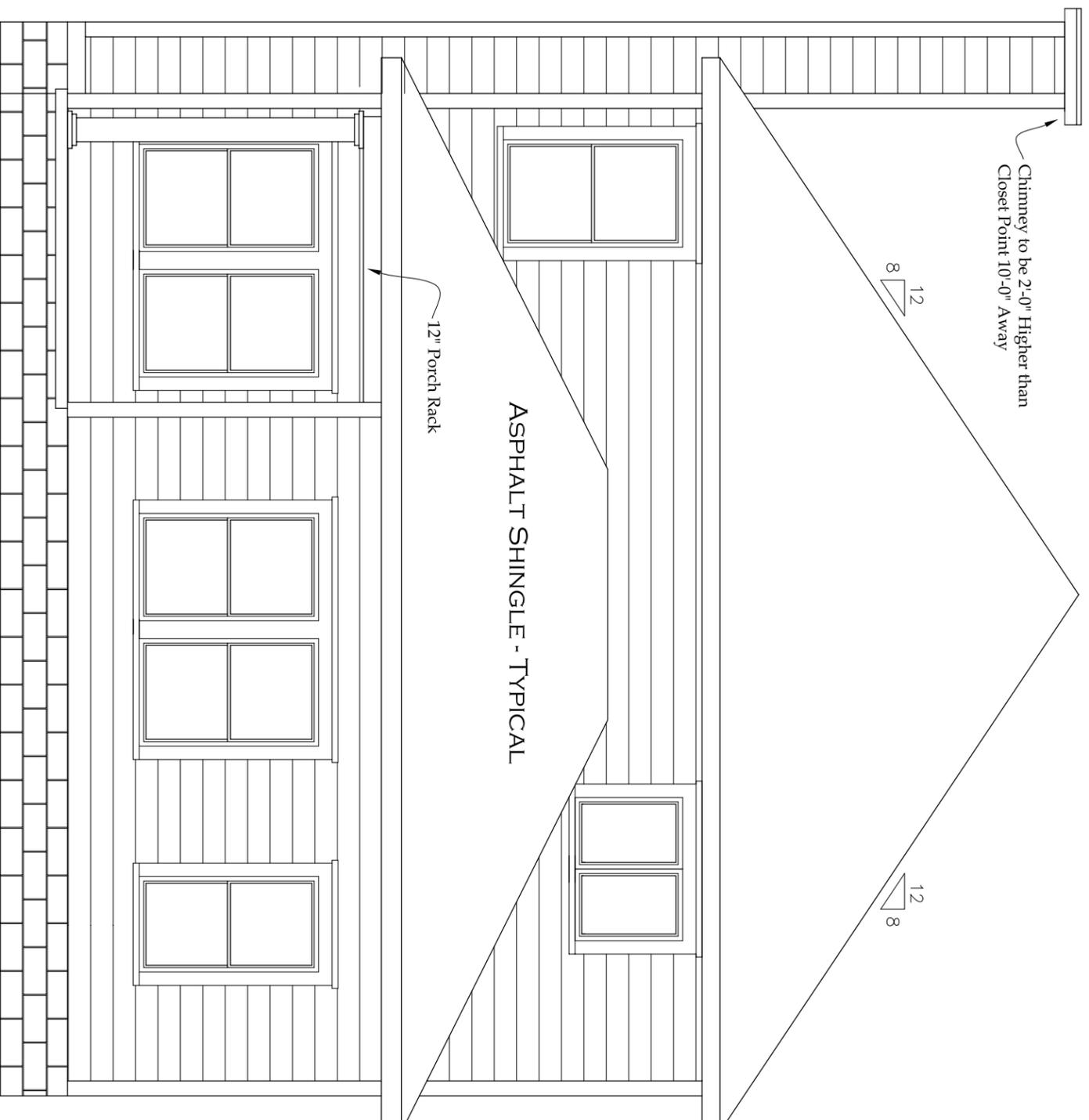
**Left Elevation - 1413 Russell**

$\frac{1}{4}'' = 1'-0''$



**Right Elevation - 1413 Russell**

$\frac{1}{4}'' = 1'-0''$



**Rear Elevation - 1413 Russell**

$\frac{1}{4}'' = 1'-0''$