



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
316 South 11th Street
January 18, 2012

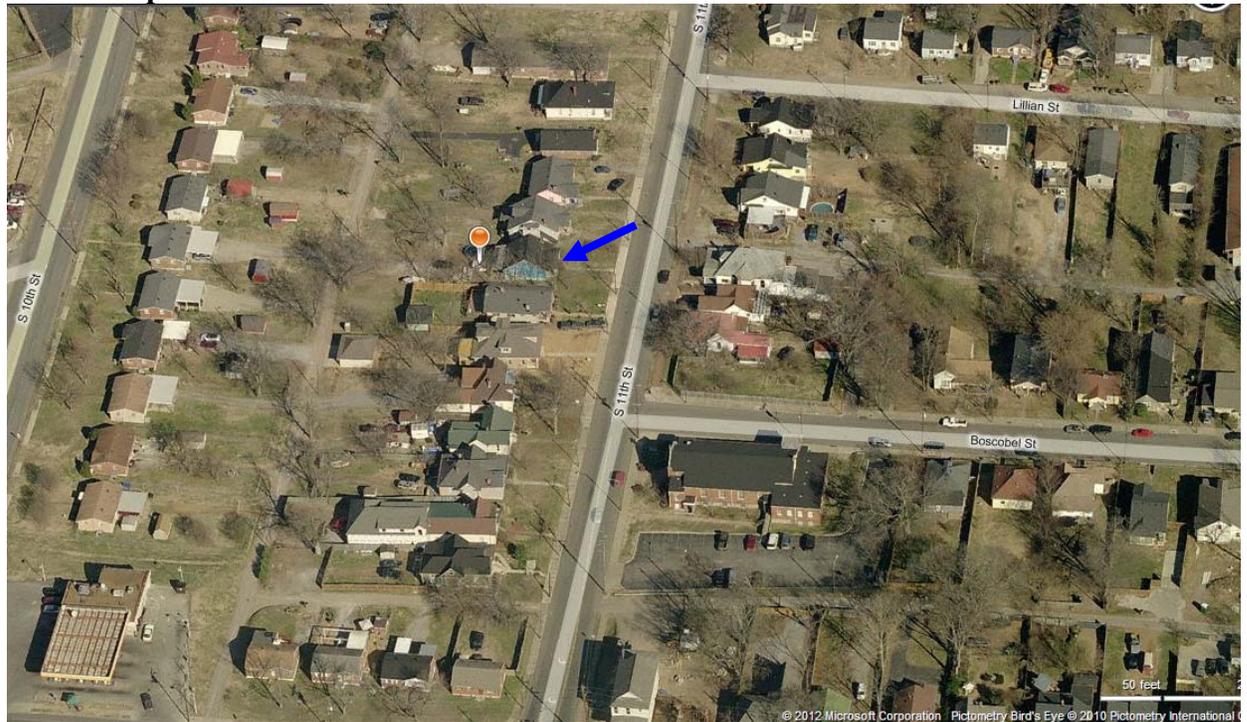
Application: New Construction—addition
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08313008500
Applicant: Peggy Newman
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Application is to construct a two-story rear addition to a one- and one-half story house. As part of the project, the existing rear porch addition will be demolished.</p> <p>Recommendation Summary: Staff recommends approval of the application with the following conditions:</p> <ol style="list-style-type: none"> 1. The applicant to consider stepping the addition in two feet (2') on the ground floor so that the walls of the upper and lower levels will be stacked and easier to build; 2. Only one, central window opening be created in the historic house's gable field on the left elevation; 3. The drawings be revised to show the accurate existing foundation height and that the foundation height of the addition match that of the house; 4. At least one window opening of at least four square feet (4 sq. ft.) be added to second story of the addition's right and left elevations. 5. Staff review and approve the color of the asphalt shingle and the window and door specifications prior to purchase and installation. 	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Background: 316 South 11th Street is a one- and one-half story bungalow constructed c. 1920. Based on its age, form, and architectural details, the house is contributing to the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.

3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

Brick molding is required around doors, windows and vents within masonry walls.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

10. Additions to Existing Buildings

- a. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.

A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- b. Additions should not be made to the public facades of existing buildings. Additions may be located to the rear of existing buildings in ways which do not disturb the public facades.

Placement

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

Foundation

- *Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding) since the change in materials will allow for a minimum of a four inch (4") inset.*
- *Foundation height should match or be lower than the existing structure.*
- *Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in materials or a change in masonry coursing, etc.*

Roof

- *The height of the addition's roof and eaves must be less than or equal to the existing structure.*
- *Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*
- *Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building.*

c. Additions must not imitate earlier styles or periods of architecture.

Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

Analysis and Findings:

Application is to construct a two-story rear addition to a one- and one-half story house. As part of the project, the existing rear porch addition will be demolished.

Location and Setback: The proposed addition is located entirely behind the existing historic house. On the right and left sides, the addition is inset one foot (1') from the historic house on the ground floor and two feet (2') on the second level. Staff asks the applicant to consider stepping in two feet (2') on the ground floor so that the walls of the upper and lower levels are stacked and easier to build. The house meets all the base zoning requirements for setbacks. On the right side, the addition is a minimum of nine feet (9') from the side property line, and the left side of the addition is set back from the side property line a minimum of approximately eight feet (8'). The addition is set over ninety-feet (90') from the rear property line.

Staff finds the location and setbacks of the proposed addition to meet Sections II.B.3 and II.B.10 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Height & Scale: The proposed addition will be lower in height than the existing house. The two-story portion of the addition will have a maximum ridge height of twenty-two feet, nine inches (22'9"), which is approximately six inches (6") lower than the ridge height of the historic house. The eave height will be eleven feet (11') on the first level,

matching the eave height of the house, and eighteen feet, six inches (18'6") on the second level. The one-story portion of the addition will have an eave height of approximately eleven feet (11'), matching the eave height of the house, and a ridge height of approximately fourteen feet (14'). The drawings indicate that the existing house's foundation height is approximately four blocks high with no skirt board, but the photos indicate that the foundation is between two and three blocks high with a skirtboard. The foundation on the addition is drawn as four blocks high, matching the foundation height of the house. Staff asks that a condition of approval be that the drawings be revised to show the accurate foundation height of the house and that the foundation height of the addition match that of the house.

The existing house is approximately twenty-eight feet, six inches (28'6") wide, not counting a two-foot (2') wide bay on the right side of the house, and approximately thirty-two feet, ten inches (32'10") deep, not including the porch which is approximately seven feet (7') deep. The proposed addition will have a maximum width of approximately twenty-six feet, six inches (26'6") and a maximum depth of twenty-six feet (26'). The two-story portion of the addition extends on the ground floor approximately fifteen feet (15') beyond the back wall of the house and is twenty-six feet, six inches (26'6") wide on the ground floor. On the second floor, this addition steps in an additional one foot on each side and is therefore twenty-four feet, six inches wide (24'6"). As mentioned earlier, staff recommends that the applicant consider stepping in the ground floor of the addition an additional one foot (1') on each side so that the walls of the upper and lower stories are stacked. The one story portion of the addition is located towards the left side of the house and is approximately eleven feet (11') deep and fifteen feet (15') wide. The footprint of the existing house is approximately nine-hundred and fifty-five square feet (955 sq. ft.) and the footprint of the addition is approximately five-hundred and sixty-two square feet (562 sq. ft.).

Staff finds the height and scale of the proposed addition to meet Sections II.B.1., II.B.2., and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof: The existing house has a side-gabled roof with a slope of approximately seven-twelve (7/12). The proposed two-story portion and one-story portion of the addition have gabled roofs, both with a slope of three-twelve (3/12). Although the Commission often requires a minimum roof pitch of 6/12, it will likely not be seen from the street and will therefore not be detrimental to the district.

Staff finds the addition's roof to meet Sections II.B.5. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: On the existing house, some changes will be made to the window and door openings. On the front façade, the applicant will be restoring the original doorway configuration with a wood door and flanking sidelights. On the left elevation, ground floor, two two-foot square (2' x 2') windows will be added near the

front of the house where there are currently no window openings. On the second story, three two-foot square (2' x 2') windows will replace a non-historic window opening. Staff recommends that only one, central window be situated in this location. One window will be more in keeping with the type of window and vent openings typically seen in side gable fields. On the right elevation, second story, a tri-part window will replace a non-historic window opening. On the addition, staff asks that at least one window that is a minimum of four square feet (4 sq. ft.) be added on each of the right and left elevation's upper stories. The windows should be located near the middle of those facades. Without windows at these locations, there is an expanse of wall that is more than twenty-feet (20') deep without a window or a door opening. The rear façade does not have any large expanses without a door or a window opening.

With the inclusion of the window openings on the second story on the left and right facades and with the elimination of two of the three windows on the left elevation's gable field, staff finds the project's proportion and rhythm of openings to meet Section II.B.7. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: The proposed addition will be clad in fiber cement lap siding with a maximum reveal of five inches (5"). The foundation will either match the house's stone foundation or will be split face concrete block, both of which are appropriate. The roof will be architectural shingles and staff asks that a condition of approval be that staff review and approve the color of the shingles prior to purchase and installation. The windows and doors will be wood, and staff asks that a condition of approval be that staff review and approve the window and door specifications prior to purchase and installation.

With the staff's final approval of the asphalt shingle color and window and door specifications, staff finds the location and setbacks of the proposed additions to meet Sections II.B.4. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Staff recommends approval of the application with the following conditions:

1. The applicant to consider stepping the addition in two feet (2') on the ground floor so that the walls of the upper and lower levels will be stacked and easier to build;
2. Only one, central window opening be created in the historic house's gable field on the left elevation;
3. The drawings be revised to show the accurate existing foundation height and that the foundation height of the addition match that of the house;
4. At least one window opening of at least four square feet (4 sq. ft.) be added to second story of the addition's right and left elevations.
5. Staff review and approve the color of the asphalt shingle and the window and door specifications prior to purchase and installation.

With these recommendations, staff finds that that the design, massing and siting of the additions meet Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.



316 S. 11th Street, front façade



316 S. 11th Street, front and left facades



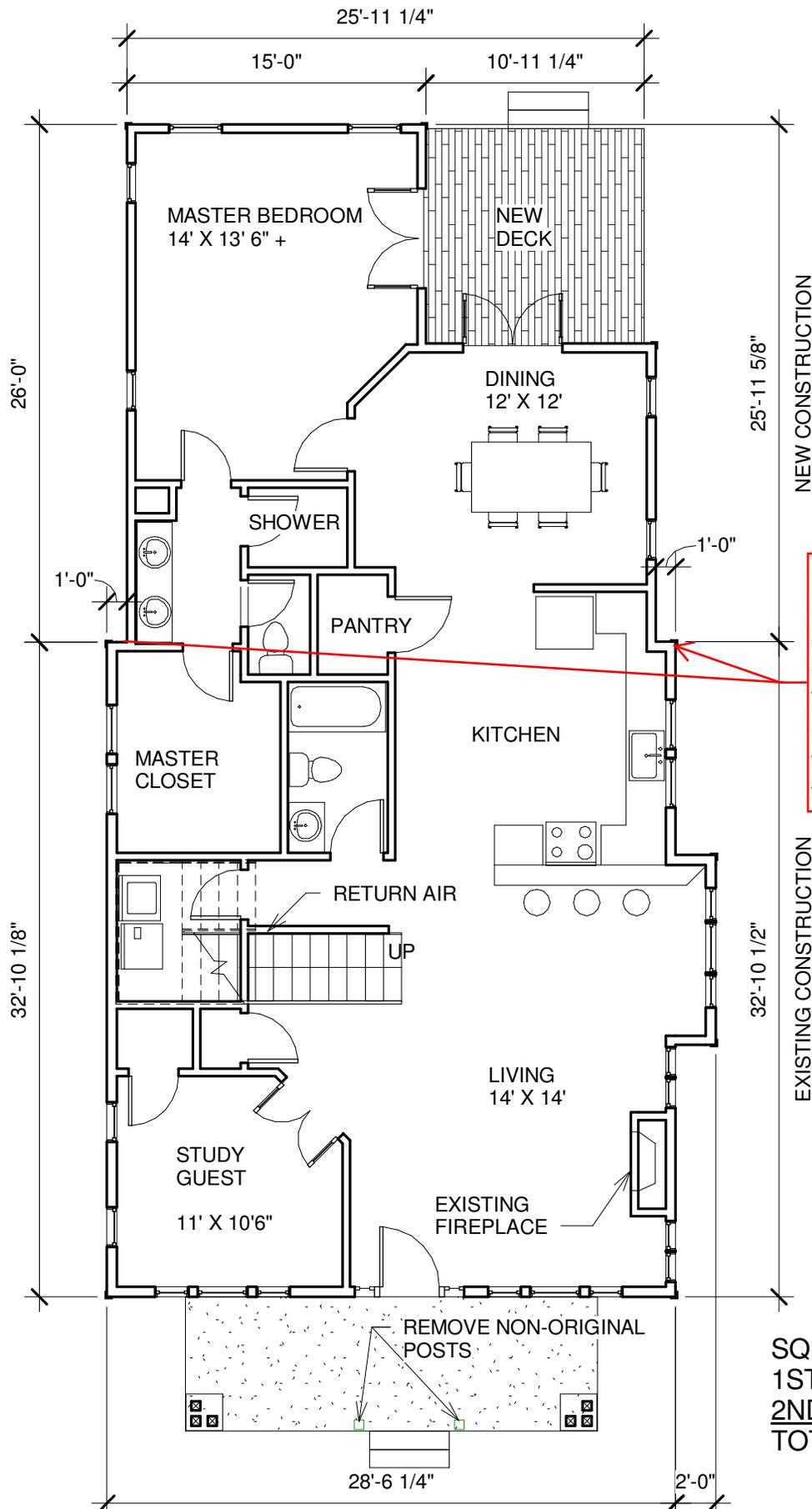
316 S. 11th Street, right side facade



316 S. 11th Street, rear façade. The rear porch will be demolished.



316 S. 11th Street, rear and right facades. The rear porch will be demolished.

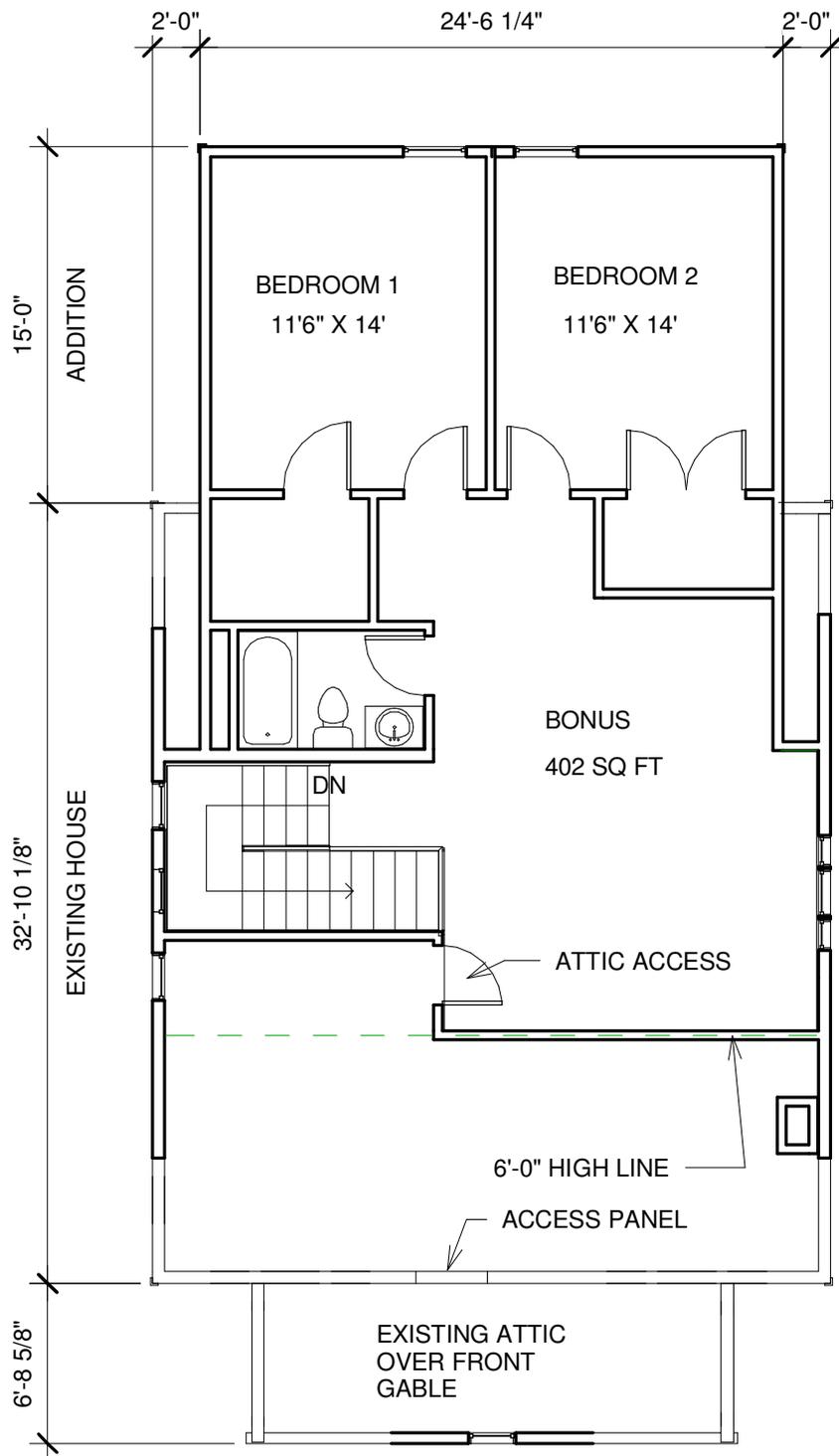


MHZC staff note: Staff recommends stepping in 2' on the right and left sides of the addition so that the wall on the ground floor lines up with the wall on the upper floor.

SQ FT	
1ST FLR	1517 SQ FT
2ND FLR	833 SQ FT
TOTAL	2340 SQ FT

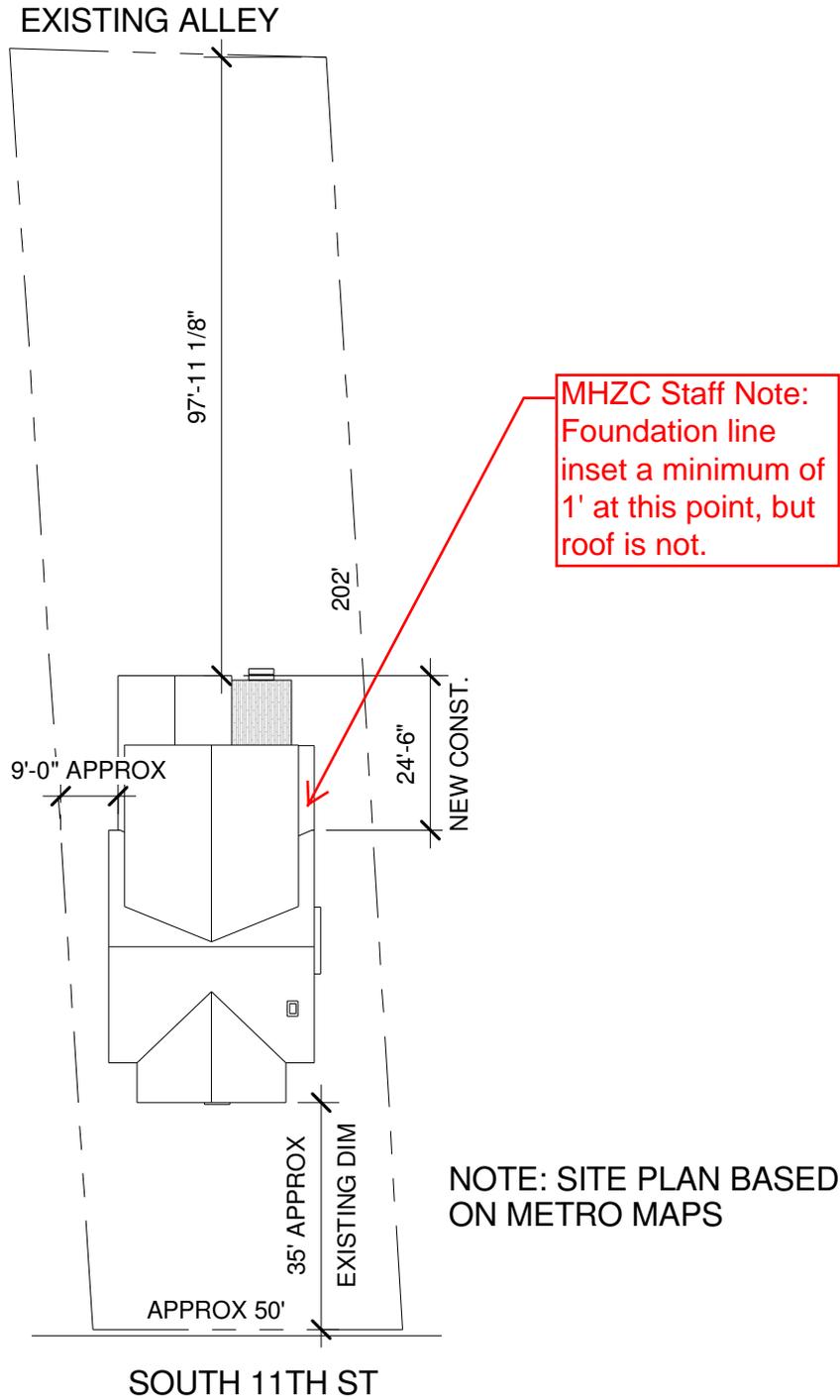
FIRST FLOOR PLAN - 316 S. 11th ST

1/8" = 1'-0"



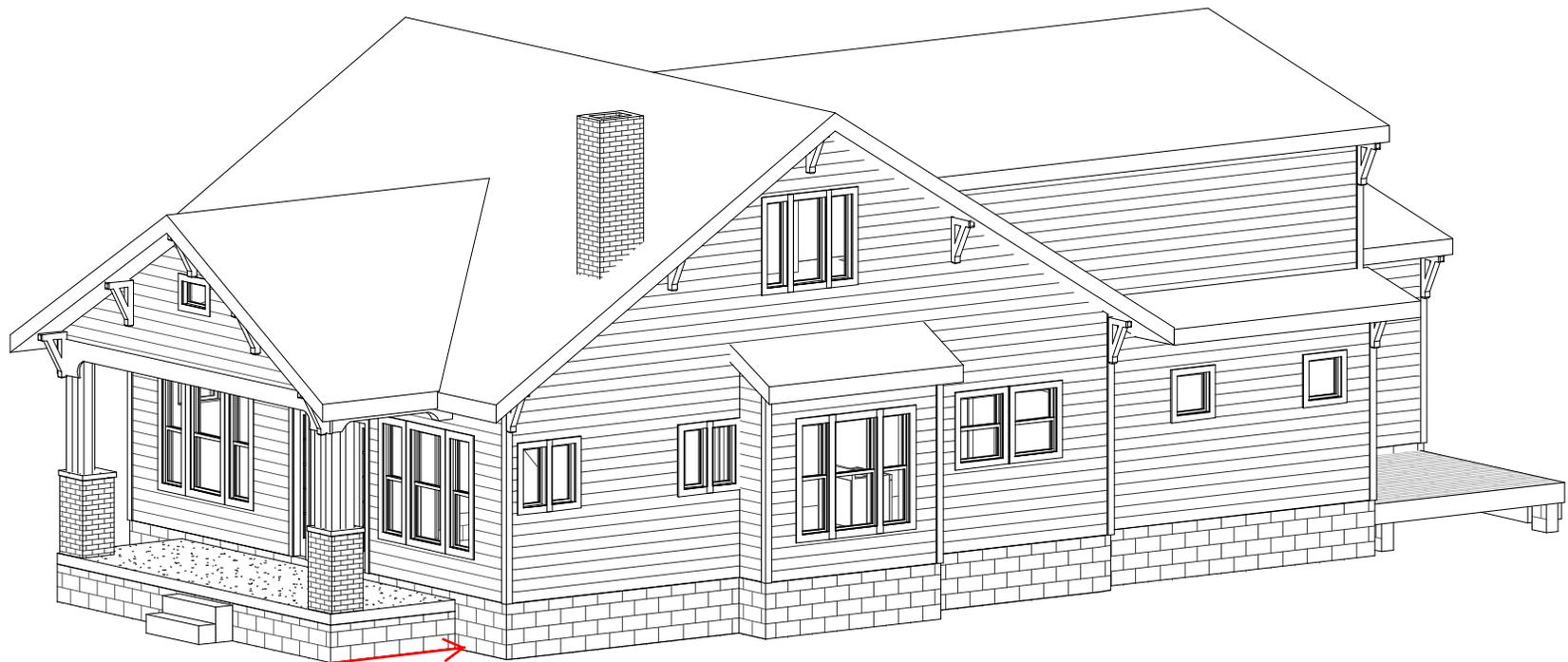
SECOND FLOOR-
316 S. 11th ST

1/8" = 1'-0"



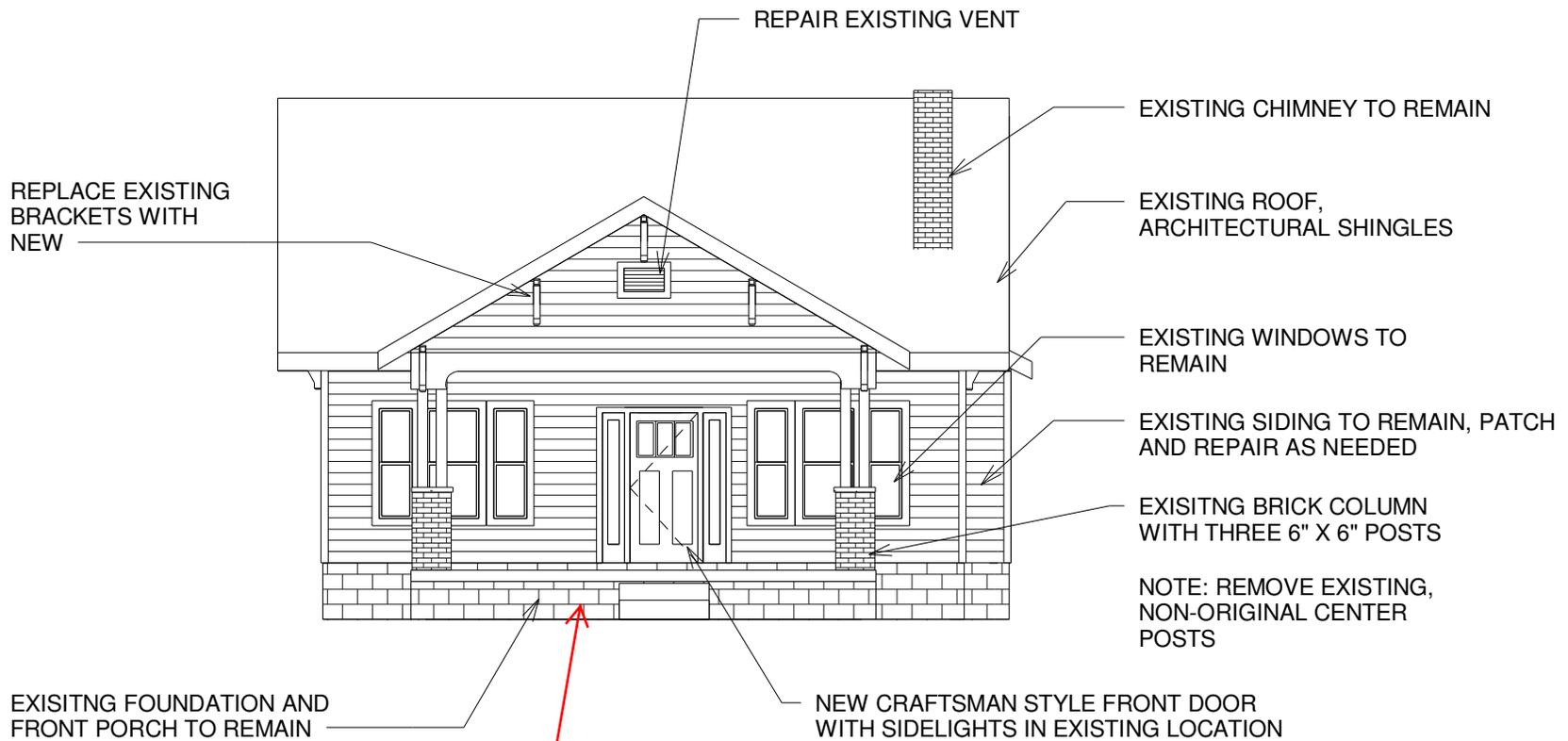
SITE PLAN 316 S. 11th ST

1" = 30'



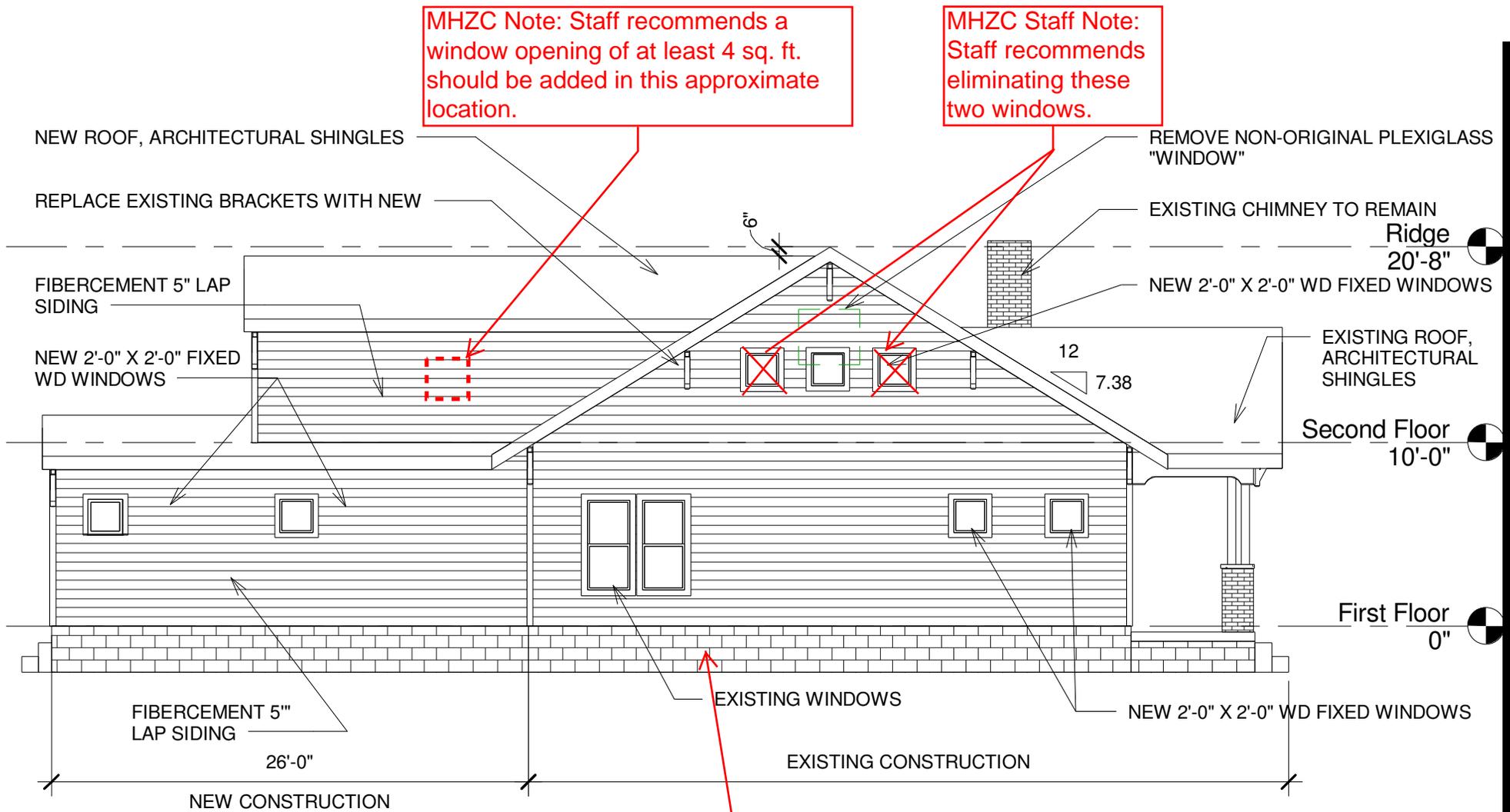
MHZC Staff note:
drawings showing
accurate
foundation height
to be submitted.

3D VIEW 316 S. 11TH ST



FRONT ELEVATION - 316 S. 11th St 1/8" = 1'-0"

MHZC Staff note:
 drawings showing
 accurate
 foundation height
 to be submitted.



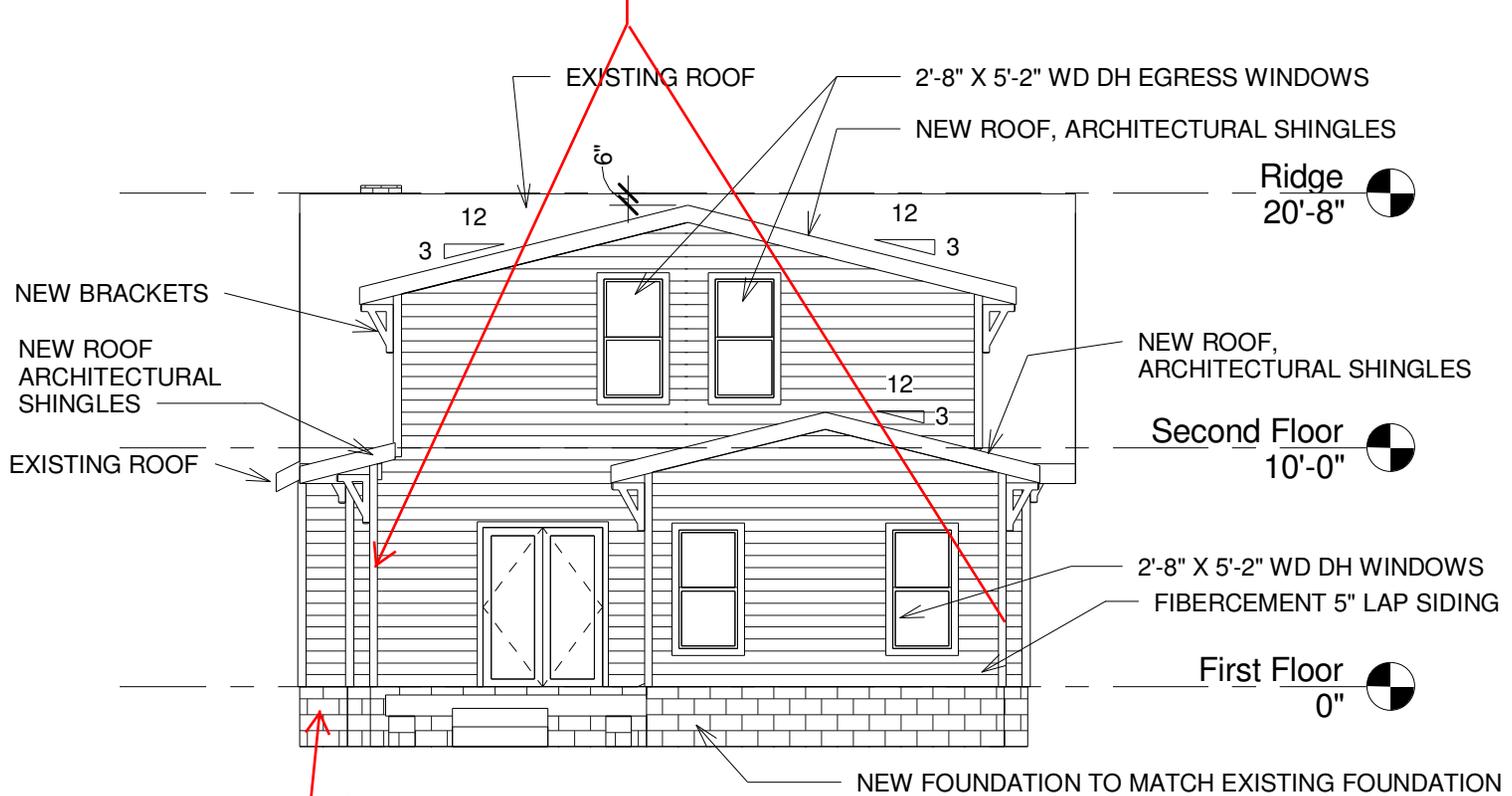
MHZC Note: Staff recommends a window opening of at least 4 sq. ft. should be added in this approximate location.

MHZC Staff Note: Staff recommends eliminating these two windows.

LEFT ELEVATION - 316 S. 11th ST 1/8" = 1'-0"

MHZC Staff note: drawings showing accurate foundation height to be submitted.

MHZC Staff note: Staff recommends setting in 2' on each side on the ground floor so that the upper and lower walls of the addition line up.

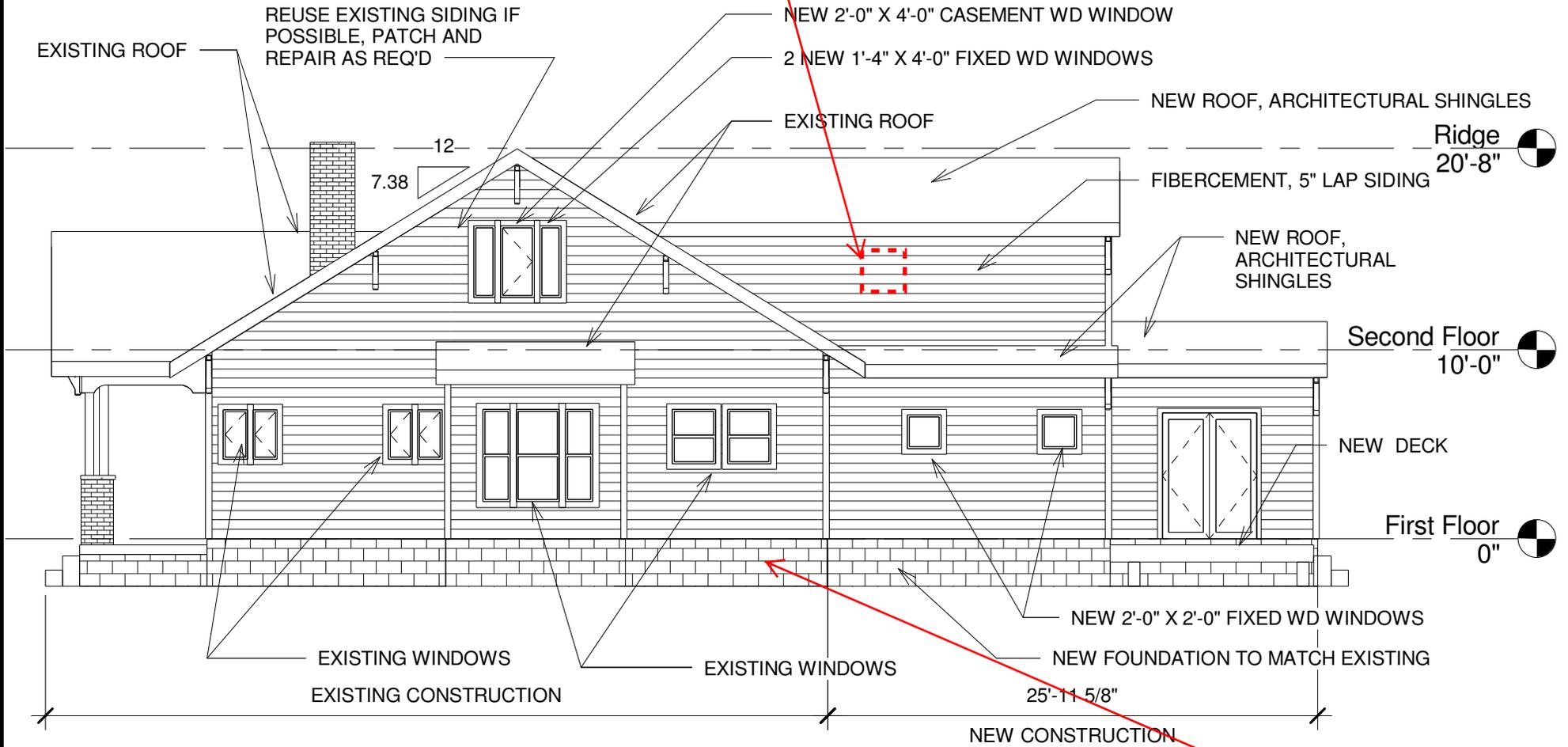


REAR ELEVATION - 316 S. 11th ST

1/8" = 1'-0"

MHZC Staff note: drawings showing accurate foundation height to be submitted.

MHZC Note: Window opening of at least 4 sq. ft. should be added in this approximate location.



RIGHT ELEVATION - 316 S. 11th ST

1/8" = 1'-0"

MHZC Staff note: drawings showing accurate foundation height to be submitted.