



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
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**STAFF RECOMMENDATION**  
**3815 Central Avenue**  
**January 18, 2012**

**Application:** New Construction—Addition  
**District:** Richland-West End Neighborhood Conservation Zoning Overlay  
**Council District:** 24  
**Map and Parcel Number:** 10312027300  
**Applicant:** John and Linsay Ozier  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Proposed construction of a rear addition; a portion of the addition will be wider than the existing historic house. A non-contributing shed will be demolished as part of the project.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the project with the following conditions:</p> <ol style="list-style-type: none"> <li>1. staff review and approve the asphalt shingle color, brick wall, and stone (if the fireplace is constructed);</li> <li>2. the windows have fully simulated divided lights;</li> <li>3. the front parking pad area be eliminated from the project.</li> </ol> <p>With these conditions, staff finds the addition proposed for 3815 Central Avenue meets Sections II.B.1. and II.B.2. of the <i>Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



**Background:** 3815 Central Avenue is a one-story brick bungalow constructed c. 1915. It is listed as contributing structure to the Richland-West End National Register Historic District.

**Applicable Design Guidelines:**

**II.B.1 New Construction**

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.*

*Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in material, coursing or color.*

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setback reductions will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

d. **Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

e. **R o o f S h a p e**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

g. **P r o p o r t i o n a n d R h y t h m o f O p e n i n g s**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)*

*Brick molding is required around doors, windows and vents within masonry walls.*

#### *i. Public Spaces*

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

### **II.B.2. Additions**

a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

*Additions normally not recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic buildings that increase habitable space or change exterior height should be compatible, by not contrasting greatly, with the adjacent historic buildings.*

#### *Placement*

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

#### *Rear additions wider than existing building*

- *Rear additions that are wider than or equal in width to an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.*

#### *Foundation*

- *Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the*

*addition to be wood (or appropriate substitute siding) since the change in materials will allow for a minimum of a four inch (4") inset.*

- *Foundation height should match or be lower than the existing structure.*
- *Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in materials or a change in masonry coursing, etc.*

#### *Roof*

- *The height of the addition's roof and eaves must be less than or equal to the existing structure.*
- *Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*
- *Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building.)*

- b. The creation of an addition through enclosure of a front porch is not appropriate.

*The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.*

*Side porch additions may be appropriate for corner building lots or lots more than 60' wide.*

- c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

- d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

*Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

- e. Additions should follow the guidelines for new construction.

### **Analysis and Findings:**

Location & Setback: The proposed addition is located behind the existing historic house in the rear yard. On the west side, the addition at its widest point will be in line with the side wall of the existing house. However, on east side, the addition will extend approximately seven feet (7') beyond the side wall of the existing house. This extra width will not occur until twenty-five feet (25') behind the back wall of the existing house. A connector that is twenty five feet (25') deep and twenty-one feet, eight inches

(21'8") wide, set in five feet, nine-inches (5'9") from both sidewalls of the house, will separate the existing historic house from the wider portion of the addition.

Staff finds that the addition being wider than the existing house to meet the design guidelines because the existing house does sit to the east side of the lot, so that it is five feet (5') from the property line on the east side and twelve feet (12') from the property line on the west side. In addition, the connector portion of the addition sets in over five feet (5') from both of the sidewalls of the house and pushes the wider portion of the addition twenty-five feet (25') from the back wall of the house, lessening its impact. The proposed addition also meets all of the base zoning setback requirements; at its widest point, it is five feet (5') from both side property lines and is approximately thirty-five feet (35') from the rear property line.

Staff finds that the location and setbacks for the proposed addition meet sections II.B.1.c. and II.B.2.a. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Height & Scale: The ridge of the connector portion of the addition will be approximately fourteen feet, six inches (14'6") tall, which is approximately two feet (2') lower than the existing historic house. The eave height of the connector will be approximately nine feet, six inches (9'6") and will match the eave height of the existing house. The applicant has indicated that the twenty-three foot (23') high chimney shown in the drawings will likely be eliminated from the project; however, chimneys are not considered in review of the appropriate height of the building. The wider portion of the addition will match the eave and the ridge heights of the historic house, which are nine feet, six inches (9'6") and sixteen feet, six inches (16'6"), respectively. With the exception of the chimney, the addition is not taller than the original house, at any point. Staff finds the proposed heights to be appropriate because the portion of the addition that attaches to the house is lower in height than the house and the addition does not expand to match the height of the existing house until twenty-five feet (25') behind the back wall of the house, lessening its impact.

The existing house is approximately thirty-three feet (33') wide and fifty feet (50') deep, including the eight-foot (8') deep porch. The connector portion of the addition will be twenty-five feet (25') deep and twenty-one feet, eight inches (21'8") wide. The wider portion of the addition will be thirty-five feet, ten inches (35'10") deep and forty feet (40') wide. In total, the addition will be sixty-feet, ten inches deep (60'10") deep. The existing house's square footage, excluding the porch, is one thousand, three hundred, and ninety-seven square feet (1397 sq. ft.), while the proposed addition's footprint will be one thousand, nine hundred and ninety-two square feet (1992 sq. ft.). After construction of the addition, the lot will have approximately sixty-five percent (65%) open space. Staff finds the scale of the addition to be appropriate because its impact is lessened by the connector portion of the addition. Also, there are other houses on this block of Central Avenue with similar footprints and open space ratios in the range of sixty-one to sixty-seven percent (61-67%).

Staff finds that the addition's height and scale of the addition meet sections II.B.1.a., II.B.1.b. and II.B.2.a. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: The addition will be clad in five inch (5") cement fiberboard with a reveal of four inches (4"). The foundation will be split face block, and the roof will be asphalt shingle. Staff asks to approve the color of the asphalt shingle prior to purchase and installation. The windows and doors will be wood, and staff recommends that the windows either be one-over-one or have fully simulated divided lights. The column material for the connector portion of the addition will be wood. If the chimney is constructed, staff asks to review and approve a stone sample for its cladding prior to purchase of the material. Staff also asks to review a brick sample for the wall prior to the purchase of the material.

Staff finds the proposed materials, with the aforementioned final staff signoffs, to meet section II.B.1.d. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Roofs: The connector portion of the addition will have a gabled roof with a slope of approximately five-twelve (5/12). The wider portion of the addition will have a side-gabled roof with a slope of approximately five-twelve (5/12). The historic house has a hipped roof with a five-twelve (5/12) slope. Staff finds the proposed roof forms appropriate because their slope matches that of the existing house. In addition, the side gabled roof addition is appropriate to a hipped-roof house in this instance because the side gabled portion of the addition does not start until twenty-five feet (25') behind the back wall of the existing house and therefore will have less impact on the house's roof form.

Staff finds the proposed roof forms for the addition to meet sections II.B.1.e. and II.B.2.a. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The connector portion of the addition will contain three sets of double doors on each façade (assuming the chimney is not constructed). This will give the connector a more open look and feel. The wider portion of the addition has two windows on both the east and west facades, both of which are taller than they are wide, which is appropriate. The west elevation has an expanse of approximately twenty-five feet (25') without a window or door opening. Staff finds this expanse appropriate in this instance because it is located more than thirty-five feet (35') behind the back wall of the historic house. On the east elevation, there is an expanse of approximately twenty feet (20') with no window or door opening. Similarly, staff finds this expanse appropriate because it is located more than twenty-five feet behind the back wall of the historic house. The rear elevation has no large expanses without a window or a door opening.

Staff finds that the addition's proportion and rhythm of openings meets section II.B.1.g. and II.B.2 of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

Appurtenances: The site plan indicates that a front yard parking area will be added to the existing curb cut and driveway. Parking pads in front yards do not meet the design guidelines, and staff asks that a condition of approval be that the front parking pad be eliminated from the project. The applicant has agreed to this condition. Staff finds that the addition's proportion and rhythm of openings meets section II.B.1.i. and II.B.2 of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.

An eight-foot (8') high privacy wall constructed in brick will be erected extending from the back southeast corner of the house to the east side property line, continuing along the east property line for approximately twenty-five feet (25'), when it will turn to meet the northeast corner of the wide portion of the addition.

Staff recommends approval of the project with the following conditions:

4. staff review and approve the asphalt shingle color, brick wall, and stone (if the fireplace is constructed);
5. the windows have fully simulated divided lights;
6. the front parking pad area be eliminated from the project.

With these conditions, staff finds the addition proposed for 3815 Central Avenue meets Sections II.B.1. and II.B.2. of the *Richland-West End Neighborhood Conservation District: Handbook and Design Guidelines*.



3815 Central Avenue, front façade.



3815 Central Avenue, front and right side facade



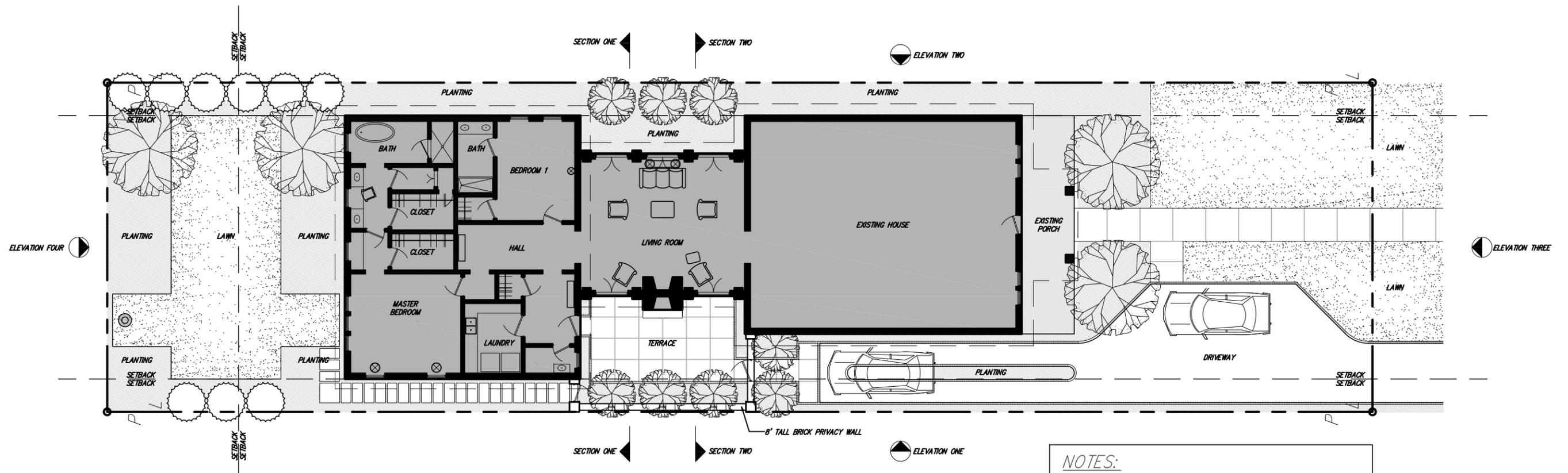
3815 Central Avenue, left facade



3815 Central Avenue, rear facade



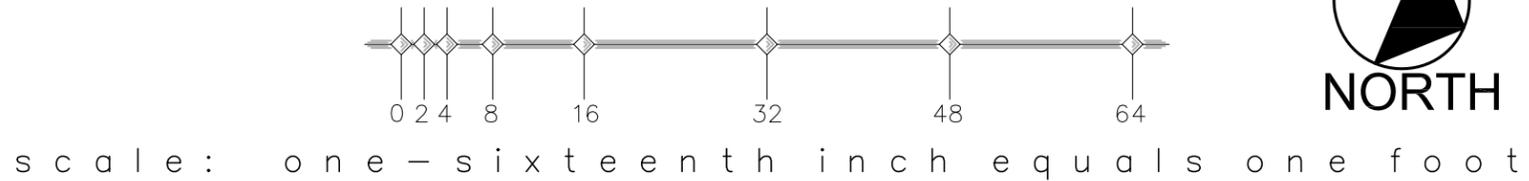
3815 Central Avenue, rear yard. Shed to the right will be demolished.



**NOTES:**  
 Lot size: 50' x 192'-6" = 9,625 sf  
 45% of 9,625 sf = 4,331.25 sf  
 Existing House Footprint = 1,397sf  
 Addition Footprint = 1,992 sf  
 TOTAL Proposed House = 3,389 sf

PROPOSED SITE PLAN

A HOUSE ADDITION FOR:  
**MR. & MRS. JOHN N. OZIER**  
 3815 CENTRAL AVENUE  
 NASHVILLE, TENNESSEE



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*EAST ELEVATION*



*FRONT ELEVATION*



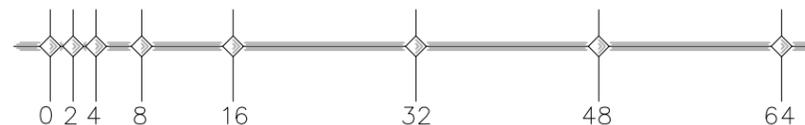
*WEST ELEVATION*



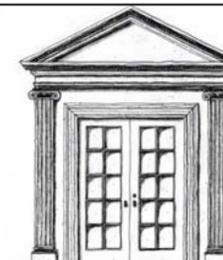
*REAR ELEVATION*

## EXISTING HOUSE ELEVATIONS

A HOUSE ADDITION FOR:  
**MR. & MRS. JOHN N. OZIER**  
3815 CENTRAL AVENUE  
NASHVILLE, TENNESSEE



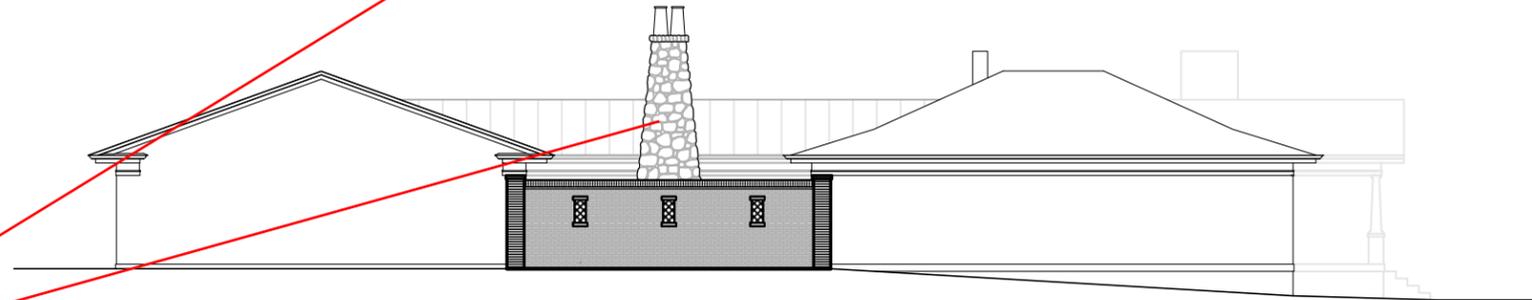
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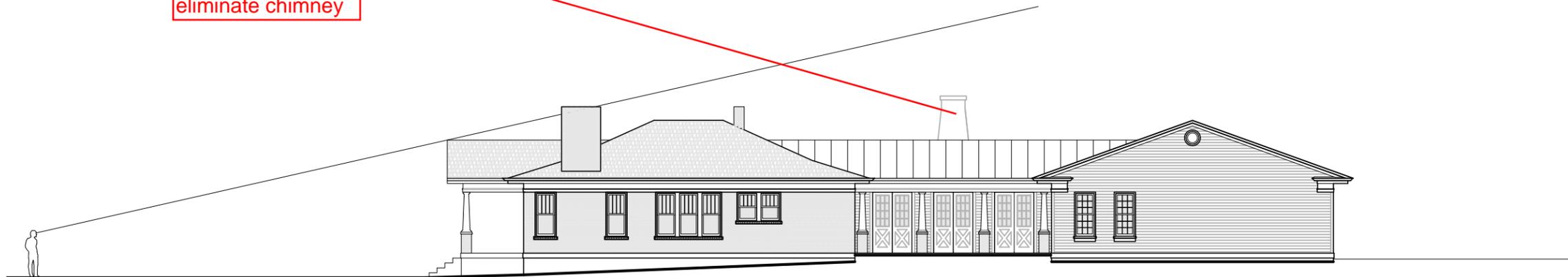


ELEVATION ONE (a)



ELEVATION ONE (b)

MHZC Note:  
applicant will likely  
eliminate chimney



ELEVATION TWO



ELEVATION THREE



ELEVATION FOUR



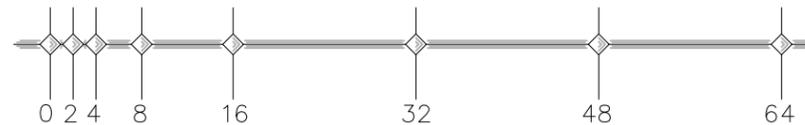
SECTION ONE



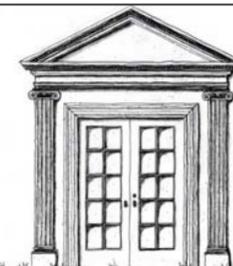
SECTION TWO

PROPOSED ADDITION ELEVATIONS

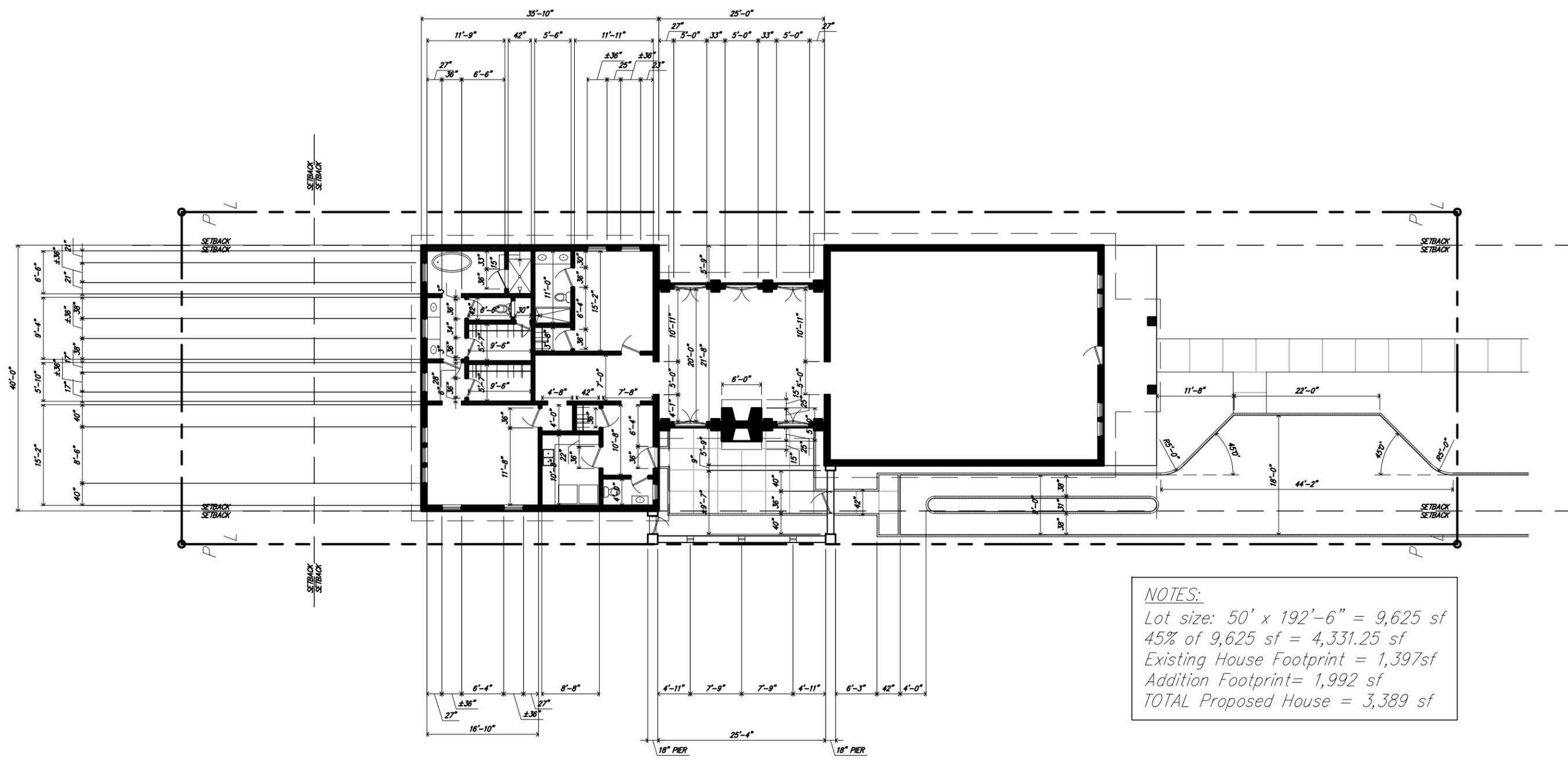
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scale: one - sixteenth inch equals one foot



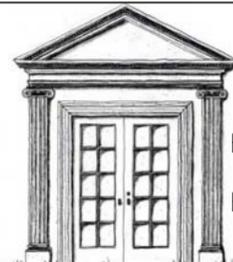
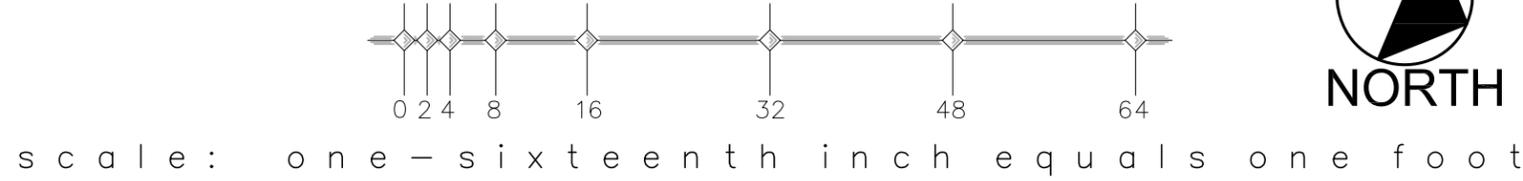
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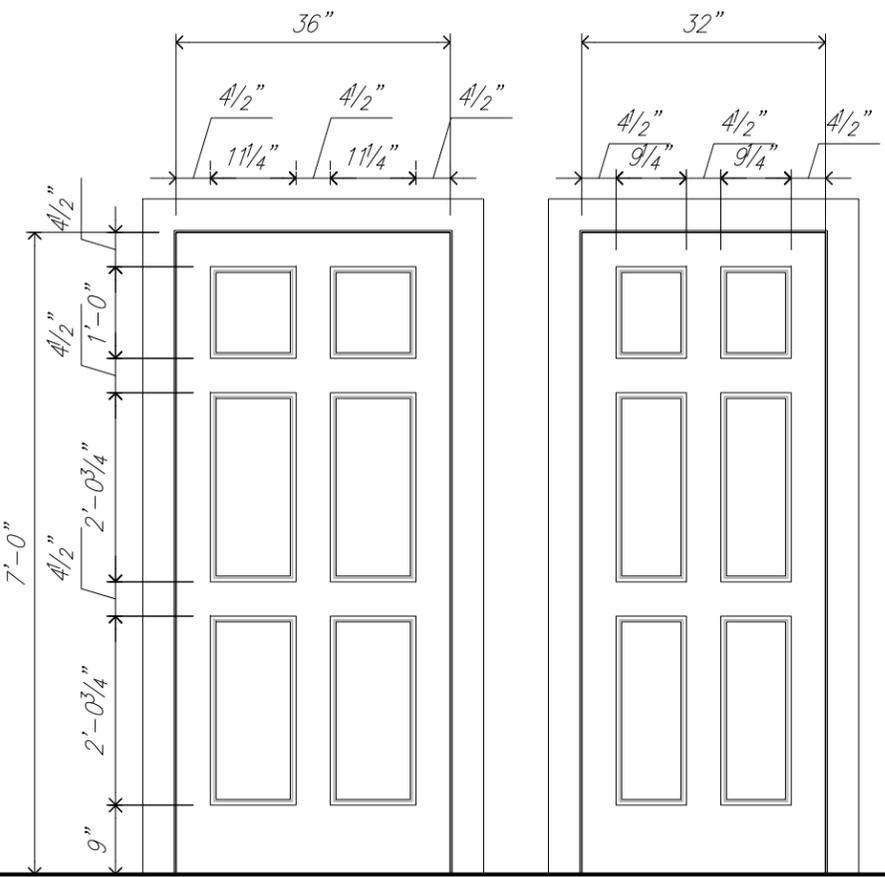
PROPOSED LAYOUT PLAN

A HOUSE ADDITION FOR:  
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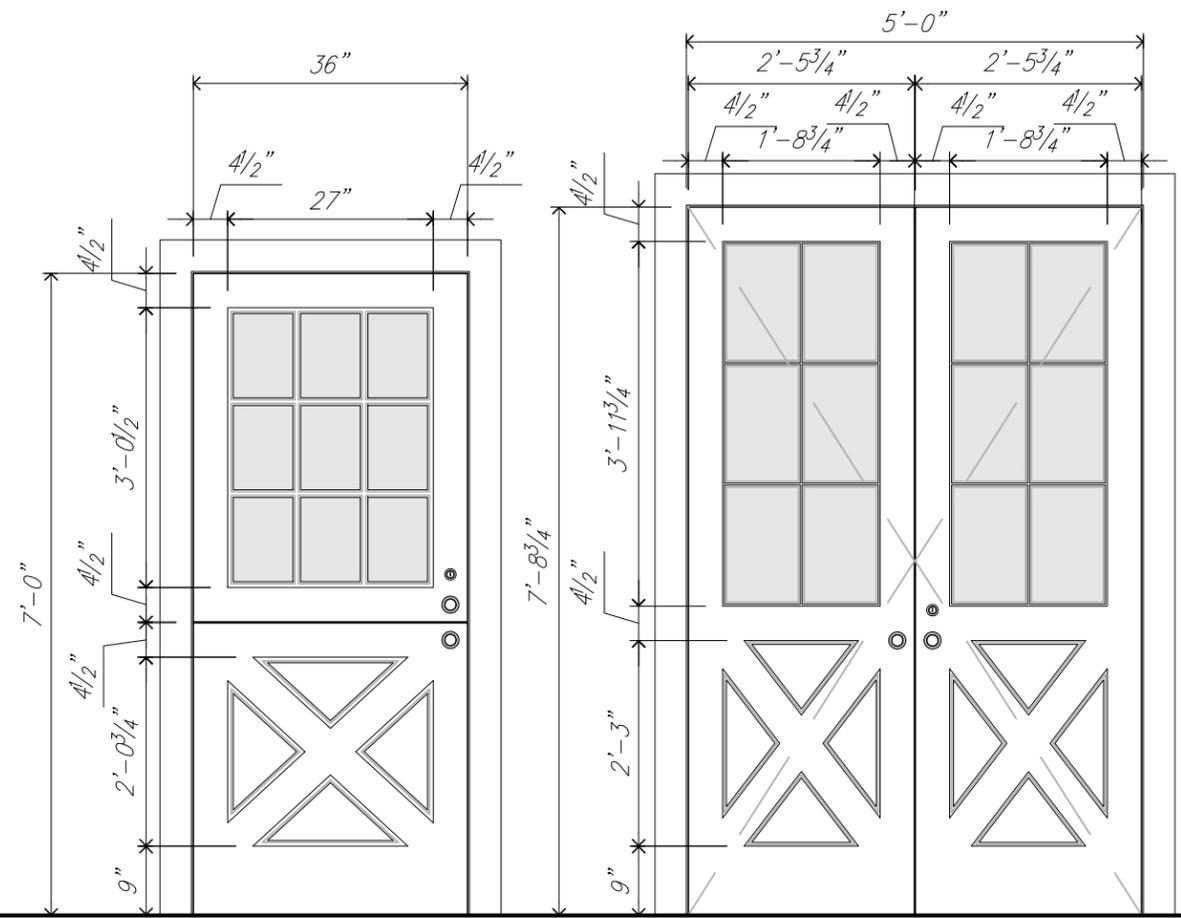
INTERIOR DOORS



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QUANTITY: (1)

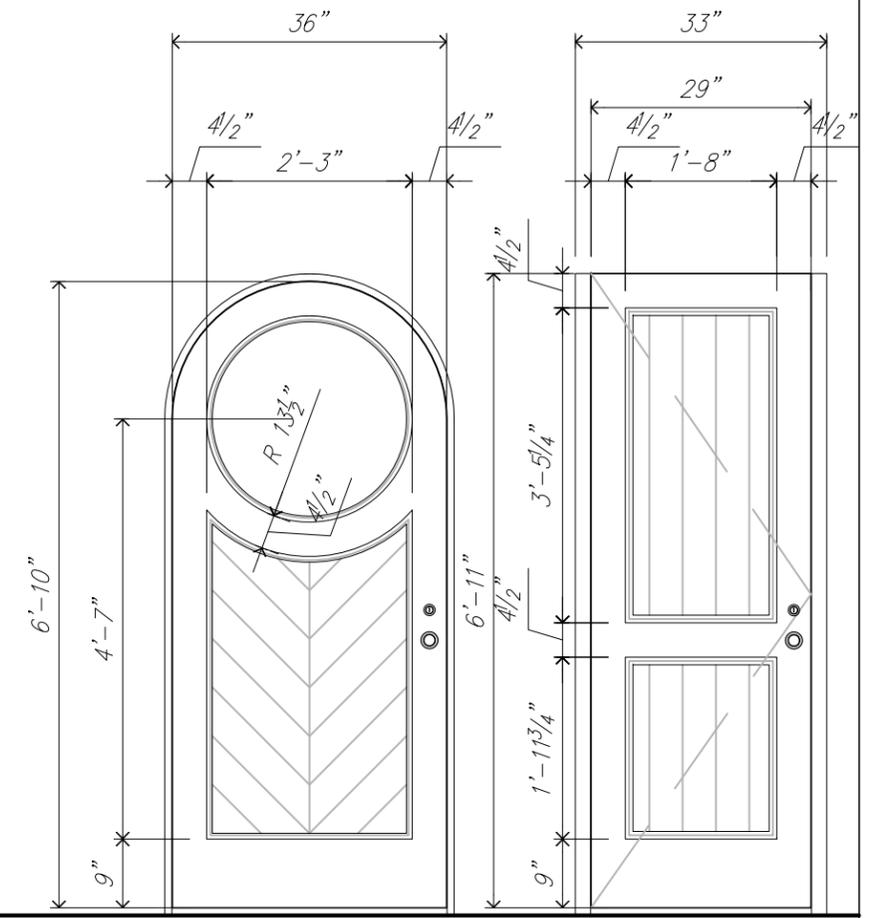
EXTERIOR DOORS



QUANTITY: (1)

QUANTITY: (5)

GARDEN GATES

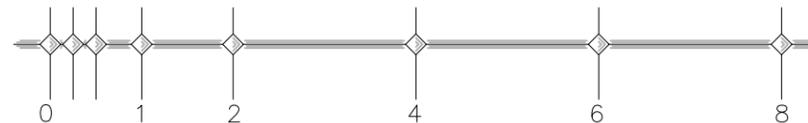


QUANTITY: (1)

QUANTITY: (1)

DOORS SCHEDULE

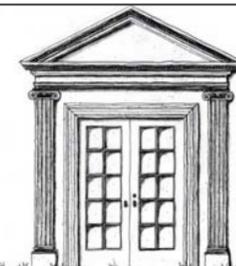
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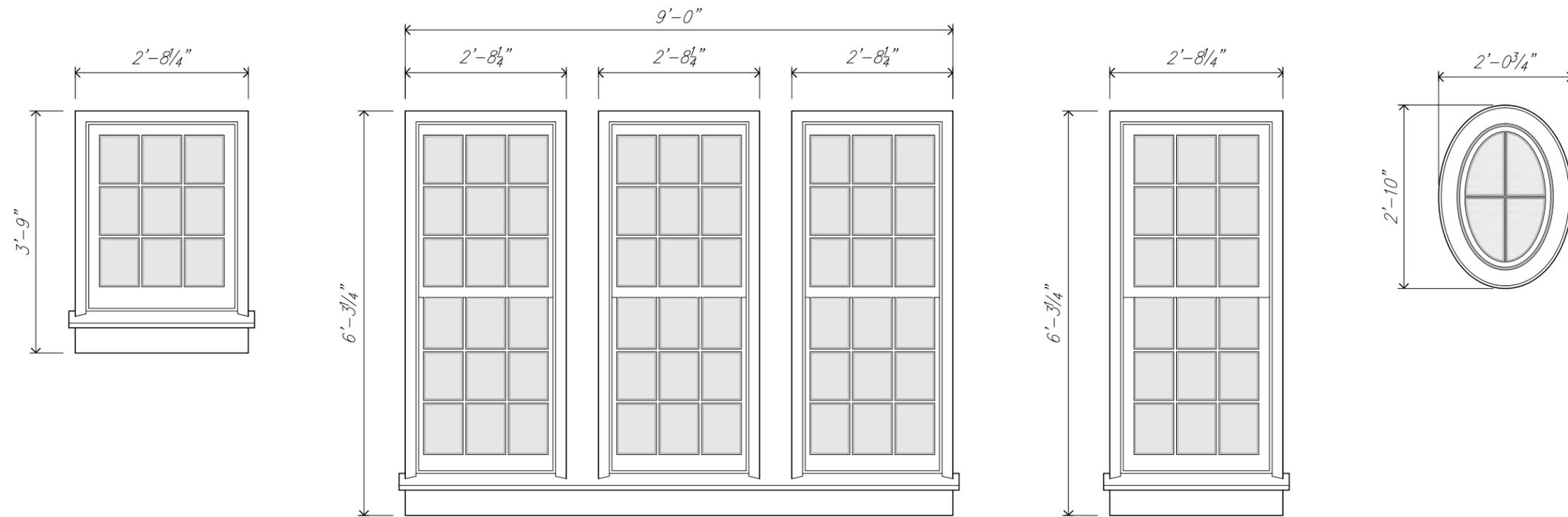
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**NORTH**



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QUANTITY: (3)

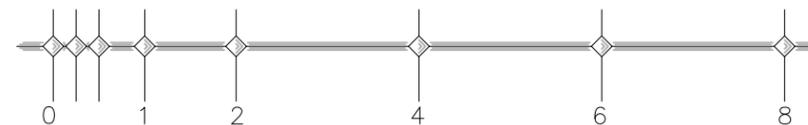
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## WINDOWS SCHEDULE

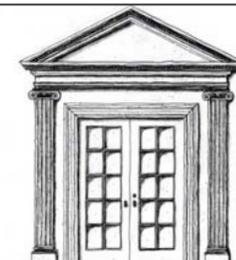
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scale: one-half inch equals one foot



**NORTH**



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