



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**1203 Forrest Avenue**  
**June 20, 2012**

**Application:** Infill  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08309009400  
**Applicant:** David Baird, architect  
**Project Lead:** Robin Zeigler robin.zeigler@nashville.gov

<p><b>Description of Project:</b> Application is to construct a new single-family residence.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the application with conditions that staff review and approve:</p> <ul style="list-style-type: none"> <li>• the roof color,</li> <li>• window and door materials and specifications; and</li> <li>• foundation height.</li> </ul> <p>With these condition, staff finds the project to meet Section II.B. of the <i>Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. New Construction

#### 1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

#### 2. Scale

The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

*Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.*

*Foundation lines should be visually distinct from the predominant exterior wall material.*

*Examples are a change in material, coursing or color.*

#### 3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.

#### 4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

#### 5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

## 7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)*

*Brick molding is required around doors, windows and vents within masonry walls.*

## 9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

## IV. B. Demolition

### 1. Demolition is inappropriate:

- a. if a building is of such architectural or historical interest and value that its removal would be detrimental to the public interest;
- b. if a building is of such old or unusual or uncommon design and materials that it could not be reproduced without great difficulty or expense; or
- c. if its proposed replacement would make a less positive visual contribution to the district, would disrupt the character of the district, or would be visually incompatible.

### 2. Demolition is appropriate:

- c. if a building has lost its architectural and historical integrity and importance and its removal will not result in a more negative, less appropriate visual effect on the district;
- d. if a building does not contribute to the historical or architectural character and importance of the district and its removal will result in a more positive, appropriate visual effect on the district; or
- e. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 91.65 of the historic zoning ordinance.

**Background:** In April 2012 the applicant received a Preservation Permit for a rear addition; however, once work began discovered that the house had suffered from damage from the 1998 tornado and poor repairs. In May, the Commission approved demolition based on the economic hardship of the structure. The applicant now proposes a new building.

## **Analysis and Findings:**

Location and Setback: The proposed infill is very similar to the historic home that was demolished, in terms of location, setbacks, width, height and massing. The side setbacks are five feet (5') and the front setback is approximately twenty-four (24'). The rear setback is sixty-two feet and the lot coverage is twenty-nine percent (29%).

Staff finds the location and setbacks of the proposed addition to meet Sections II.B.3 and II.B.10 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Height & Scale: The foundation is slightly taller than the homes to either side; however, this additional height is necessary for new construction and the overall height of the house, from grade, is the same as the historic house, at approximately twenty-six feet (26'). In addition, the plans note that the number of steps at the front porch need to be verified with grade. Staff recommends that the grade be verified before construction begins and if changes to the height of the house and/or foundation are necessary, that new drawings be submitted and reviewed by staff, prior to construction. The proposed eave and porch heights are also essentially the same as the historic house.

The proposed house has a maximum width of approximately thirty-one feet (31'). The original house was approximately thirty-three feet (33') wide at the front wall and the historic homes to either side are approximately thirty-two (32') wide.

The existing percentage of open space on the lot is seventy-five percent (75%). The new house will provide approximately seventy-one percent (71%) of open space. Staff finds this decrease in percentage of open space appropriate because the percentages of open space in the immediate vicinity vary from as little as fifty to sixty percent (50-60%) open space to as much as eighty percent (80%) open space.

Staff finds the height and scale of the proposed addition to meet Sections II.B.1., II.B.2., and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof: The historic house has a complicated Victorian roof form. The front and the side facades have cross-gables with a roof slope of 10/12. The main portion of the roof is a hipped roof form with a slope of 10/12, and at the rear is a historic addition with a 10/12 gabled form. The front porch's slope is 2/12. The new building will have a front-facing gable with a 10/12 pitch and the main roof section will have a 6/12 pitch, which are both in keeping with the design guidelines and the previous historic building.

Staff finds the addition's roof to meet Sections II.B.5. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: Staff finds that there are no large expanses of wall space without a door or window opening and that the window sizes and proportions are appropriate. Staff therefore finds the project's proportion and rhythm of openings to meet Section II.B.7. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: The foundation will be concrete block, the siding cement fiber lap siding with a five inch (5") reveal and the roof will be asphalt shingle and metal. Trim, columns and stairs will be cement fiber or wood and the windows will be wood. The material for the doors is unknown. Staff recommends final approval of roof color and window design.

With the staff's final approval of the roof color and window and door specifications, staff finds the project to meet Sections II.B.4. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Accessory buildings: No accessory buildings are planned at this time.

Appurtenances: the project will use the existing concrete walkway.

Staff recommends approval of the application with conditions that staff review and approve:

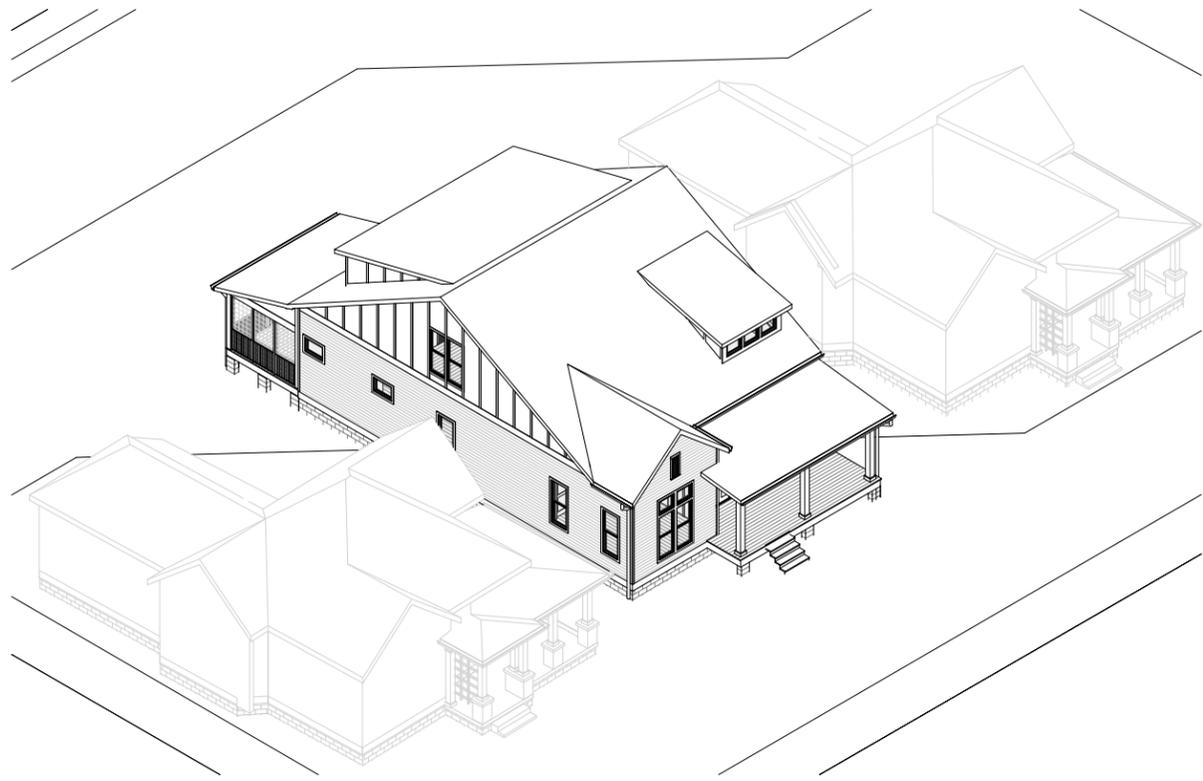
- the roof color,
- window and door materials and specifications; and
- foundation height.

With these condition, staff finds the project to meet Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

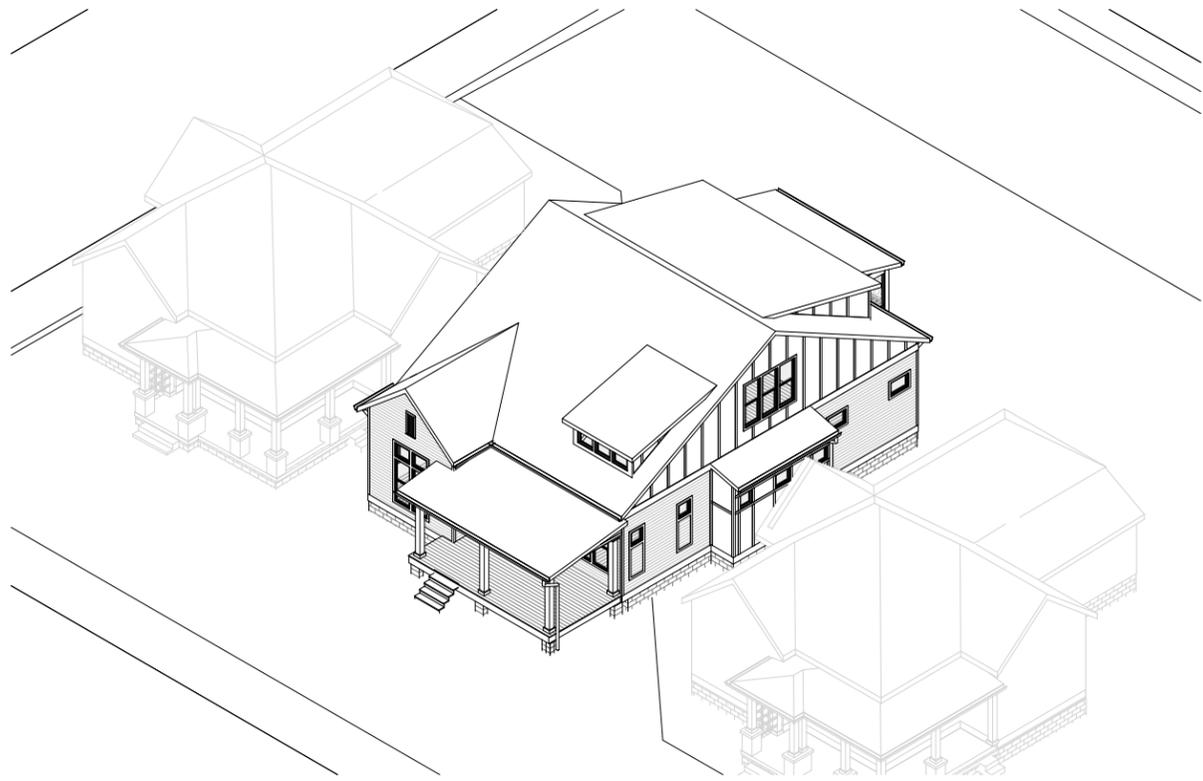


1203 Forrest Avenue, front façade before repairs began

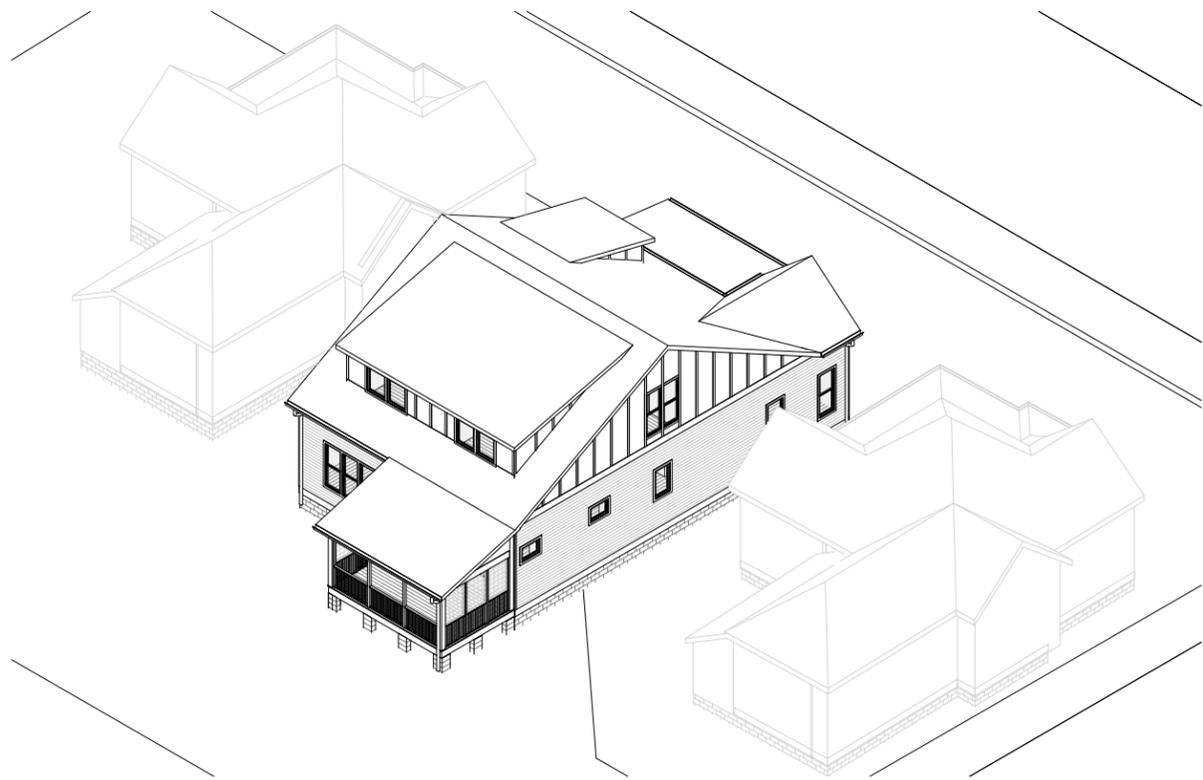




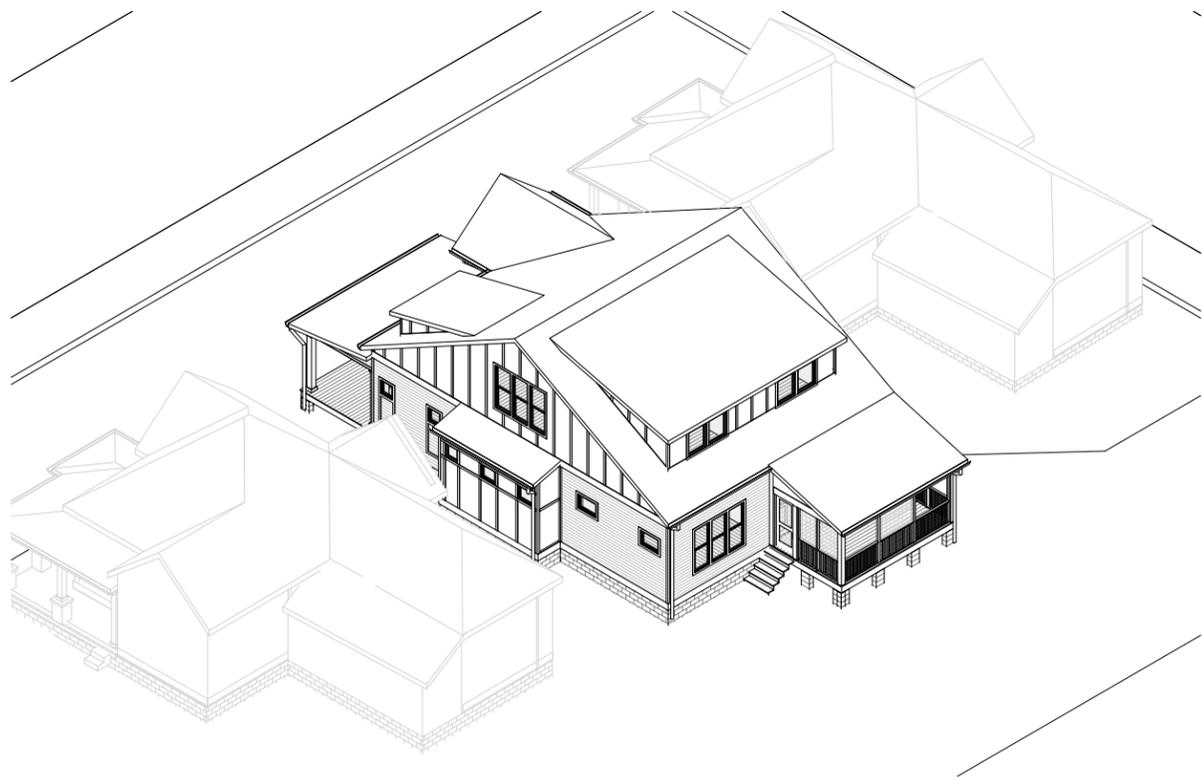
② SOUTHWEST VIEW



① SOUTHEAST VIEW



④ NORTHWEST VIEW



③ NORTHEAST VIEW

1203 FORREST AVE.

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1203 FORREST AVE  
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REVISIONS		
NUM.	DESCRIPTION	DATE

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Project Phase:

MHZA SUBMITTAL

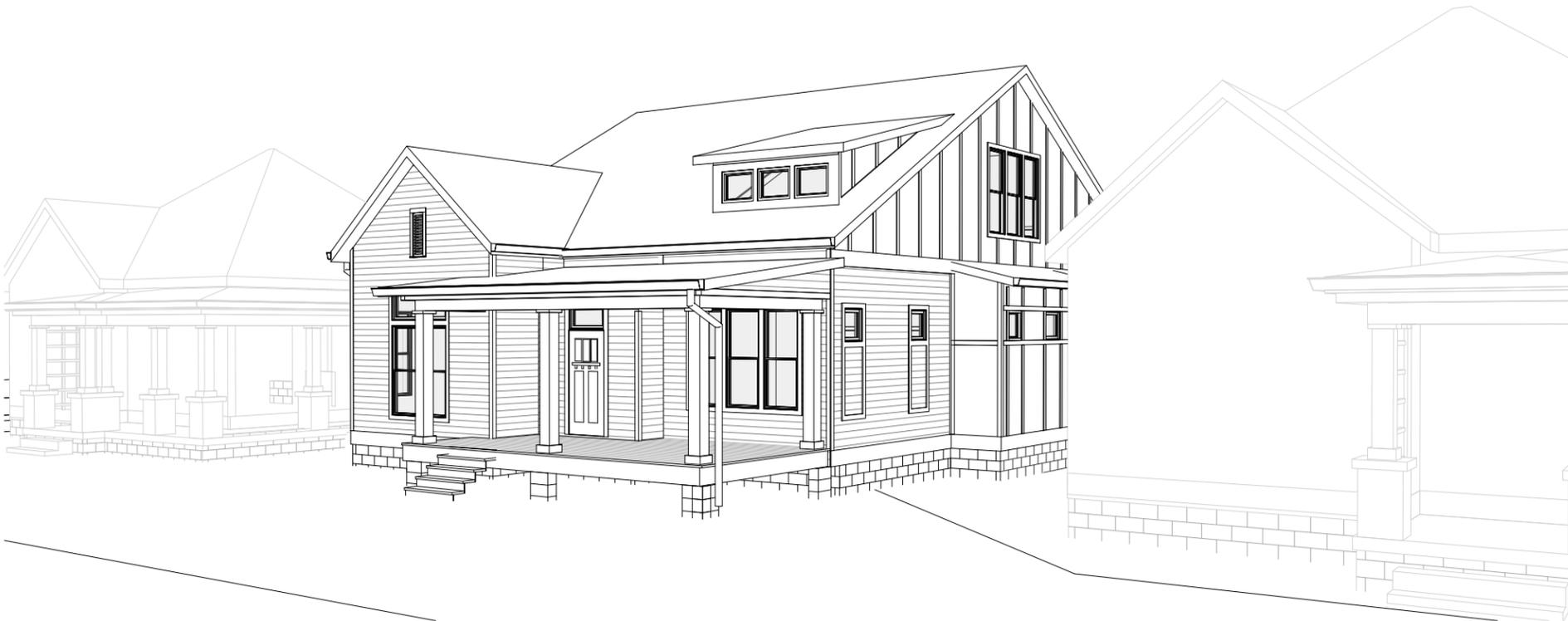
Date: 6/06/2012

3D VIEWS

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① SOUTHWEST PERSEPCTIVE



② SOUTHEAST PERSPECTIVE

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3D PERSPECTIVE VIEWS

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