



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1703 Woodland Street**  
**June 20, 2012**

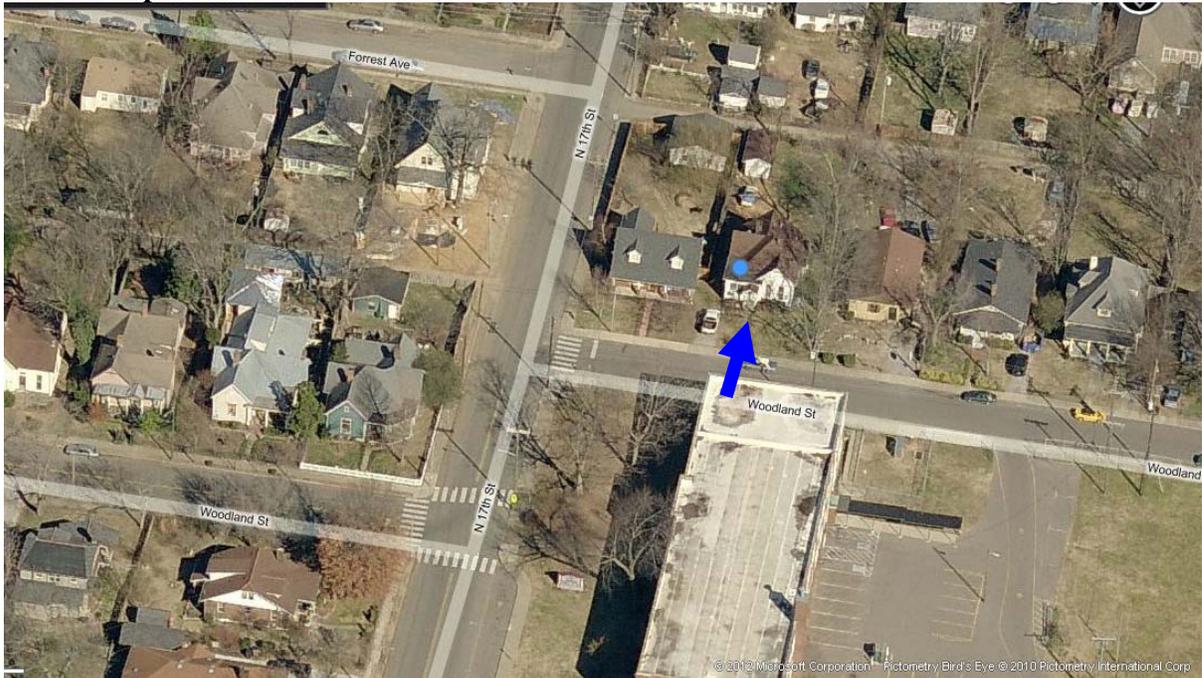
**Application:** New construction—addition  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08310030000  
**Applicant:** Jeremy Walker, Cathedral Homes  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Application is to construct a rear addition.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the application with the following conditions:</p> <ol style="list-style-type: none"> <li>1. The left side of the addition be inset one foot (1') from the back wall of the house.</li> <li>2. A trim board be added to the right side of the house to separate the historic house from the addition.</li> <li>3. Staff review and approve the roof material and color, window and door specifications, and the porch column material prior to purchase and installation.</li> <li>4. A cap and a base be added to the porch columns.</li> </ol> <p>With these conditions, staff finds the project to meet Section II.B. of the <i>Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



**Background:** 1703 Woodland Avenue is a one-story Victorian house built c. 1899. The house was originally constructed further west in Lockeland Springs and was moved to its current location in the 1950s. The structure is contributing to the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay. In 2011, MHZC Staff issued a permit to construct an accessory structure on the property.



## **Applicable Design Guidelines:**

### **II.B. New Construction**

#### **1. Height**

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

#### **2. Scale**

The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

*Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.*

*Foundation lines should be visually distinct from the predominant exterior wall material.*

*Examples are a change in material, coursing or color.*

#### **3. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.

#### **4. Relationship of Materials, Textures, Details, and Material Colors**

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

#### 5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

#### 7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)*

*Brick molding is required around doors, windows and vents within masonry walls.*

#### 9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

#### 10. Additions to Existing Buildings

- a. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.

*A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*

*Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

- b. Additions should not be made to the public facades of existing buildings. Additions may be located to the rear of existing buildings in ways which do not disturb the public facades.

#### *Placement*

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

#### *Foundation*

- *Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding) since the change in materials will allow for a minimum of a four inch (4") inset.*
- *Foundation height should match or be lower than the existing structure.*
- *Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in materials or a change in masonry coursing, etc.*

#### *Roof*

- *The height of the addition's roof and eaves must be less than or equal to the existing structure.*
- *Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*
- *Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building.*

- c. Additions must not imitate earlier styles or periods of architecture.

*Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.*

## **Analysis and Findings:**

Application is to construct a rear addition.

**Location and Setback:** The addition meets all base zoning requirements for setbacks and is no wider than the existing house. On the left side, the addition does not step in from

the rear back wall of the house, but rather steps out from the back wall of the house by approximately one foot, eight inches (1'8"). In other words, this left side of the addition is proposed to line up with the wider portion of the house rather than step in from the inset back portion of the house. Staff asks that a condition of approval be that the addition be inset a minimum of one foot (1') from the back left wall of the house for a length of at least several feet before expanding out to match the full width of the house on this side. See photo below for clarification.



Applicant proposes to line up the left side wall of addition with this wall.

Staff asks that the addition be inset a minimum of 1' from this back wall. After inseting for a depth of several feet, the addition can step back out to meet the wider portion of the historic house.

On the right side, the addition lines up with the back wall of the house. Staff finds the lack of an inset appropriate in this instance so long as the left portion of the addition is inset from the back wall of the house and a trim board is added to the right façade to separate visually the old from the new. The roof changes height and pitch at this point, and adding a trim board will further differentiate the existing house from the addition. After eight feet (8') of addition, a screened porch is proposed that will expand out three feet (3') from the wall of the addition to line up with the historic house's widest side wall. See photos below for clarification.



The addition will meet this back wall of the house.



After a depth of 8', the addition/screen porch will step out 3' to match this line of the house.

With the condition that the left side of the addition be inset one foot (1') from the back wall of the house and a trim board be added to the right side of the house to separate the historic house from the addition, staff finds the location and setbacks of the proposed addition to meet Sections II.B.3 and II.B.10 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Height & Scale: The historic house is twenty-nine feet (29') wide at the front of the house, and has a maximum width of approximately thirty-two feet, four inches (32'4"). It has a maximum depth of forty-three feet, six inches (43'6"), and a total footprint of approximately one thousand, two hundred, and ninety-five square feet (1,295 sq. ft.). The existing house has a maximum ridge height of approximately twenty-four feet (24').

The proposed addition will be significantly shorter in height than the existing house. It will have an eave height of approximately twelve feet (12'), which matches the eave height at the front of the historic house. Its ridge height will be approximately seventeen feet, eight inches (17'8"), and the addition will therefore be more than six feet (6') shorter than the historic house. The addition will have a maximum width of thirty-two feet, four inches (32'4"), which matches the maximum width of the house. Its maximum depth will be forty feet, two inches (40'2"). The addition will add approximately one thousand and forty-seven square feet (1,047 sq. ft.) to the footprint of the house.

The existing percentage of open space on the lot is eight-two percent (82%), which includes an existing two hundred and twenty-two square foot (220 sq. ft.) accessory structure that will remain. Once the new addition is constructed, the percentage of open space on the lot will be approximately seventy percent (70%). Staff finds this decrease in percentage of open space appropriate because the percentages of open space in the immediate vicinity vary from as little as sixty-five percent (65%) open space to as much as eighty-five percent (85%) open space.

Staff finds the height and scale of the proposed addition to meet Sections II.B.1., II.B.2., and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof: The historic house has a complicated Victorian roof form. The main form of the house is a 10/12 hipped roof. The front and two side facades have cross gables also with a 10/12 slope. The applicant's design preserves the historic roof form and ties into it appropriately. The left portion of the addition will have a gabled roof with a slope of 6/12. The right portion, including the covered porch, will have a hipped roof with a slope of 6/12. Staff finds the addition's roof forms to meet Sections II.B.5. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: One change is proposed for the window openings on the historic house. On the rear portion of the left elevation, a two foot, six inch by

three foot (2'6" X 3') window opening will be removed (see photo below). Staff finds the removal of this window opening appropriate because it is on a wall plane that is inset from the rest of the house, and it is located towards the rear of the historic house. It is at most minimally visible from the street. See photos below.



Window opening to be removed.



The window opening is only minimally visible from the front.

The window openings on the addition are approximately twice as tall as they are wide, and the addition's fenestration pattern is similar to that found on the historic house. The largest expanse of wall space without a door or window opening is approximately twenty feet (20') and is located on the rear portion of the right façade. Staff finds this expanse acceptable in this instance because the expanse starts more than sixty feet (60') behind the front wall of the house and because this portion of the addition is inset from the widest portion of the house by more than thirteen feet (13'). Therefore the wall space will likely not be easily visible from the street.

Staff finds the project's proportion and rhythm of openings to meet Section II.B.7. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: The applicant will be restoring and repairing the wood siding on the historic house. The addition will be clad in Hardie siding and will have a reveal to match that of the historic house. The foundation will be split face concrete block. The materials for the roof were not specified, and staff asks to review and approve the roof material and color prior to purchase and installation. Likewise the materials for the windows and doors were not specified and staff asks to review and approve the window and door materials and specifications prior to purchase and installation. Staff also asks to review the rear porch column material and asks that a cap and a base be added to the columns.

With the staff's final approval of the roof material and color, window and door specifications, and the porch column material and the addition of a cap and a base to the porch columns, staff finds the proposed materials meet Sections II.B.4. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

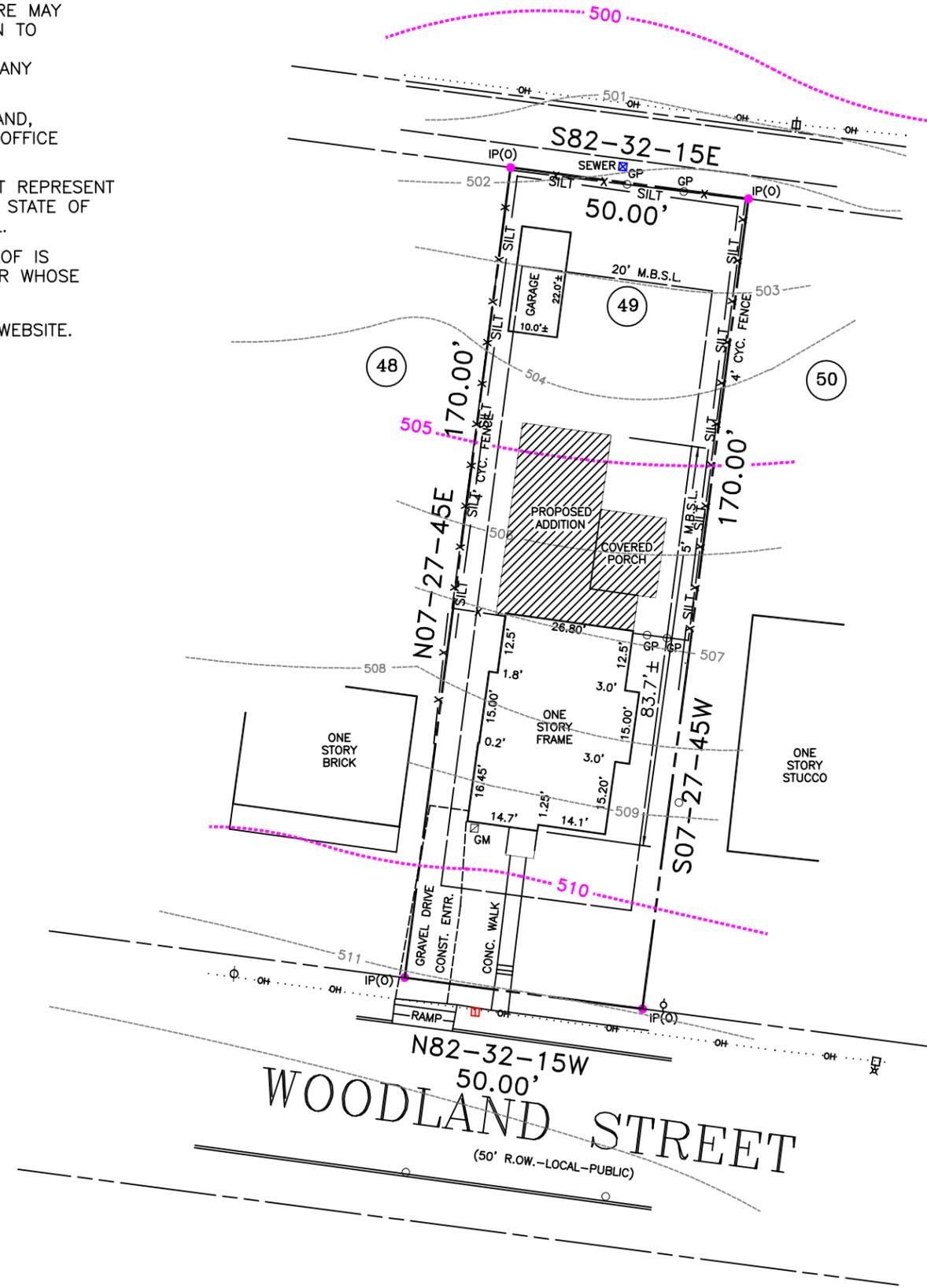
Staff recommends approval of the application with the following conditions:

1. The left side of the addition be inset one foot (1') from the back wall of the house.
2. A trim board be added to the right side of the house to separate the historic house from the addition.
3. Staff review and approve the roof material and color, window and door specifications, and the porch column material prior to purchase and installation.
4. A cap and a base be added to the porch columns.

With these conditions, staff finds the project to meet Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

**NOTES:**

- 1) ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
- 2) UTILITIES HAVE BEEN PLOTTED FROM SURFACE FEATURES FOUND AT THE TIME OF SURVEY AND AVAILABLE MAPS AND RECORDS. THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
- 3) LOT NUMBERS SHOWN THUS (49) REFER TO THE MAP OF LOCKELAND, OF RECORD IN PLAT BOOK 57, PAGE 135, AT THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
- 4) THIS SURVEY PREPARED FROM PLAT OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR GUARANTEE OF TITLE AND IS SUBJECT ANY STATE OF FACTS A CURRENT AND ACCURATE TITLE SEARCH WOULD REVEAL.
- 5) REPRODUCTION OR USE OF THIS DRAWING OR ANY PART THEREOF IS NOT ALLOWED WITHOUT WRITTEN APPROVAL FROM THE SURVEYOR WHOSE SEAL APPEARS ON THIS SURVEY. COPYRIGHT 2012.
- 6) CONTOUR LINES SHOWN EXTRAPOLATED FROM METRO MAPPING WEBSITE.



SITE PLAN  
AT  
**1703 WOODLAND STREET**

**MAP 83-10, PARCEL 300**

Instr. No. 20120417-0032870  
6th COUNCILMANIC DISTRICT

NASHVILLE-DAVIDSON COUNTY-TENNESSEE

SCALE: 1"=30' DATE: 06-04-12

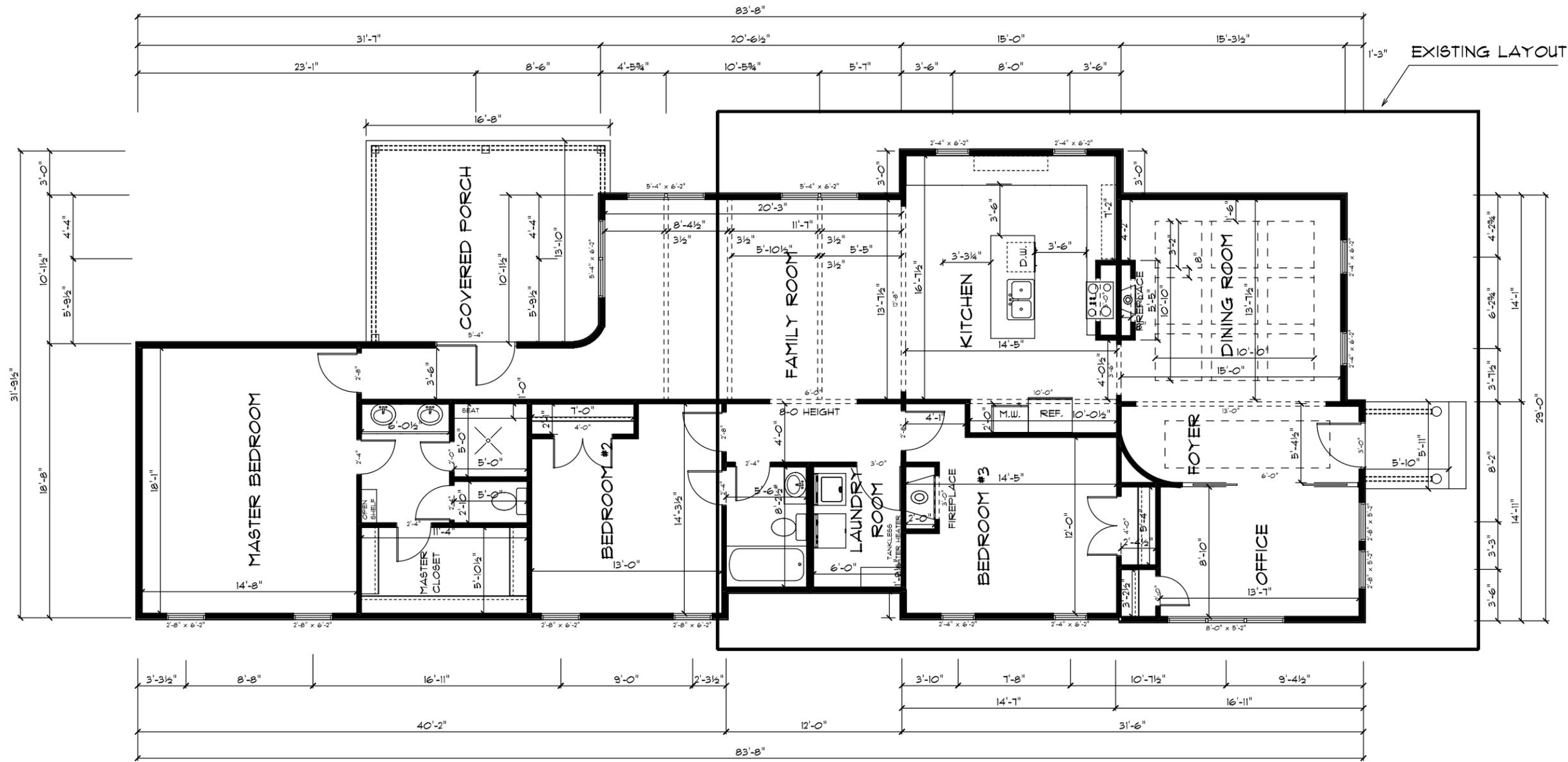
**Stanley K. Draper, R.L.S.**

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Hermitage, TN 37076  
(615) 891-3659 ofc./fax  
(615) 290-2066 cell



stanleykdraper@comcast.net





**MAIN FLOOR LAYOUT**  
SCALE: 1/8" = 1'-0"

Date: May 7, 2012

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID ERRORS, THE CONTRACTOR AND CLIENT SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR SAME. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION BEGINS. IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE INFORMATION TO THE BUILDER TO CONSTRUCT THIS PROJECT. IT IS THEREFORE HIS RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES PRIOR TO CONSTRUCTION, AND THEIR REQUIREMENTS MUST TAKE PRECEDENCE OVER THOSE SHOWN.

Ext. Footage	
Main	2147 SF
Front Porch	30 SF
Int. Footage	
Main	1927 SF
Front Porch	30 SF

**Project Name:**  
1703 Woodland Street  
Nashville, TN 37206

**Cathedral Homes, LLC**

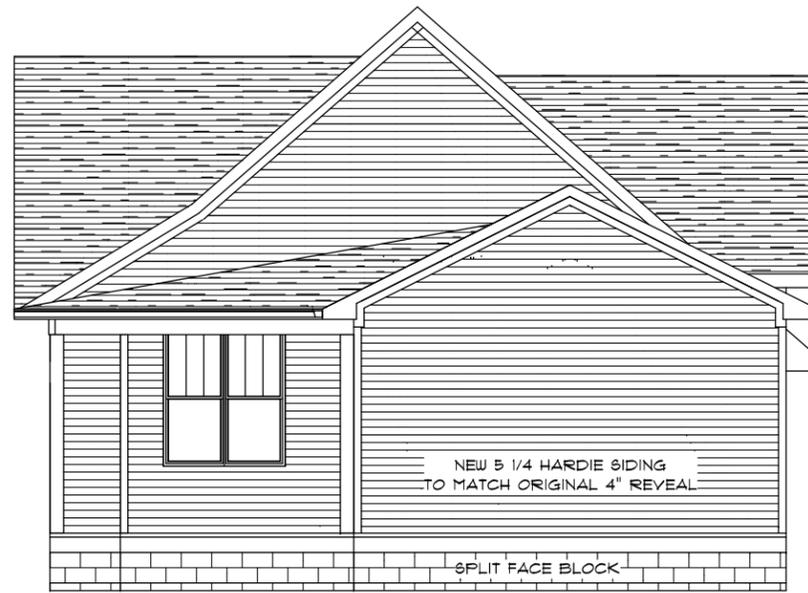
Main Floor  
Scale 1/8" = 1'

Sheet **A1**



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"

NOTE: EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID ERRORS, OMISSIONS AND MISTAKES. THE DESIGNER CAN NOT GUARANTEE AGAINST HUMAN ERROR, OR ANY OTHER CAUSE OF INACCURACY. ALL CONDITIONS, DIMENSIONS, DETAILS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION BEGINS. IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE INFORMATION TO THE CONTRACTOR TO CONSTRUCT THIS PROJECT. IT IS THEREFORE HIS RESPONSIBILITY TO VERIFY ACCURACY AND COMPLIANCE WITH ALL REGULATORY AGENCIES PRIOR TO CONSTRUCTION, AND THE CONTRACTOR'S RESPONSIBILITY IS MUST TAKE PRECEDENCE OVER THOSE SHOWN.

Ext. Footage	
Main	.....2147 SF
Front Porch	..... 30 SF
Int. Footage	
Main	.....1927 SF
Front Porch	..... 30 SF

**Project Name:**  
1703 Woodland Street  
Nashville, TN 37206

**Cathedral Homes, LLC**

Elevations  
Scale 1/8" = 1'

Sheet

**A3**

Date: May 7, 2012