



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
702 Shelby Avenue
June 20, 2012

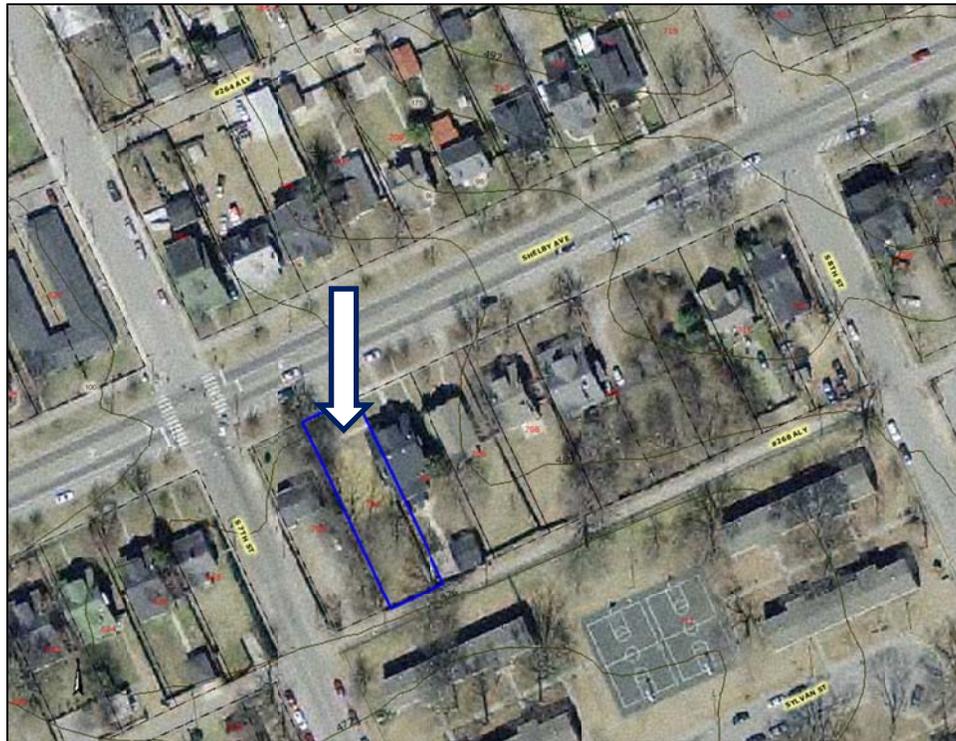
Application: New Construction – Detached Accessory Dwelling Unit
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 09304003800
Applicant: Peggy Newman, Designer
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

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| <p>Description of Project: The application is to construct a detached accessory dwelling unit in the rear of the property.</p> <p>Recommendation Summary: Staff recommends approval of the proposed detached accessory dwelling unit with the condition that staff review and approve the roof shingle color and the materials and specifications for all windows and doors prior to their purchase and installation.</p> <p>With this condition, staff finds the proposal to meet Section III.B. of the <i>Edgefield Historic Zoning District: Handbook and Design Guidelines</i> and the regulations stipulated in Ordinance No. BL2011-900.</p> | <p>Attachments A: Photographs B: Site Plan C: Elevations</p> |
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Vicinity Map:



Aerial Map:



Background: The Metro Historic Zoning Commission approved the construction of new infill at this site, which was then vacant, in February 2012. The infill is currently under construction.



Infill approved in February 2012, currently under construction.

Applicable Design Guidelines:

III.B.2 New Construction

- a .** Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b .** Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c .** Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- d .** Roof Form: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof form, orientation, and pitch of surrounding historic buildings.
- e .** Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f .** Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g .** Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate. *Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals. The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.*
- h.** Outbuildings:

- 1) A new outbuilding should reflect the character of outbuildings contemporary with the associated house. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details. *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof form and architectural features of the associated house. Generally, either approach is appropriate for new outbuildings. Stone, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim). Generally, the minimum roof pitch appropriate for outbuildings is 12:4; a steeper pitch is usually better. Raised panels on publicly visible garage doors are not appropriate. Publicly visible pedestrian doors should either relate to the style of the associated house or be flush. Publicly visible windows should relate to the style of the associated house.*
- 2) Outbuildings should be situated on the lot as is historically typical for the neighborhood. *Although historic outbuildings are usually located as near to a rear corner of a parcel as possible, the current building code requires deeper setbacks from the side and rear property lines. Variances to the codes standard can be requested from the Board of Zoning Appeals with the support of the MHZC.*

Detached Accessory Dwelling Unit Regulations:

1. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
2. Density. A detached accessory dwelling is not allowed if the maximum number of dwelling units permitted for the lot has been met.
3. Ownership.

No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.

The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.

The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for Accessory buildings.
5. Site Requirements.

A detached accessory dwelling may only be located in the established rear yard. The detached accessory dwelling is to be subordinate to the principal structure and therefore shall be placed to the rear of the lot.

There shall be a minimum separation of ten (10) feet between the principal structure and the detached accessory dwelling.
6. Driveway Access.

On lots with no alley access, the lot shall have no more than one curb-cut from a public street for driveway access to the principal structure as well as the detached accessory dwelling.

Parking accessed from a public street shall be limited to one driveway for the lot with a maximum width of 12 feet.

If the detached accessory dwelling is part of a garage and an alley exists to the rear of the lot, the garage shall be alley loaded and no curb-cut provided from the front of the lot.
7. Bulk and Massing.

No accessory structure shall exceed 200 square feet when there is a detached accessory dwelling on the lot.

The living space of a detached accessory dwelling shall not exceed 700 square feet.

The footprint single-story detached accessory dwelling shall not exceed 700 square feet or 50% of the first floor area of the principal structure, whichever is less.

The footprint of a two-story detached accessory dwelling shall not exceed 550 square feet or 40% of the first floor area of the principal structure, whichever is less.

One partial-width, open porch, that is six feet deep or less, is not included in the footprint calculation.

The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of 10 feet for single-story and 17 feet for two-story detached accessory dwellings.

The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed 25 feet in height.

8. Design Standards.

Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rated per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.

The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roof slope by covering no more than 50% of the roof.

Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

These Standards are provided for informational purposes and do not take the place of the requirements of Ordinance No. BL2011-900.

Analysis and Findings:

The application is to construct a detached accessory dwelling unit in the rear of the property. At the writing of this recommendation, staff had not yet received the required restrictive covenant for the structure. Staff will recommend removing this item from the agenda if the covenant has not been filed by the date of the commission meeting.



Existing conditions in rear yard.

Setback and Orientation. The proposed detached accessory dwelling unit meets all base zoning setback requirements for accessory structures. It will be located ten feet (10') from the alley. It will be accessed via the alley with garage doors facing the alley, as is typical of accessory structures in Edgefield. Staff finds that the structure's setback and orientation meet Sections III.B.2.a., III.B.2.e., and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines* and the regulations stipulated in Ordinance No. BL2011-900.

Height and Scale The proposed accessory dwelling unit will have an eave height of ten feet (10') and a ridge height of twenty feet, eleven inches (20'11"). This proposed height meets the regulations for the detached accessory dwelling units and is subordinate to the infill currently under construction, which was approved to have an eave height of ten feet (10') and a ridge height of approximately twenty-six feet, six inches (26'6"). The structure will be twenty-two feet by twenty-five feet (22' X 25'), or five hundred and fifty-square feet (550 sq. ft.), thereby meeting the footprint regulations for the detached accessory dwelling unit. A three foot (3') deep by eleven foot (11') wide porch covering three exterior steps and the two pedestrian entries is proposed. Although the detached accessory dwelling regulations state that stairs must be interior, staff finds that one to three stairs on the outside is equivalent to a stoop and so it appropriate to have this minimal amount on the outside of the building. Staff finds that the partial-width, shallow porch and the three exterior steps meet both the design guidelines and the regulations for detached accessory dwelling units.

Staff finds that the structure's height and scale are subordinate to the infill under construction and meet Sections III.B.2.b., III.B.2.c. and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines* and the regulations stipulated in Ordinance No. BL2011-900.

Roof Form and Dormers The proposed accessory dwelling unit will have a side-gabled roof form with a pitch of 10/12. Dormers are proposed for the alley and the house-facing façade. The dormers will have a 3/12 shed roof. The front walls of the dormers are set back two feet (2') from the walls of the structure, and the dormers are set one-foot (1') below the ridge of the house. Wall to wall, the dormers are twelve feet, six inches (12'6") in width, which means that they cover no more than fifty percent (50%) of the roof slope.

Staff finds that the structure's roof form and dormers meet Sections III.B.2.d. and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines* and the regulations stipulated in Ordinance No. BL2011-900.

Proportion and Rhythm of Openings Staff finds that the proportion and rhythm of openings for the detached accessory dwelling unit are appropriate for an accessory structure and meet Sections III.B.2.f. and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines* and the regulations stipulated in Ordinance No. BL2011-900.

Materials The detached accessory dwelling unit will be clad in cement fiberboard siding. The foundation will be a concrete slab. The roof will be architectural shingles, and staff asks to review and approve the shingle color prior to purchase and installation of the material. The porch posts will be wood with concrete footings, and the three steps and stoop landing will be

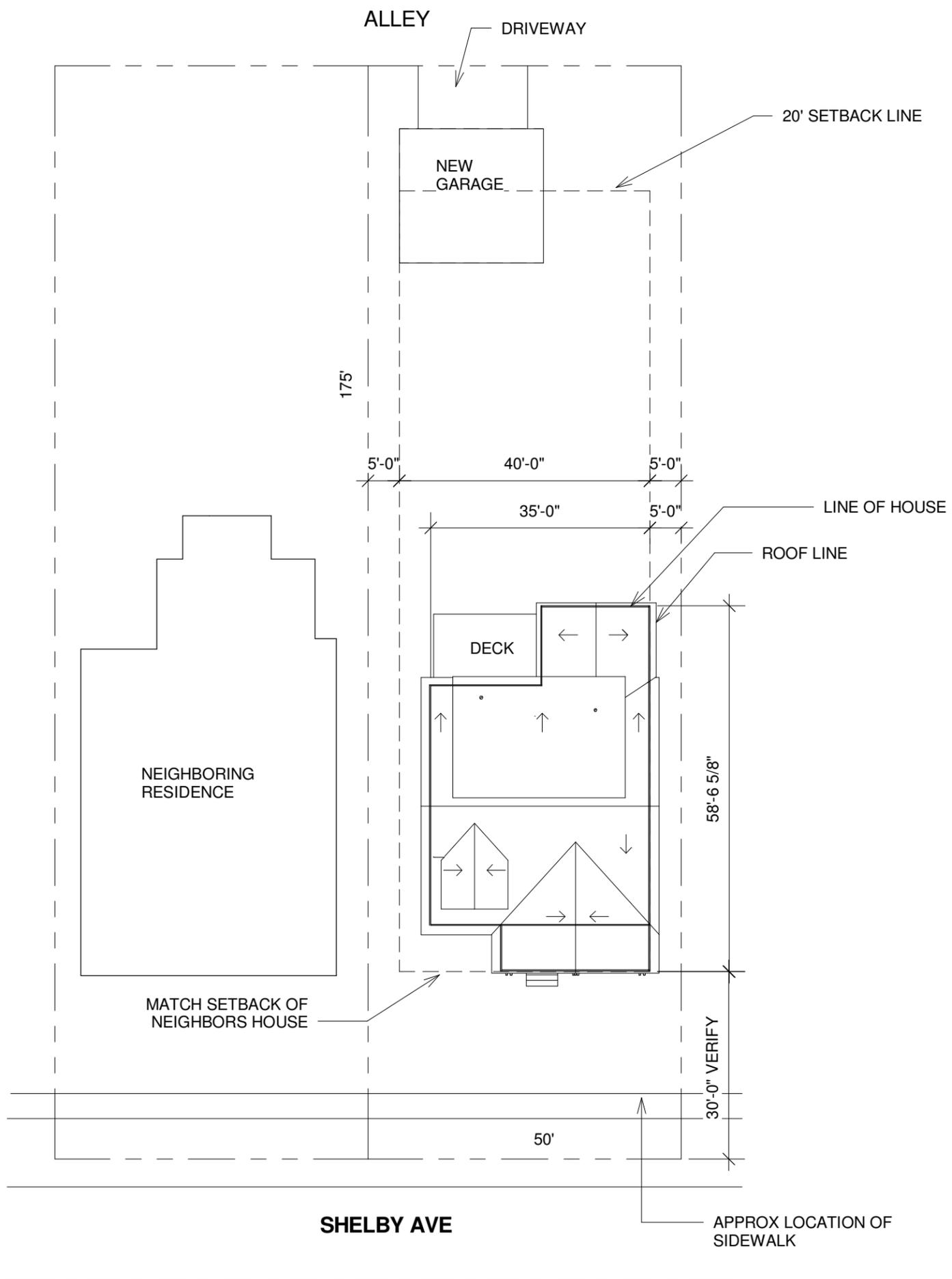
concrete. The pedestrian doors will be wood, and the materials for the windows were not specified. Staff asks to review and approve the materials and specifications for all windows and doors prior to their purchase and installation.

Staff finds that the structure's materials meet Sections III.B.2.g. and III.B.2.h. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines* and the regulations stipulated in Ordinance No. BL2011-900.

Recommendation:

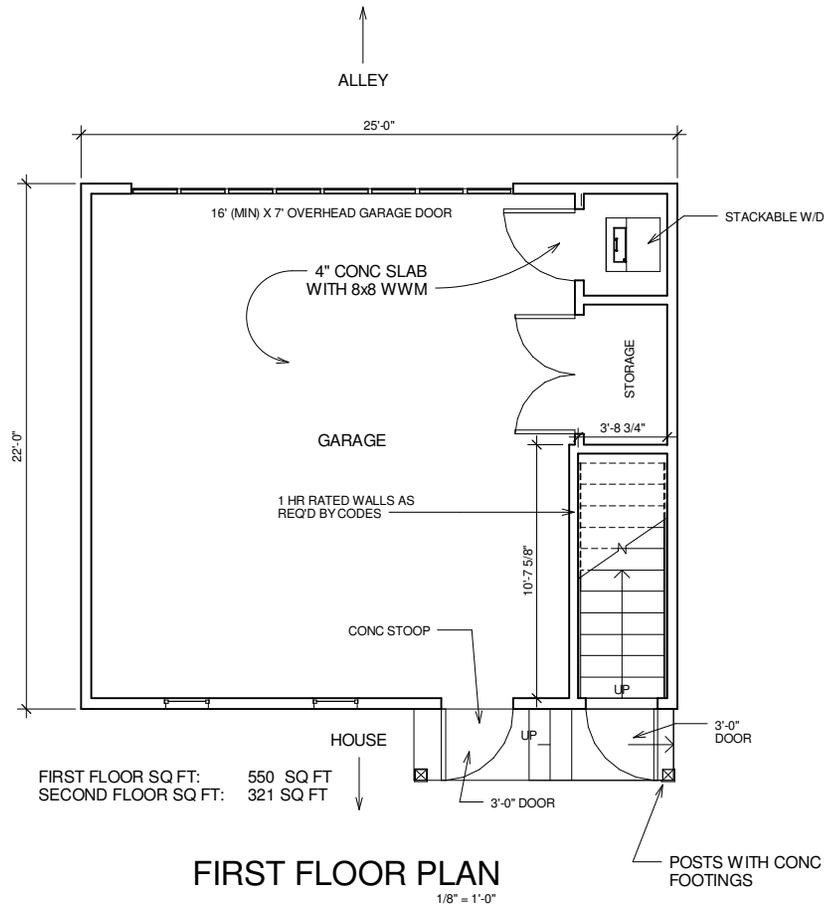
Staff recommends approval of the proposed detached accessory dwelling unit with the condition that staff review and approve the roof shingle color and the materials and specifications for all windows and doors prior to their purchase and installation.

With this condition, staff finds the proposal to meet Section III.B. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines* and the regulations stipulated in Ordinance No. BL2011-900.

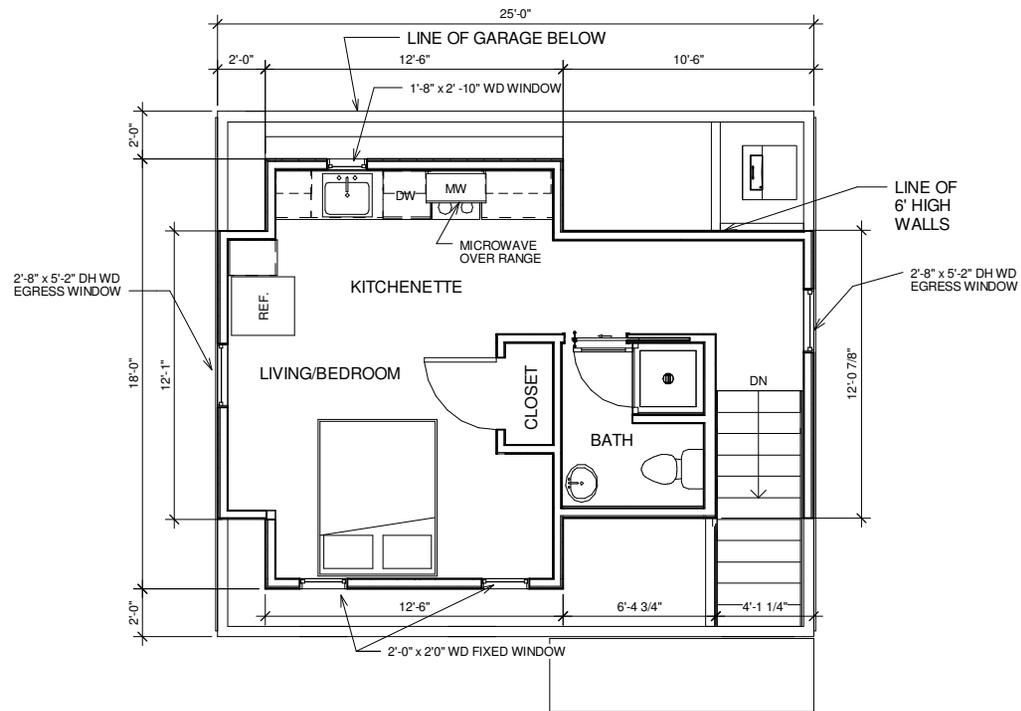


702 SHELBY AVE. NASHVILLE, TN
 SITE PLAN

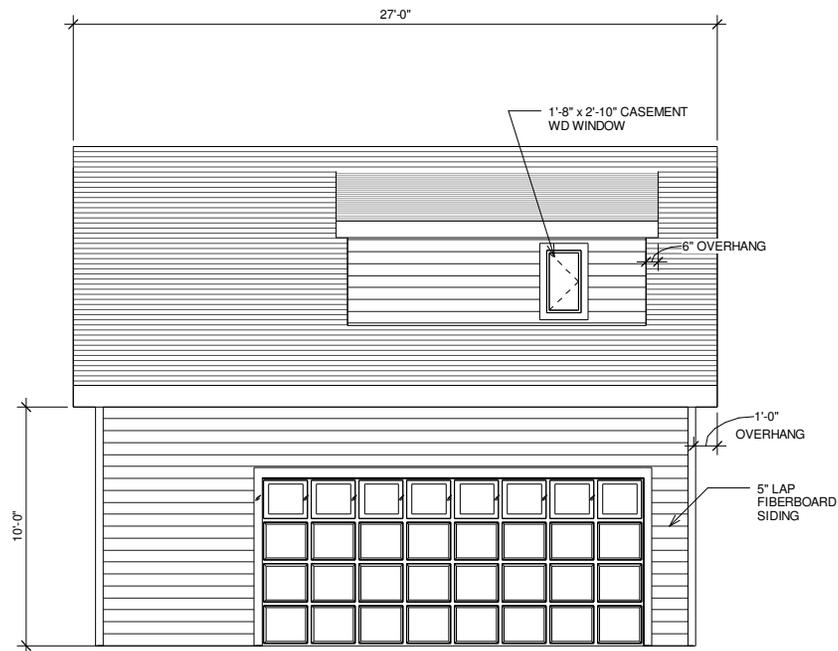
1" = 20'



702 SHELBY GARAGE



SECOND FLOOR PLAN
 1/8" = 1'-0"
 702 SHELBY GARAGE



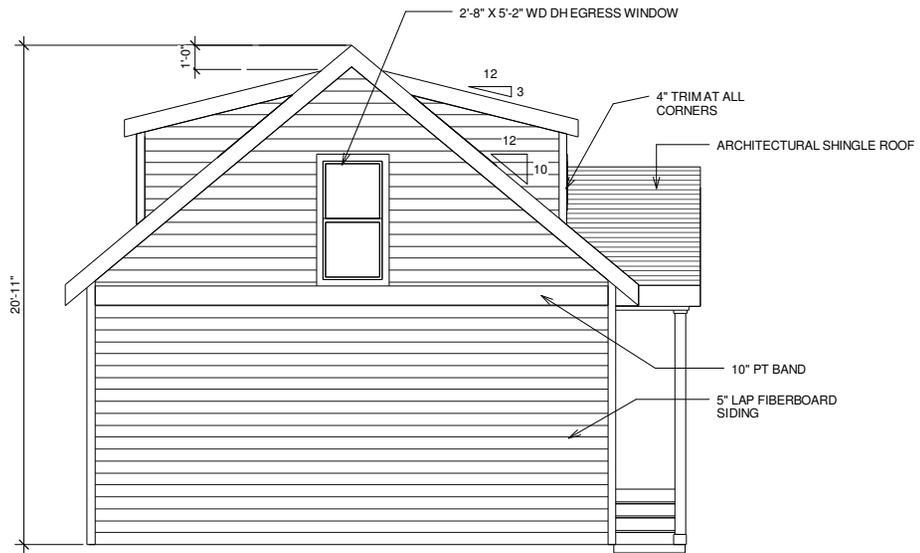
ALLEY SIDE ELEVATION

1/8" = 1'-0"

702 SHELBY GARAGE



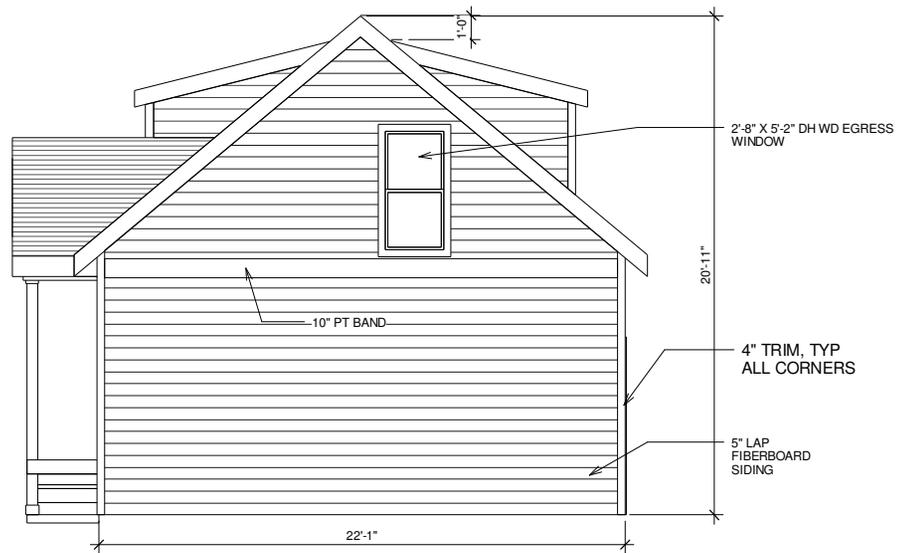
HOUSE SIDE ELEVATION
 1/8" = 1'-0"
 702 SHELBY GARAGE



LEFT SIDE ELEVATION

1/8" = 1'-0"

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RIGHT SIDE ELEVATION
1/8" = 1'-0"
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