



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1313 Gartland Avenue
October 17, 2012

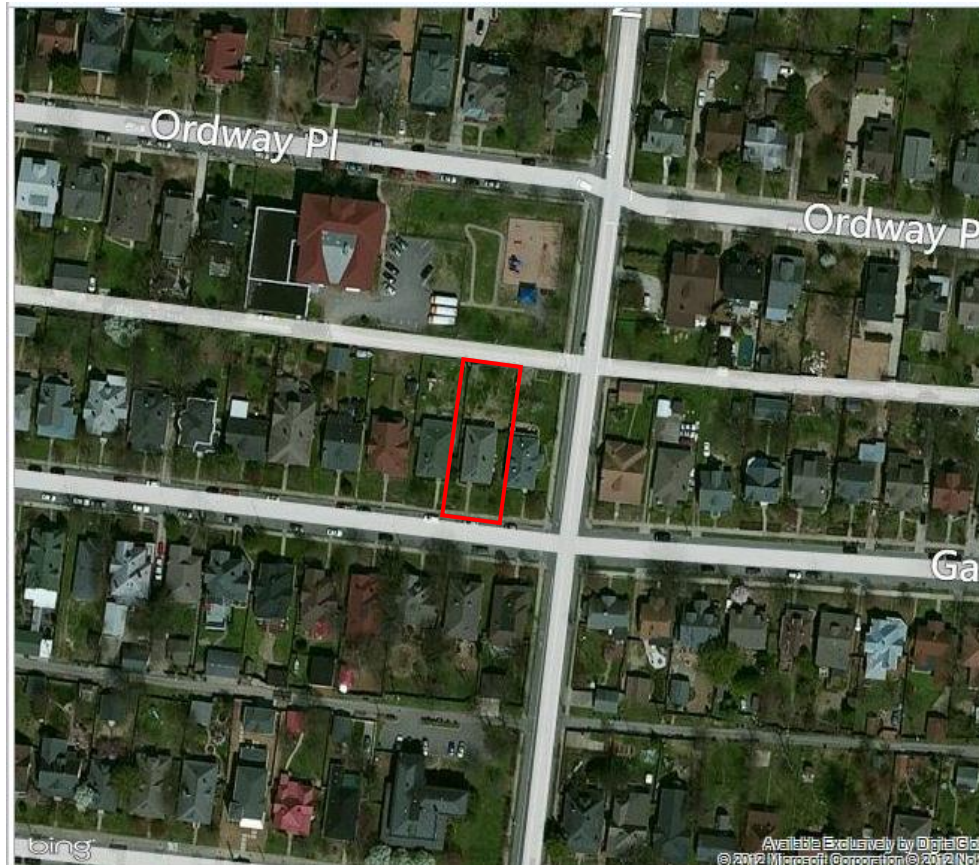
Application: New construction—accessory building and setback reduction
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08309006300
Applicant: Lynn Taylor, designer
Project Lead: Michelle Taylor, michelle.taylor3@nashville.gov

<p>Description of Project: The applicant is proposing to construct a detached garage of less than seven hundred square feet (700sf) at the rear of the property. The project will require a reduction in the rear property line setback.</p> <p>Recommendation Summary: Staff recommends approval of the application for the construction of an outbuilding and the requested rear setback reduction as submitted with the following condition:</p> <ul style="list-style-type: none"> The design of the garage door, the pedestrian door, and the color of the asphalt roof be approved prior to installation. <p>Staff finds that the project meets II.B of the <i>Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines</i>, for the construction of an outbuilding in a conservation zoning overlay.</p>	<p>Attachments</p> <p>A: Sanborn Maps B: Photographs C: Site Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Background: 1313 Gartland Avenue is a one-and-a-half story, hipped roof frame house built prior to 1914.



Applicable Design Guidelines:

Appropriate setback reductions will be based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

II.B. New Construction

1. Height: New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.
The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.
2. Scale: The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.
3. Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.
4. Materials, Texture, and Details and Material Color: The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.
Vinyl, aluminum, and T-1-11 siding are not appropriate.

5. Roofs Shape: The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.
The pitch, or slope, of roofs on new buildings should be compatible with those of surrounding historic buildings.
6. Orientation: The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.
7. Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.
8. Outbuildings:
 - a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details. *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate when planning new outbuildings. Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim). The roof pitch on historic outbuildings vary from 4:12 to 12:12. The pitch on new roofs should be within this range -- 6:12 to 8:12 is often the most appropriate. Raised decorative panels on publicly visible garage doors are not appropriate. Publicly visible pedestrian doors should either be appropriate to the style of the house to which the building relates or be flat with no panels. Publicly visible windows should be appropriate to the style of the house.*
 - b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.
Historic outbuildings are usually located as near to a rear corner of a parcel as possible.
 - c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.
9. Appurtenances: Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.
10. Additions to Existing Buildings
 - a. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.
 - b. Additions should not be made to the public facades of existing buildings. Additions may be located to the rear of existing buildings in ways which do not disturb the public facades.

- c. Additions must not imitate earlier styles or periods of architecture.
- d. The creation of an addition through the enclosure of a front facade porch is inappropriate and should be avoided.

Additions should following all New Construction guidelines.

Analysis and Findings:

The applicant is proposing to construct a detached garage of six hundred and twenty-four square feet (624sf) in footprint at the rear of the property. The project will require a reduction in the rear setback.

Height/Scale: The existing historic house on the property is a one-and-a-half story that is approximately twenty-eight feet (28') wide. The proposed garage has nine foot (9') eave height and a ridge height of eighteen feet (18'). The footprint of the accessory structure will be twenty-six feet (26') by twenty-four feet (24'). In terms of height and scale the accessory dwelling is subordinate to the main house.

Location and Setback: The proposed location for the garage meets the required three foot (3') side setback on both sides. It is set back three feet (3') from the east property line and over twenty feet (20') from west property line. For garage doors facing the alley, Codes requires a rear setback of ten feet (10'), but only five feet, two inches (5'2") is proposed for this new garage. Staff finds the reduction of the rear setback appropriate for several reasons. First, the locations of historic outbuildings were of minimal distance from a rear alley, and second both the 1914 and the 1951 Sanborn maps indicate that there was a one-story accessory structure situated approximately in the same location historically on the property. For these reasons, staff finds that the proposed location of the garage is appropriate.

Materials: The garage is proposed to be clad in HardiePlank lap siding. The drawings indicate that the applicant is proposing a reveal to match the existing house. Two inch by four inch (2" x 4") wood trim will be incorporated around the doors, windows, and corners.

Asphalt roof shingle is proposed for the roof, the color of which has yet to be determined. The vehicle door and pedestrian door material is unknown. The foundation will be a concrete slab foundation. Staff recommends approval with the condition the design of the garage door, pedestrian door, and the color of the asphalt roof be approved by staff prior to installation.

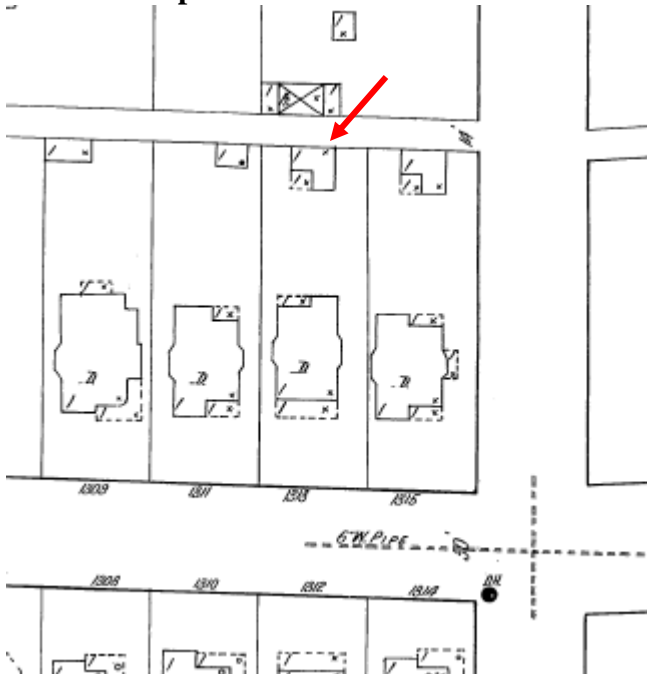
Roof Shape: The eight-twelve (8/12) pitch of the hipped roof is typical for the neighborhood and is compatible to that of the existing house.

Proportion and Rhythm of Openings: The rhythm of openings matches the surrounding context and is typical of historic accessory structures.

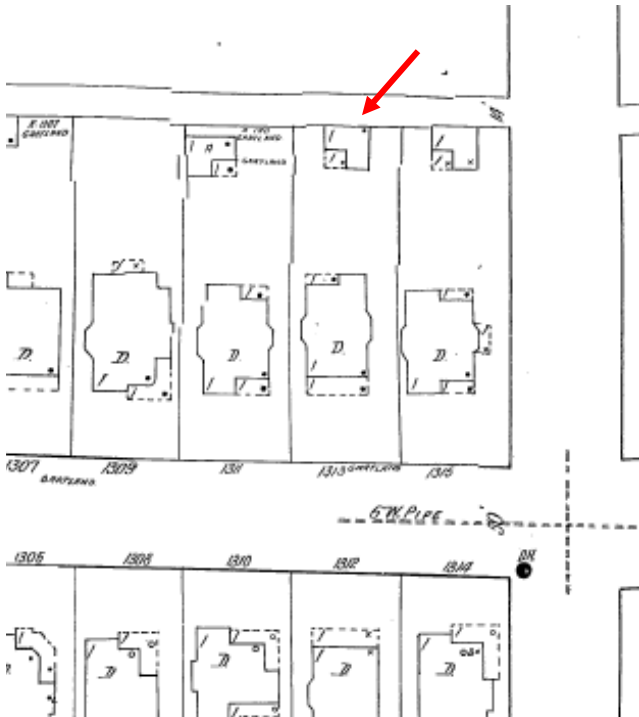
Staff recommends approval of the application for the construction of an outbuilding and the reduction of the rear setback with the conditions that the siding reveal match the existing house or be a maximum of five inches (5"); and the design of the garage door, pedestrian door, window, and the color of the asphalt roof be approved prior to installation.

The project meets the standard for a reduced rear setback in terms of its limited visual impact on surrounding historic structures. Staff additionally finds that the project meets II.B of the *Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines*, for the construction of an outbuilding in a conservation zoning overlay.

Sanborn Maps:



1914 Sanborn Map shows a one-story shed at the property line of the corner



1915 Sanborn Map shows a one-story shed at the property line of the corner

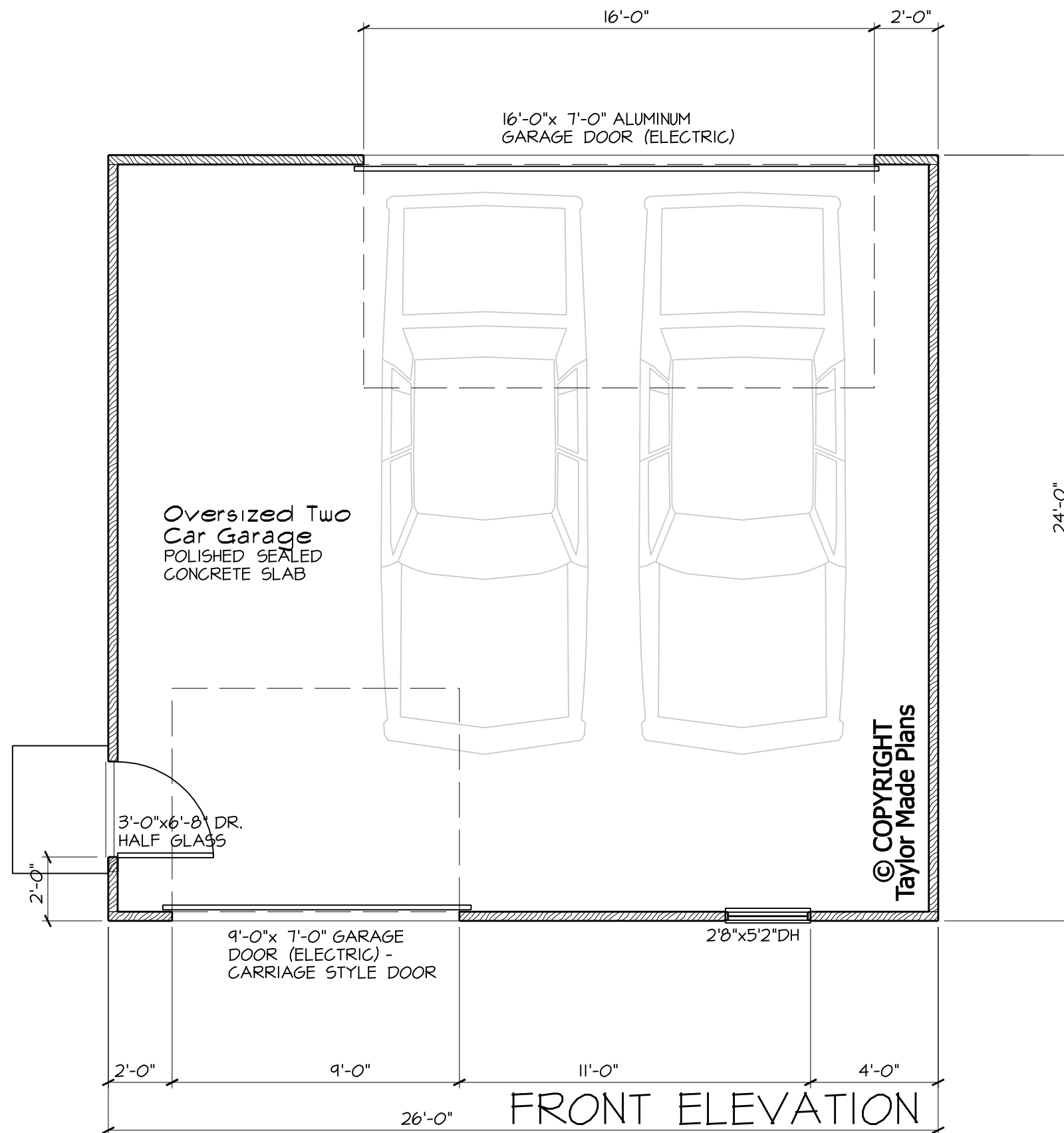
Photographs of Site Conditions:



Front façade of historic house



Rear façade and proposed location of accessory structure



FLOOR PLAN

SCALE: 1/4" = 1'-0"

1313 Gartland Ave
Nashville, TN 37206

10-3-12

EXISTING DWELLING

EXISTING DWELLING

SULTAN M. SIDDIQI

SCALE: 3/32" = 1'-0"

SITE PLAN

THIS SITE PLAN IS FOR LOCATING THE NEW ADDITION, HOUSE AND / OR GARAGE ON THE PROPERTY. SEE ORIGINAL SURVEY FOR ALL OTHER INFORMATION.

1313 Gartland Ave
Nashville, TN 37206

10-3-12

S 07°45'37" W 159.88'
160' (DEED)

N 07°45'37" E 159.87'
160' (DEED)

S 82°16'14" E 50.00' ALLEY (15')

1313 Gartland Ave
Nashville, TN 37206

83-9 (62)

83-9 (63)
AREA: 7993.75
0.18 ACRES±

EXISTING DWELLING
1-S-F
#1313

624 SF
GARAGE

CONCRETE PATIO

SHED

OHL
OHL

8

7

5'-0"
C.M.(O)

3'-2"

3'-0"

26'-0"

24'-0"

5'-2"

13.7'

32.8'

33.1'

32.9'

32.9'

27.9'

8.4'

8.0'

17.6'

17.6'

16.5'

16.5'

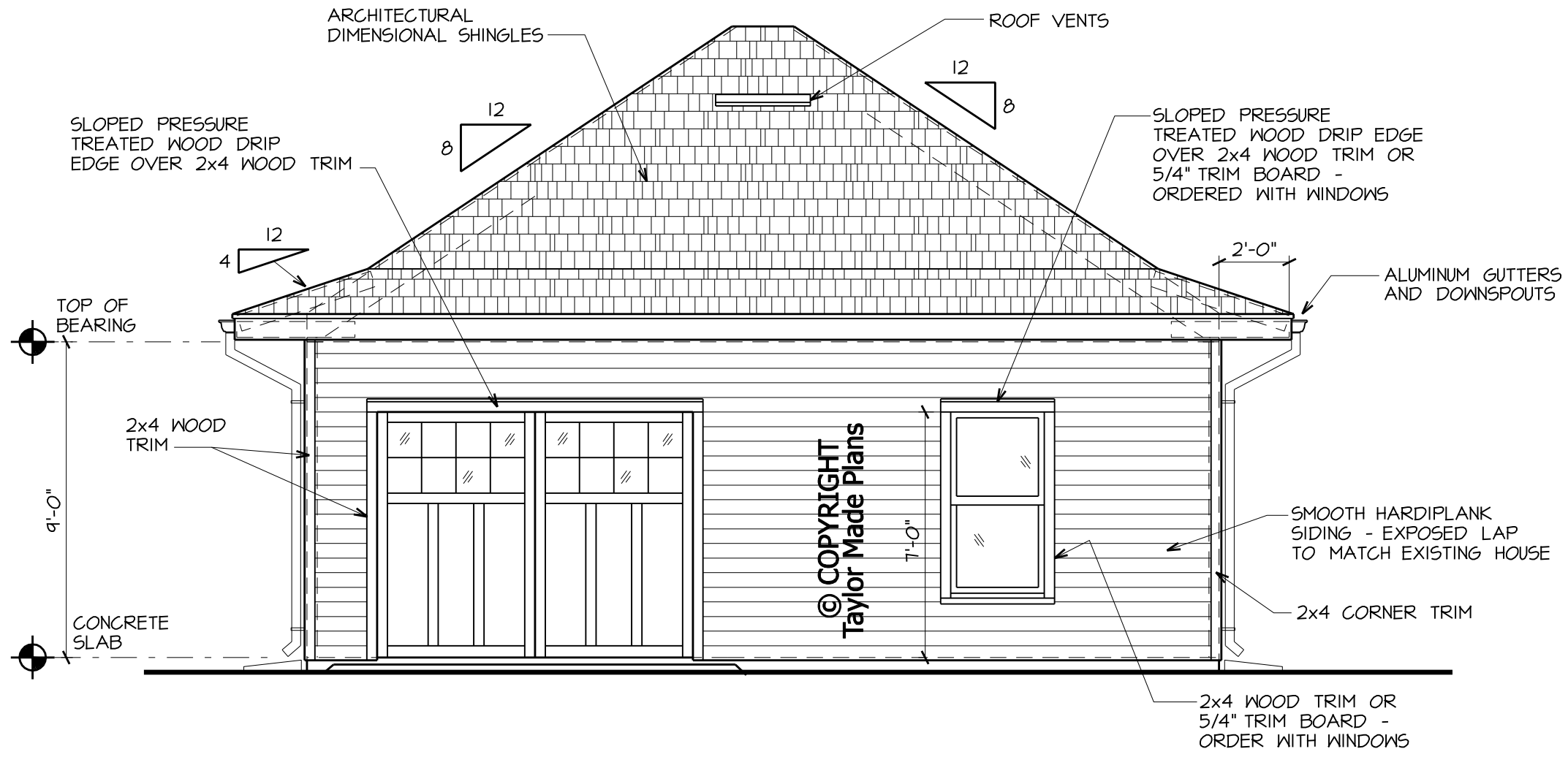
5'

5'

5'

5'

5'-0"



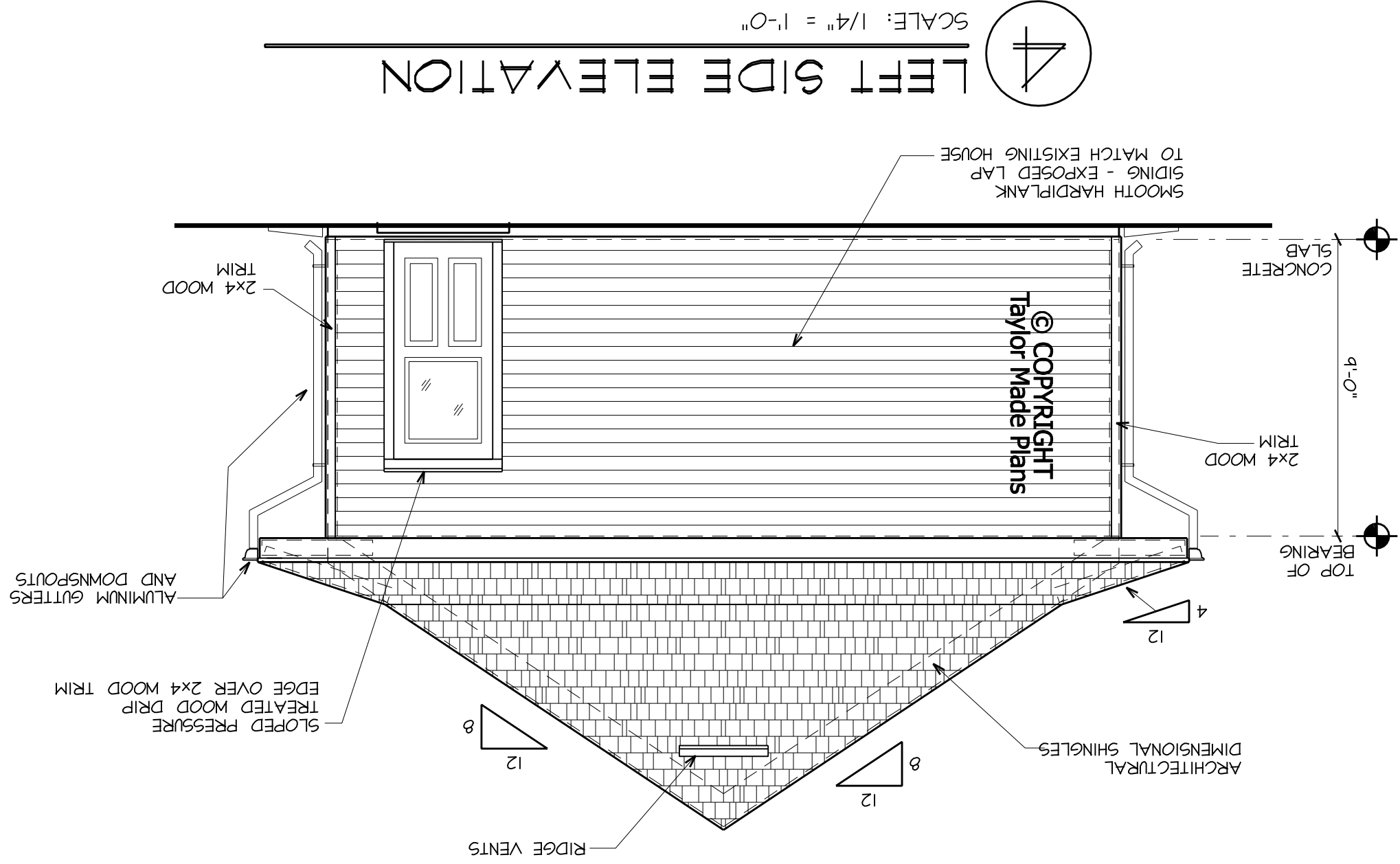
3 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

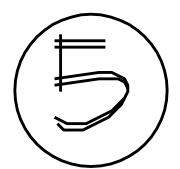
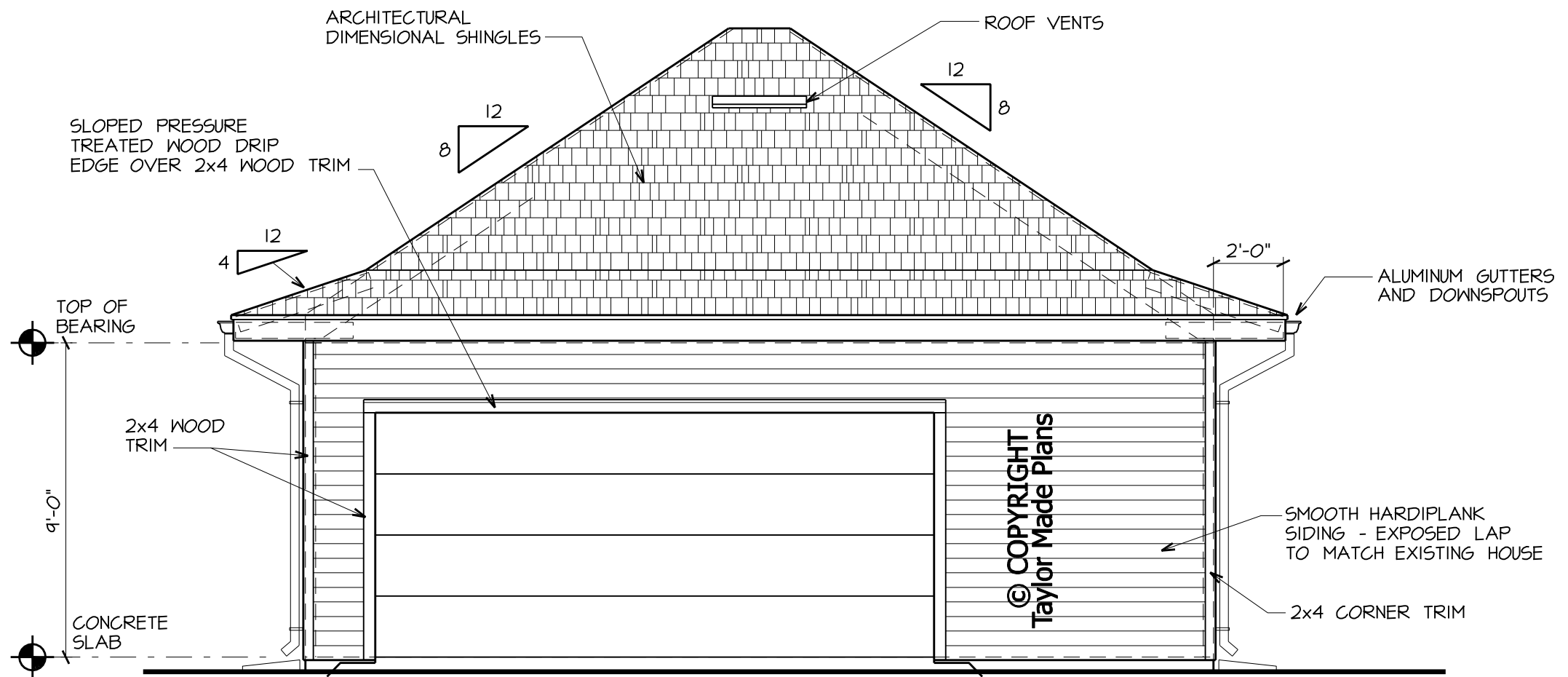
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10-3-12

10-3-12

1313 Gartland Ave
Nashville, TN 37206





REAR ELEVATION

SCALE: 1/4" = 1'-0"

1313 Gartland Ave
Nashville, TN 37206

10-3-12