



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1520 Woodland Street
October 17, 2012

Application: New construction—addition
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08309047100
Applicant: Jeff Casella, architect
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: Application is to construct a side, open-air, covered dining space.</p> <p>Recommendation Summary: Staff recommends approval of the project finding it to meet Section II.B. of the <i>Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p> <p>Recommendation of this project will provide guidance for future similar requests of open-air additions to commercial buildings. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition. The reason for these conditions is to allow for minimal and open additions that provide temporary cover and discourage more permanent additions that have a greater visual impact on the building, while minimizing the impact of an inappropriate material, plastic.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Background: 1520 Woodland Street was initially a neighborhood grocery store. The front wall was reconstructed in an inappropriate manner further back from the original location after it was damaged several years ago. In 2011, the MHZC approved a new storefront for the rehabilitation of this building for a restaurant.

Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.

3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11-type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.

8. Outbuildings

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.
- b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.
- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

10. Additions to Existing Buildings

- a. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.

A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- b. Additions should not be made to the public facades of existing buildings. Additions may be located to the rear of existing buildings in ways which do not disturb the public facades.

Placement

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*
- *When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.*

- *Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.*
- *To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*
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Rear additions wider than existing building

- *Rear additions that are wider than or equal in width to an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.*

Roof

- *The height of the addition's roof and eaves must be less than or equal to the existing structure.*
- *Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*
- *Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building.)*

- c. Additions must not imitate earlier styles or periods of architecture.
- d. The creation of an addition through the enclosure of a front facade porch is inappropriate and should be avoided.

Additions should following all New Construction guidelines.

Analysis and Findings:

Application is to construct a side, open-air, covered dining space.

Location and Setback: The building sits off-center on the lot, providing space for the right side patio that exists now. The property is zoned CM and there are no side setback restrictions. Commercial buildings that built from lot line to lot line are historically appropriate so staff finds a right-side extension of this type to be appropriate. A door from the building already exists to access this seating area. Staff finds the location and setbacks of the proposed porch and rear addition to meet Sections II.B.3. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Height & Scale: The tallest portion of the covered addition is approximately nine feet (9') below the tallest portion of the parapet. When side additions are appropriate, they are required to be a minimum of two feet (2') below the ridge line, which this project more than meets. They are also required to be less than half the width of the front of the building. The project more than meets that requirement as well, since the addition is approximately eleven and one-half feet (11 ½) in width compared to approximately thirty-one feet (31') in width for the existing building.

Staff finds the height and scale of the proposed addition to meet Sections II.B.1., II.B.2. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof: The porch roof will be hipped with a similar slope to many historic buildings in the district. Staff finds addition's roof to meet Section II.B.5. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The front façade of the addition will be mainly three full-light doors, which can accordion back to one side in good weather, and a small section of screened wall. The sides and rear of the addition will be open with roll-up plastic sides. The fully open visual quality of the addition is appropriate for a covered area attached to a commercial building.

Staff finds the proportion of rhythm of openings for the addition to meet Section II.B.7. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: Materials include glass wall panels with a finish that matches the existing storefront, a wood screen, and a canvas covered roof on a steel frame. The sides will have plastic roll-up sides that have been disapproved in highly visible locations for other projects. In this proposal, the addition will appear to have a more permanent front with the glass panels and wood screen that wraps the corner. The plastic sides will be minimally visible on the secondary elevation, when they are down.

Anticipating future requests, staff recommends allowing for plastic roll-up sides on commercial buildings with the following conditions: it is located on the ground level off a secondary facade, not be on a street facing side of a building, have a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition. The reason for these conditions is to allow for minimal and open additions that provide temporary cover and discourage more permanent additions that have a greater visual impact on the building, while minimizing the impact of an inappropriate material, plastic.

Staff recommends approval of the project finding it to meet Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.







SITE PLAN DIAGRAM

SCALE: 1/16" = 1' - 0"

WOODLAND STREET

16th STREET

ALLEY

PHOTO #4359

PHOTO #4362

PHOTO #4367

PHOTO #4364

LOCKELAND TABLE

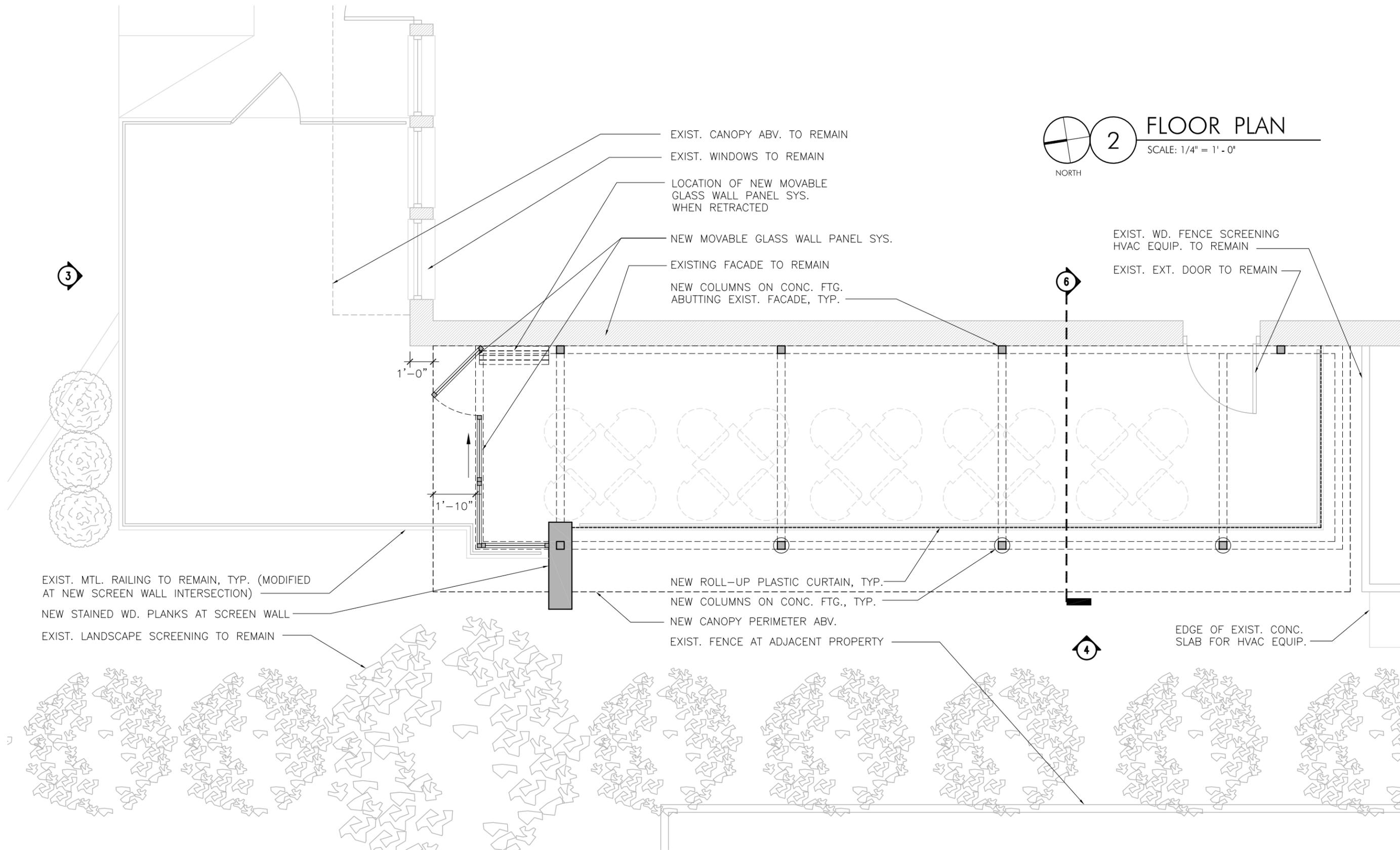
- EXIST. UNCOVERED PATIO TO REMAIN
- EXIST. SIDEWALK, TYP.
- EXIST. PATIO W/ NEW CANOPY AREA
- EXIST. WD. FENCE SCREENING HVAC EQUIP. TO REMAIN

- EDGE OF EXIST. CONC. SLAB FOR HVAC EQUIP.
- EXIST. BUILDING
- EXIST. FENCE AT ADJACENT PROPERTY
- EXIST. LANDSCAPE SCREENING

LOCKELAND TABLE

PATIO COVER ADDITION



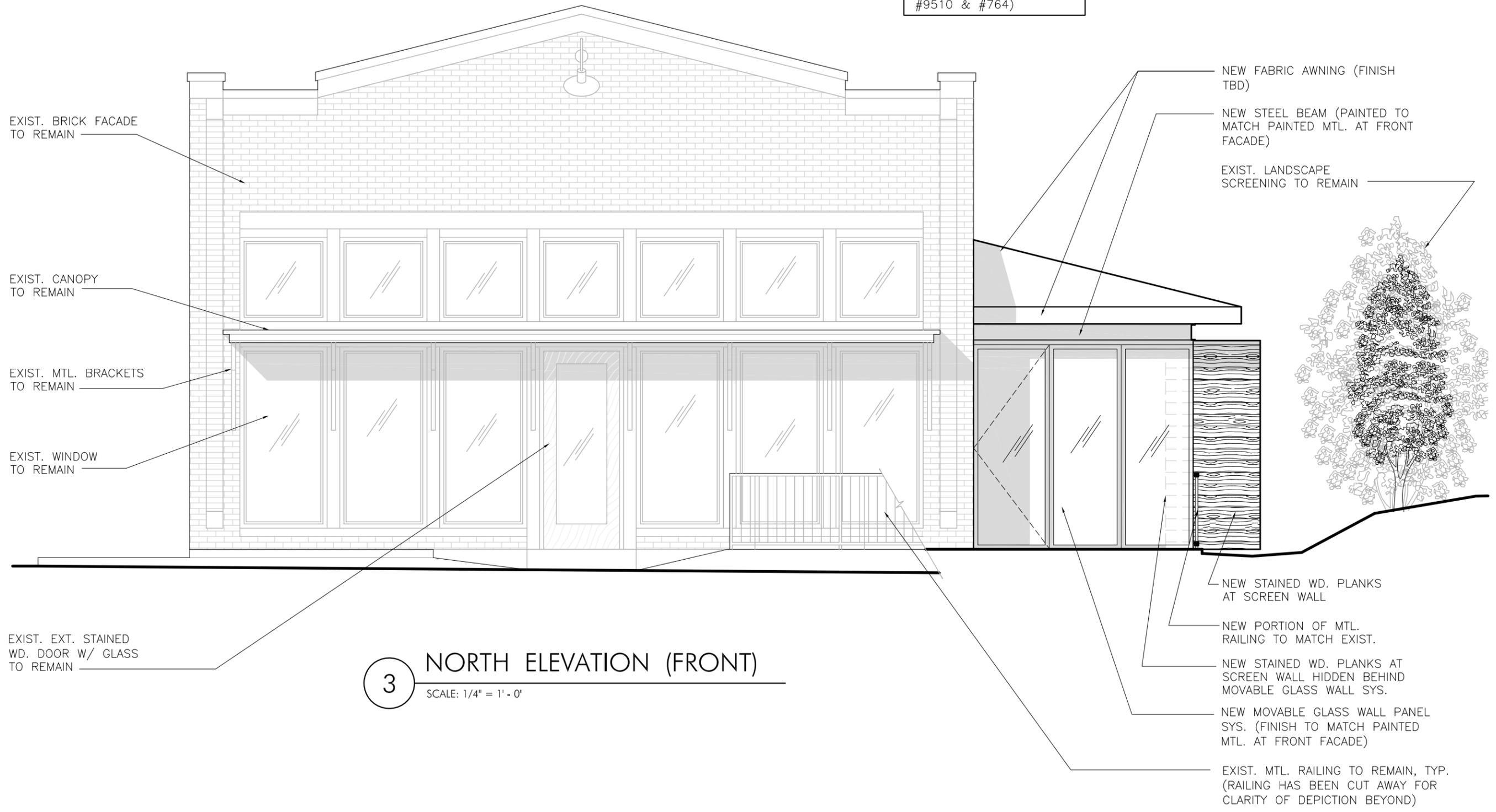


2 FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 NORTH

LOCKELAND TABLE
 PATIO COVER ADDITION

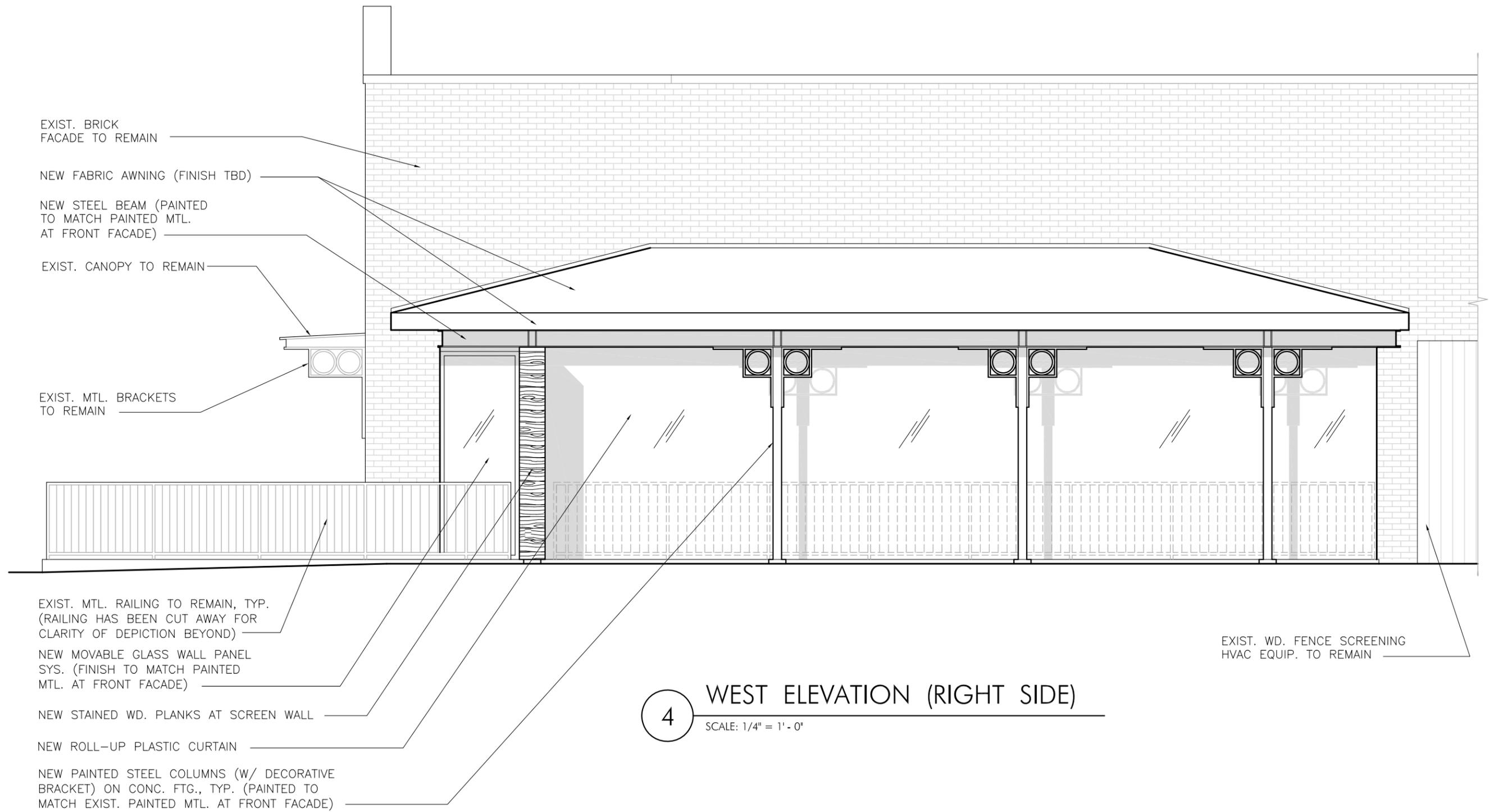
architects
GILBERT | McLAUGHLIN | CASELLA

ALL NEW STAINED WD. TO MATCH EXIST. STAINED WD. DOORS & CANOPY SOFFIT (SEE ATTACHED PHOTOS #9510 & #764)



3 NORTH ELEVATION (FRONT)
SCALE: 1/4" = 1' - 0"

LOCKELAND TABLE
PATIO COVER ADDITION

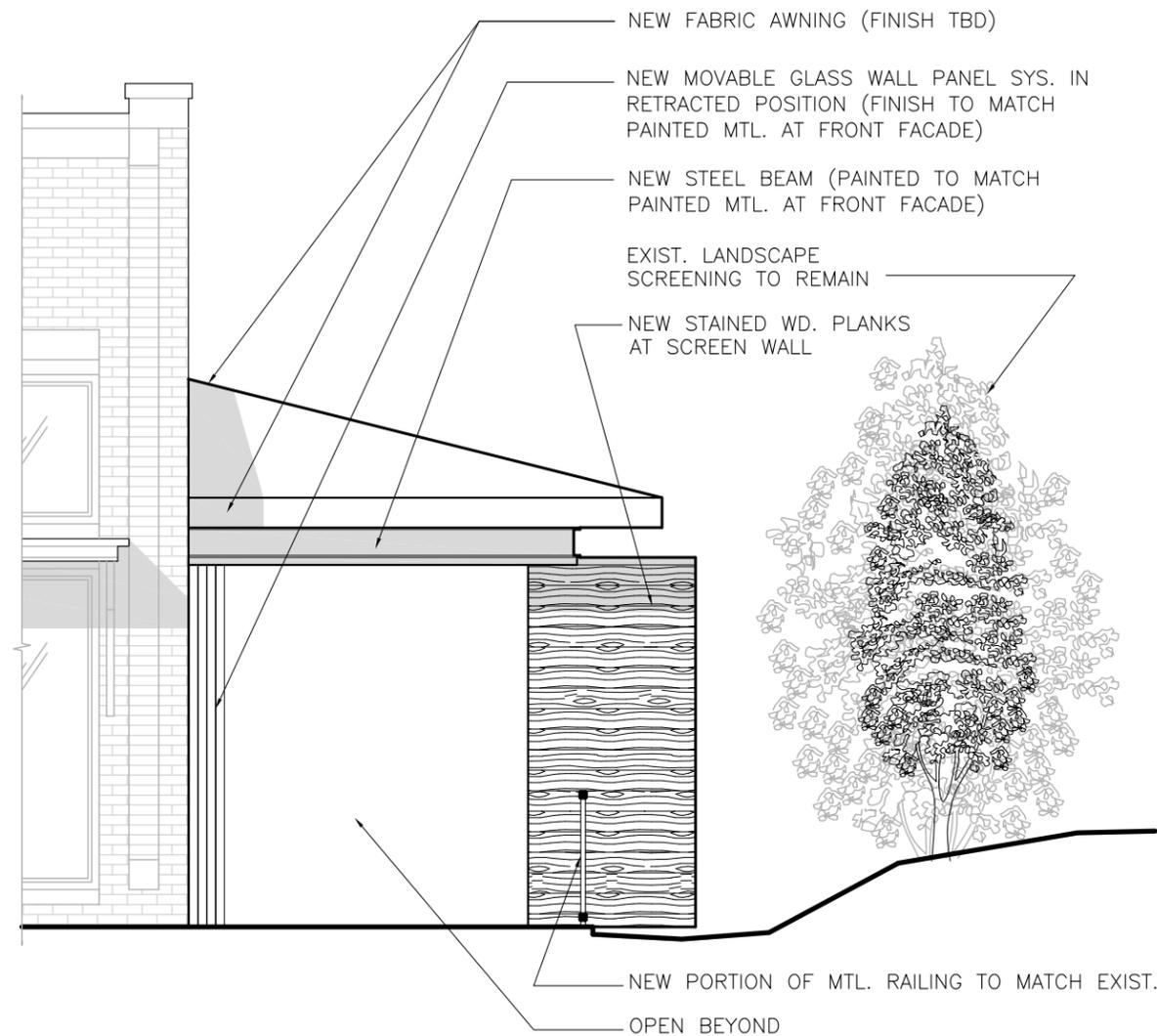


4

WEST ELEVATION (RIGHT SIDE)

SCALE: 1/4" = 1' - 0"

LOCKELAND TABLE
PATIO COVER ADDITION

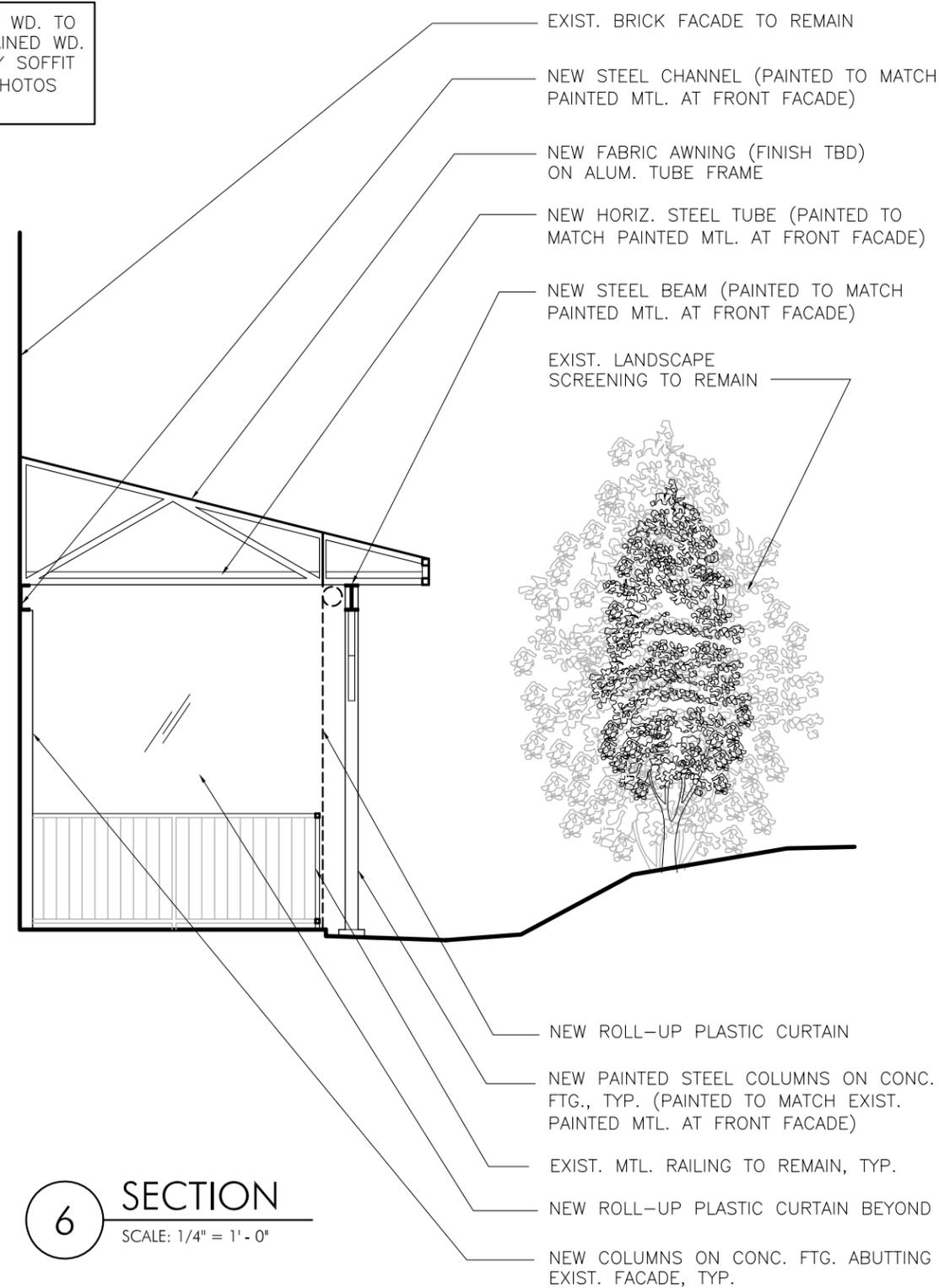


PARTIAL NORTH ELEVATION (FRONT)
 DEPICTING MOVABLE WALL SYS. IN
 RETRACTED POSITION

5

SCALE: 1/4" = 1' - 0"

ALL NEW STAINED WD. TO MATCH EXIST. STAINED WD. DOORS & CANOPY SOFFIT (SEE ATTACHED PHOTOS #9510 & #764)



SECTION

6

SCALE: 1/4" = 1' - 0"

LOCKELAND TABLE

PATIO COVER ADDITION