



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
319 South 11th Street
October 17, 2012

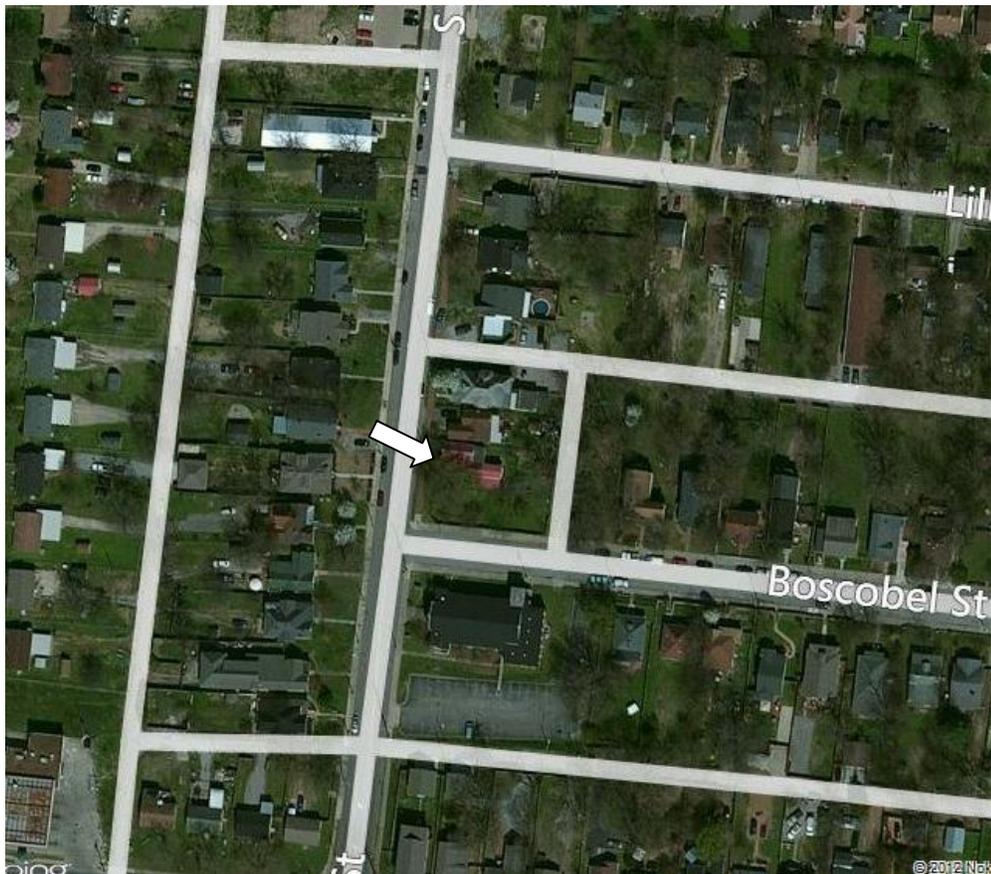
Application: New construction – addition and Demolition of side addition
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08313017500
Applicant: Mitchell Hodge, architect
Project Lead: Michelle Taylor, michelle.taylor3@nashville.gov

<p>Description of Project: Application is to demolish an existing side addition and replace it with a new addition and to construct a new rear addition. The application also involves changes to the existing front porch.</p> <p>Recommendation Summary: Staff recommends approval of the application with the following conditions:</p> <p style="padding-left: 40px;">Staff review and approve the color of the fiberglass shingles and the window and door specifications prior to purchase and installation.</p> <p>With these conditions, staff finds that that the design, massing and siting of the addition meets Section II.B. of the <i>Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments</p> <p>A: Photographs B: Sanborn Maps C: Site Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.

3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent buildings must be maintained. When a definite rhythm along a street is established by uniform lot width and building width, infill new buildings should maintain the rhythm.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

New buildings shall incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utilities connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in new buildings shall be visually compatible with the surrounding buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

Brick molding is required around doors, windows and vents within masonry walls.

8. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

9. Additions to Existing Buildings

- a. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.

A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- b. Additions should not be made to the public facades of existing buildings. Additions may be located to the rear of existing buildings in ways which do not disturb the public facades.

Placement

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

- *When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.*
 - *Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.*
 - *To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*

Additions taller than existing building

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option:

1. *Additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the mass of the addition.*

Foundation

- *Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding) since the change in materials will allow for a minimum of a four inch (4") inset.*
- *Foundation height should match or be lower than the existing structure.*
- *Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in materials or a change in masonry coursing, etc.*

Roof

- *The height of the addition's roof and eaves must be less than or equal to the existing structure.*
- *Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*
- *Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building.)*

- c. Additions must not imitate earlier styles or periods of architecture.

Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

- d. The creation of an addition through the enclosure of a front facade porch is inappropriate and should be avoided.

Additions should following all New Construction guidelines.

Background: 319 South 11th Street is a one story folk Victorian cottage constructed prior to 1914. Based on its age, form, and architectural details, the house is contributing to the Lockeland Springs-East End Conservation Zoning Overlay.



Analysis and Findings:

The application is to demolish an existing side addition and replace it with a new addition and to construct a new rear addition. The application also involves changes to the existing front porch.

Demolition: The existing side addition that is to be removed is not historic and does not contribute to the historic character of the house or the neighborhood. Staff therefore finds that the demolition of the addition meets IV.B.a of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.



Location and Setback: The existing house does not meet all base zoning setback requirements. On the sides, base zoning requires that the house and its additions be set five feet (5') from the property lines. On the right side, the house is approximately ten feet (10') from the side property line, but on the left side, the house is situated approximately one foot (1') from the property line. With the inset of the addition on the left side, the addition does meet the base zoning setback requirements.

The proposed addition is located both behind the existing historic house and on the side of the existing house. On the left side, the addition steps in three feet, two inches (3'2") from the side wall of the historic house for a depth of thirty four feet (34'). On the right side, the addition is flush with an earlier addition for a depth of fourteen feet (14'). Also on the right side is a side addition that extends six feet (6') out for a depth of fourteen feet (14'). This portion of the addition will replace an existing non-historic screened porch. Although the addition is not inset two feet (2') on the right side from the historic house, staff considers the addition to be appropriate based on the width of the original house and the lack of visibility from the right of way. The addition is set back from the right and left property lines by 5 feet (5') and over twenty feet (20') from the rear property line. The addition meets all the base zoning requirements for setbacks.

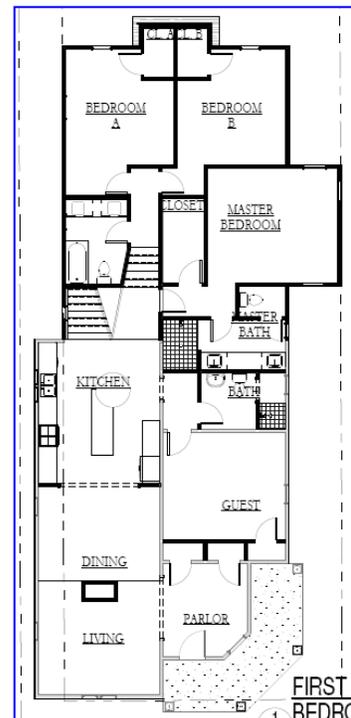
Staff finds the location and setbacks of the proposed addition to meet Sections II.B.3 and II.B.10 of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Height & Scale: The two-story addition will have a maximum ridge height of approximately twenty feet, five inches (20'5"), which is three feet, three inches (3'3") taller than the ridge height of the historic house. The distance from the front edge of the existing building to the tallest portion of the addition is over sixty feet (60'), well over the recommended forty feet (40'). Because the property slopes towards the rear, it is possible to gain the extra story without increasing the height of the addition more than four feet (4'). The eave height will be eighteen feet (18'), and will be slightly higher than the eave of the existing house. The foundation of the addition will be approximately two feet (2') below the foundation of the existing house.

The historic house, not including the existing side addition which is to be removed, is approximately thirty feet (30') wide. It has a maximum depth of sixty-one feet (61'). The footprint of the existing house, including the covered front porch, is approximately one thousand, six hundred and forty-four square feet (1,644 sq. ft).

The proposed addition will have a maximum width of thirty-two feet (32') and a maximum depth of thirty-four feet (34'). After the removal of the non-historic addition and the construction of the new addition, the house will increase in footprint by approximately six hundred and seventy square feet (670 sq. ft.).

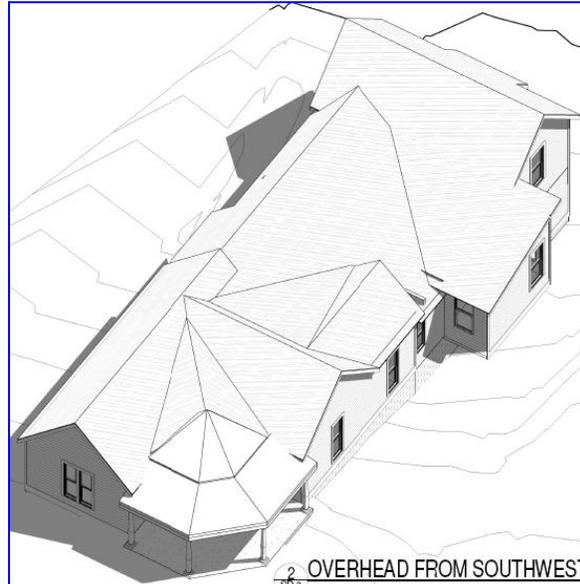
The existing percentage of open space on the lot is approximately seventy percent (70%). Once the existing addition is demolished and the new addition constructed, the percentage of open space on the lot will be approximately fifty-nine percent (59%). Staff finds this decrease in percentage of open space appropriate because the percentages



of open space in the immediate vicinity vary from as little as fifty to sixty percent (50-60%) open space to as much as eighty percent (80%) open space.

Staff finds the height and scale of the proposed addition to meet Sections II.B.1., II.B.2., and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Roof: The historic house has a complicated Victorian roof form. The front and the side facades have cross-gables with a roof slope of 12/12 and 11/12 respectively. The applicant's design preserves the house's historic roof form and ties into it appropriately. The inset portion of the addition, which ties into the back roof slope of the house, has a gabled roof with a slope of 4/12. The portion of the addition that is as wide as the historic house has a side-gabled roof with a slope of 12/12. Staff finds the addition's roof to meet Sections II.B.5. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.



Proportion and Rhythm of Openings: Staff finds that there are no large expanses of wall space without a door or window opening on the addition and that the window sizes and proportions are appropriate for an addition. Staff therefore finds the project's proportion and rhythm of openings to meet Section II.B.7. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Materials, Texture, and Details and Material Color: The primary cladding material on the addition will be fiber cement lap siding with a reveal to match the existing house. The cladding material on the existing house will be repaired where needed. The foundation of the addition will be a concrete slab foundation. The roof of the existing house will be replaced with fiberglass dimensional shingles and the addition will have the same to match. The color is unknown at this time. The historic house's original windows have been replaced and are no longer considered contributing to the historic character of the house. The new windows will be wood. The non-historic columns on the front porch will be replaced with composite columns atop brick piers, as seen in an earlier photo of the home.



With the staff's final approval of the fiberglass shingle color and window and door specifications, staff finds the materials for the proposed addition to meet Sections II.B.4. and II.B.10. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Staff recommends approval of the application with the following condition:

1. Staff review and approve the color of the fiberglass shingle and the window and door specifications prior to purchase and installation.

With these recommendations, staff finds that that the design, massing and siting of the addition meets Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Photographs



1960s Property Assessor photo



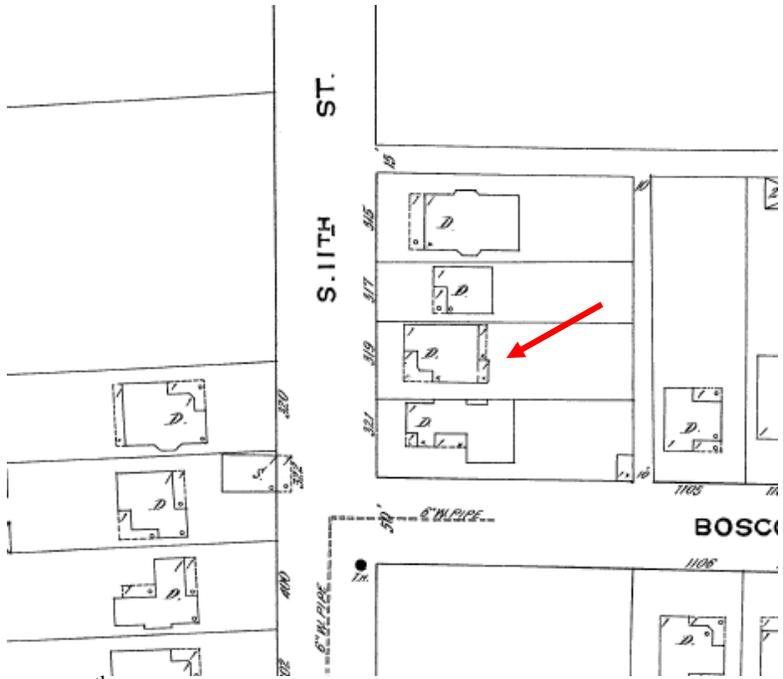
319 S. 11th Street, front façade



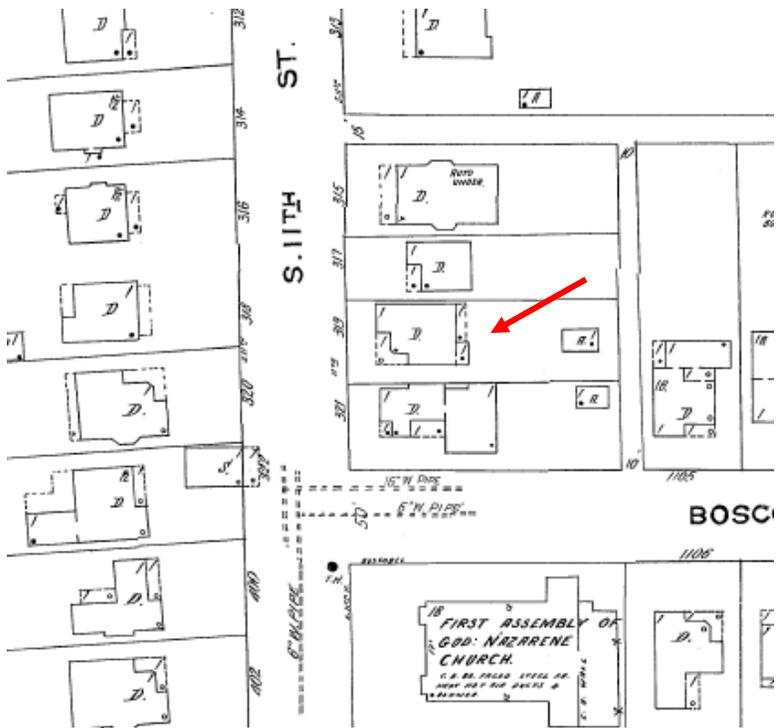
319 S. 11th Street, right side addition to be demolished



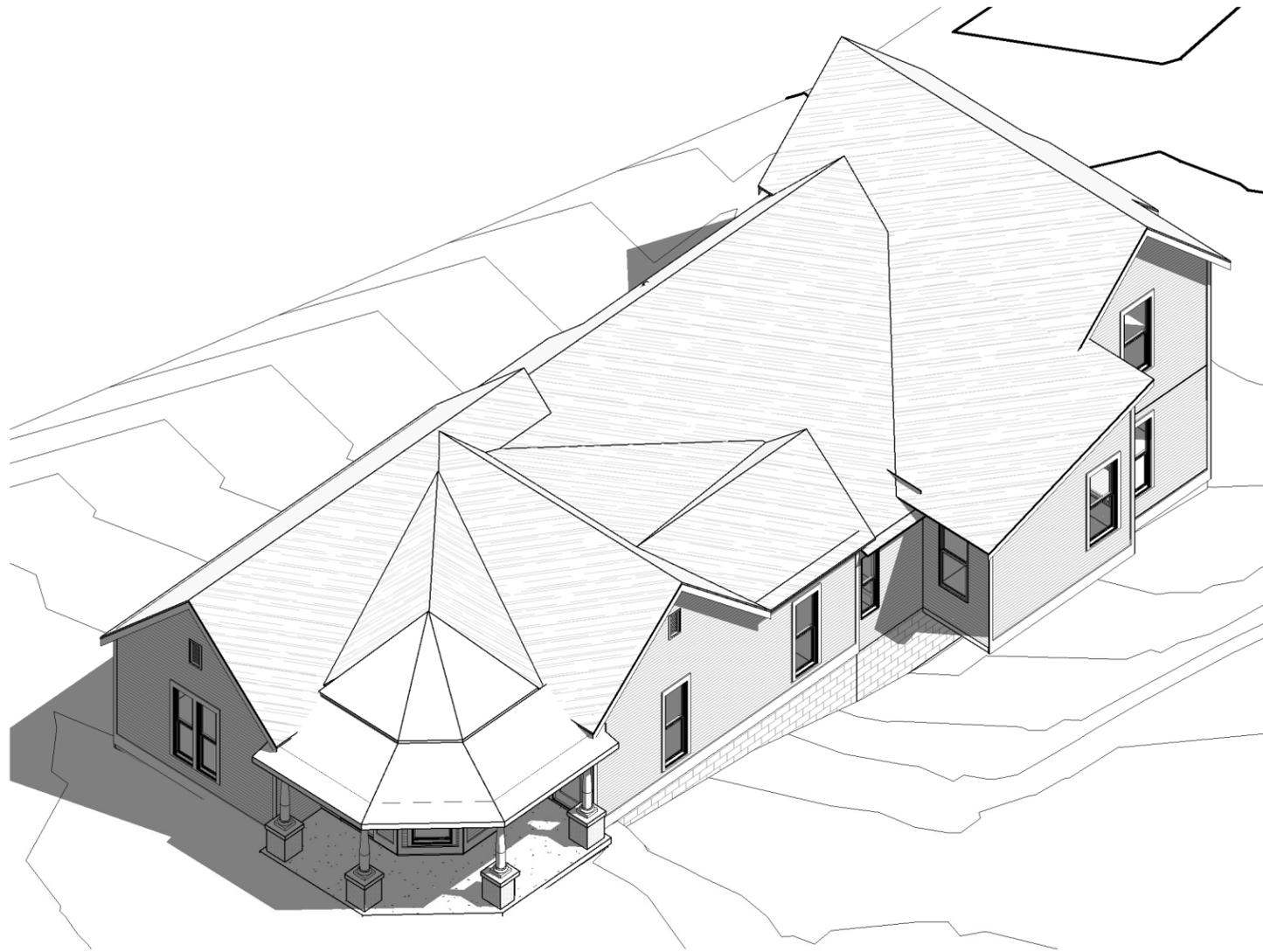
319 11th Street, rear façade



319 11th Street, 1914 Sanborn Map



319 11th Street, 1951 Sanborn Map



2 OVERHEAD
SD-0

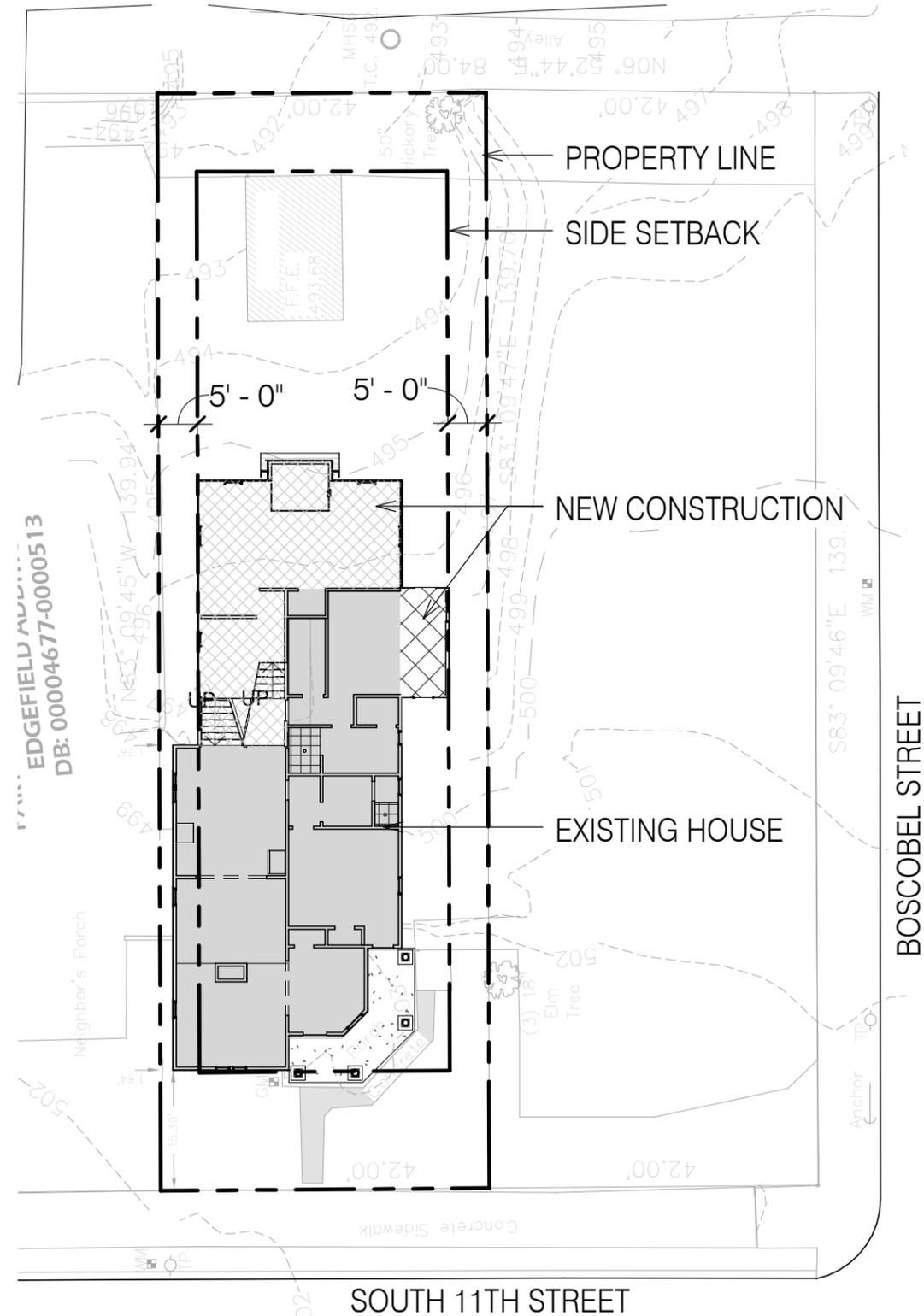
EXISTING ADDITIONS TO REMAIN WITH MODIFIED ROOF



EXISTING - BACK



EXISTING - FRONT



1 319 11TH S. ST. - SITE PLAN
SD-0 1" = 20'-0"

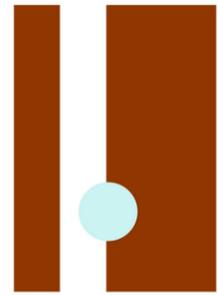
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RENOVATIONS AND ADDITIONS TO
319 South 11th Street
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SITE PLAN
SD-0
PROJECT : 1231
DATE: 10.02.12



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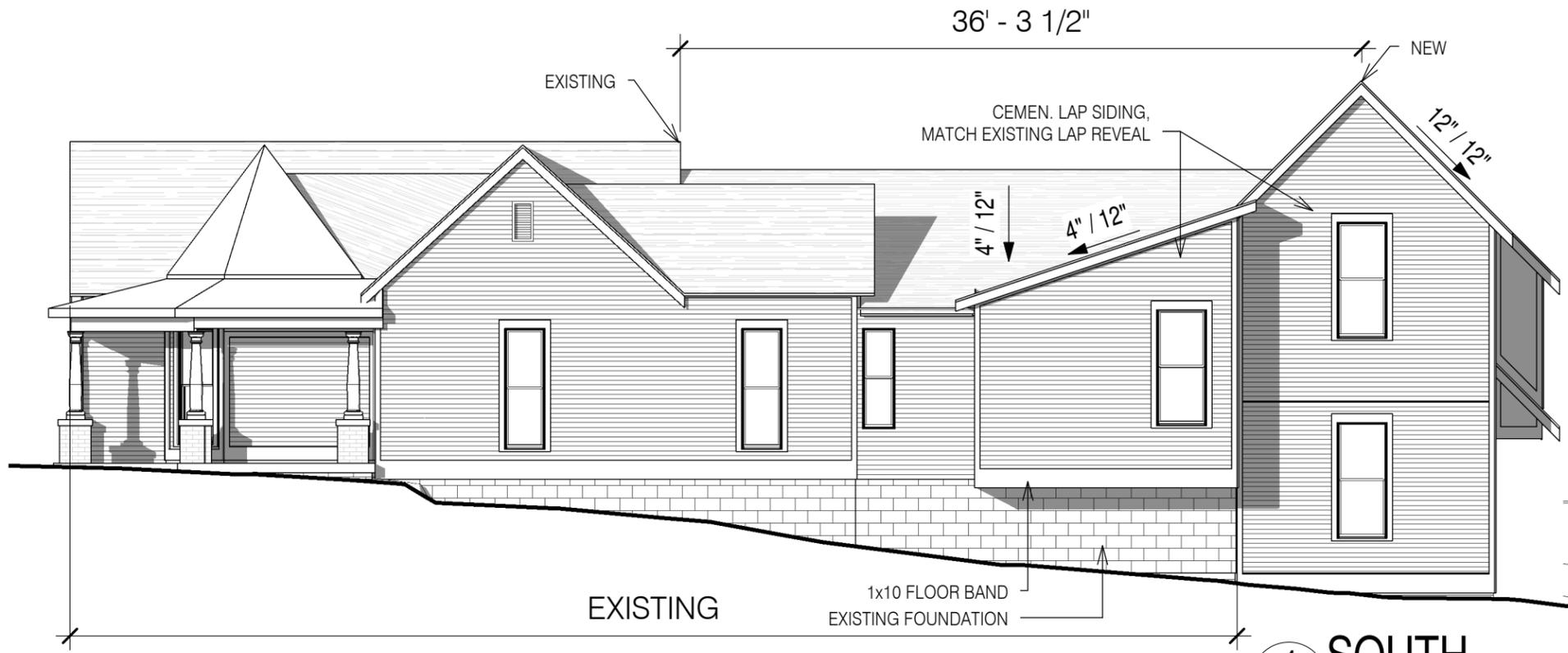
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ELEVATIONS

SD-2

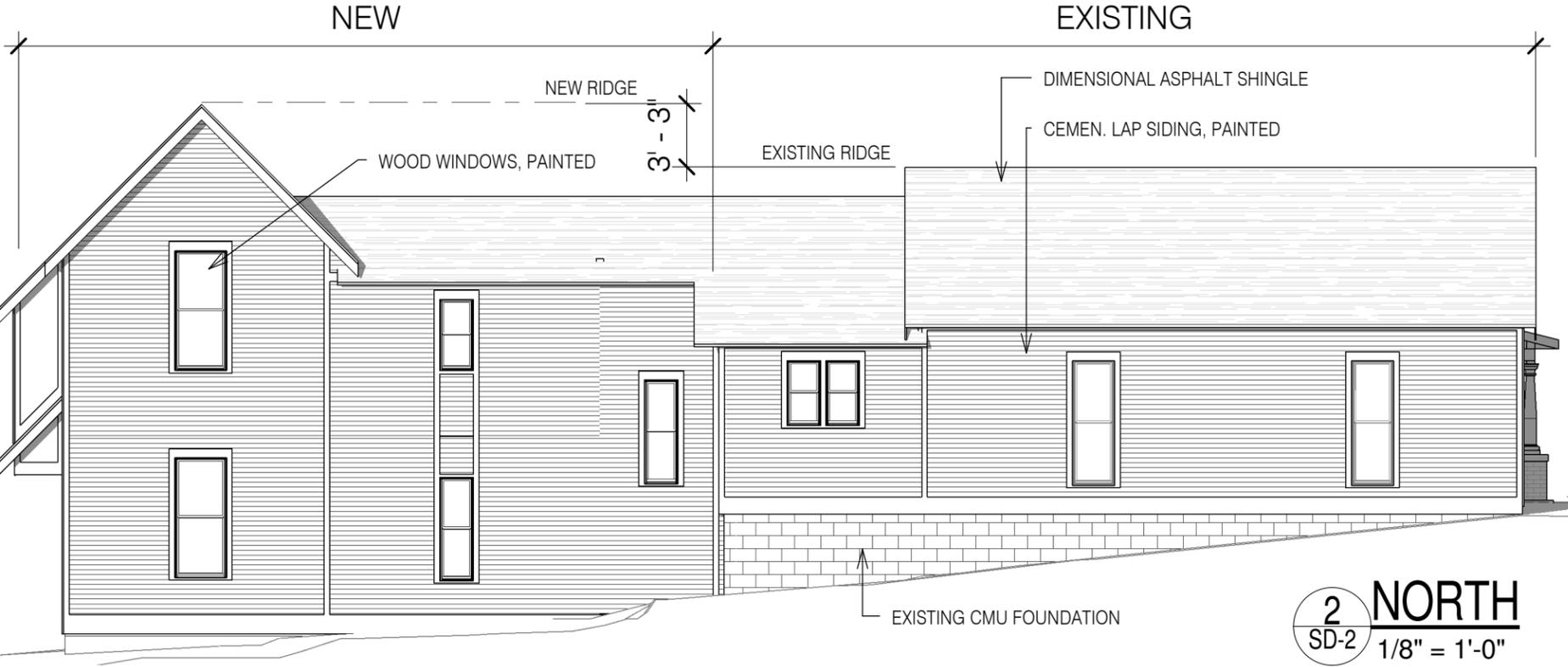
PROJECT : 1231
DATE: 10.02.12



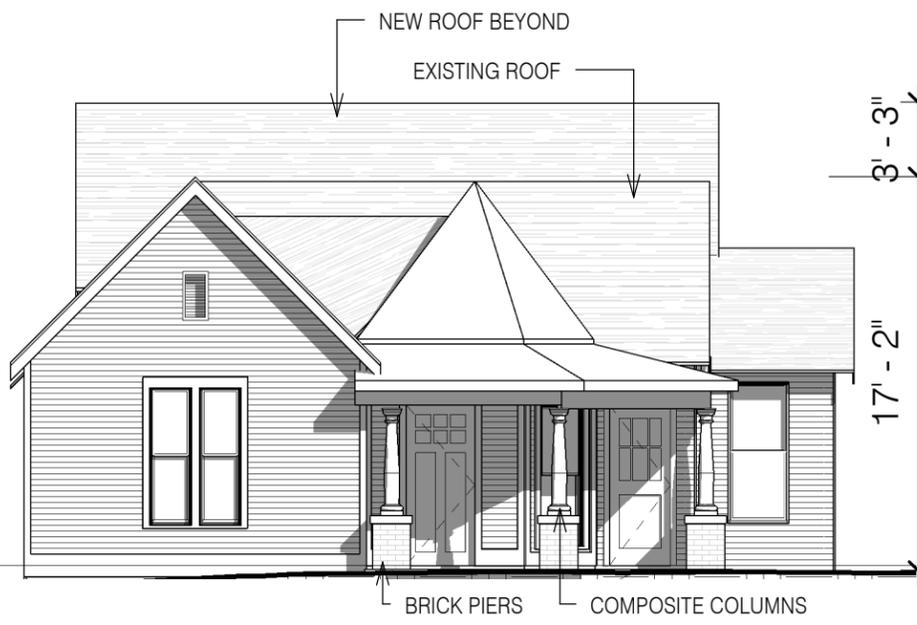
4 SOUTH
SD-2 1/8" = 1'-0"



3 EAST
SD-2 1/8" = 1'-0"



2 NORTH
SD-2 1/8" = 1'-0"



1 WEST (FRONT)
SD-2 1/8" = 1'-0"

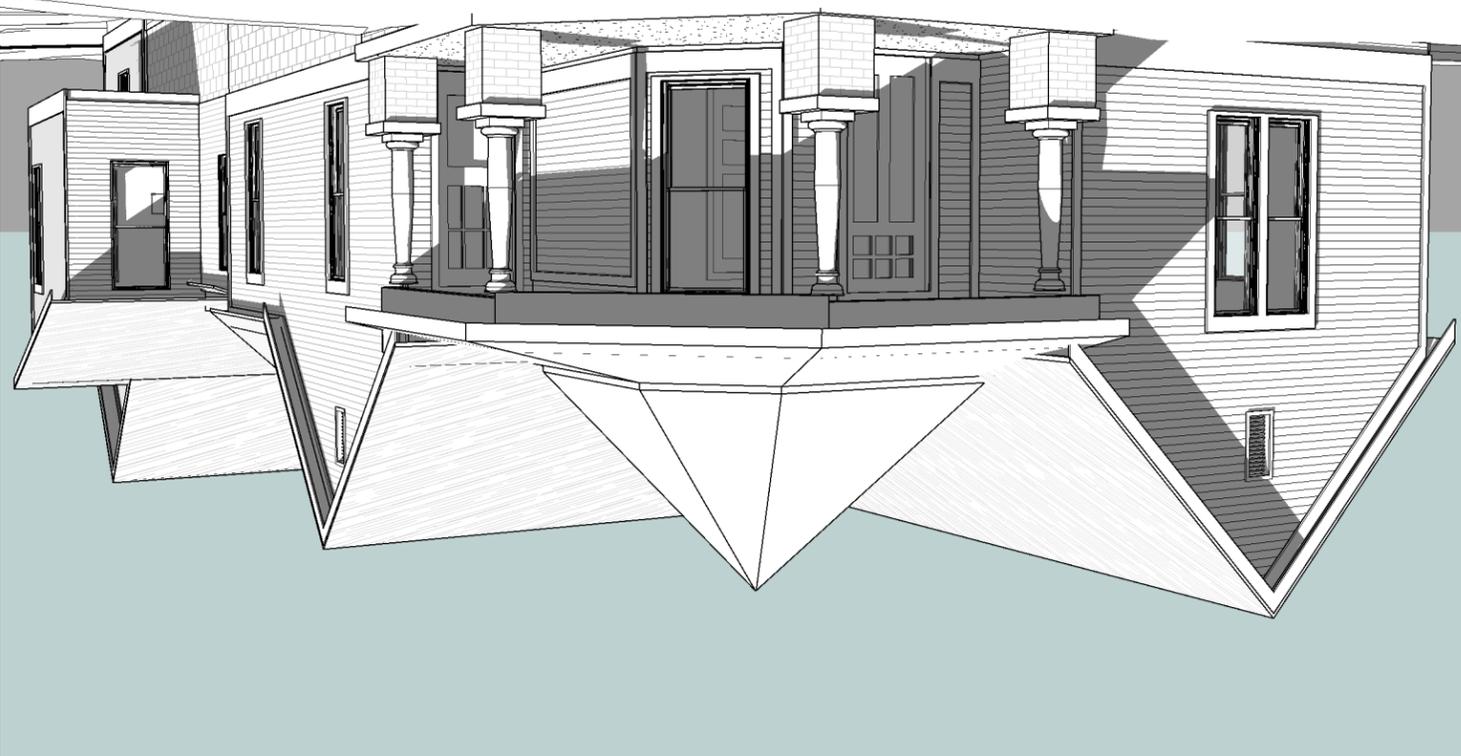
DATE: 10.02.12
 PROJECT : 1231
SD-3
 VIEWS

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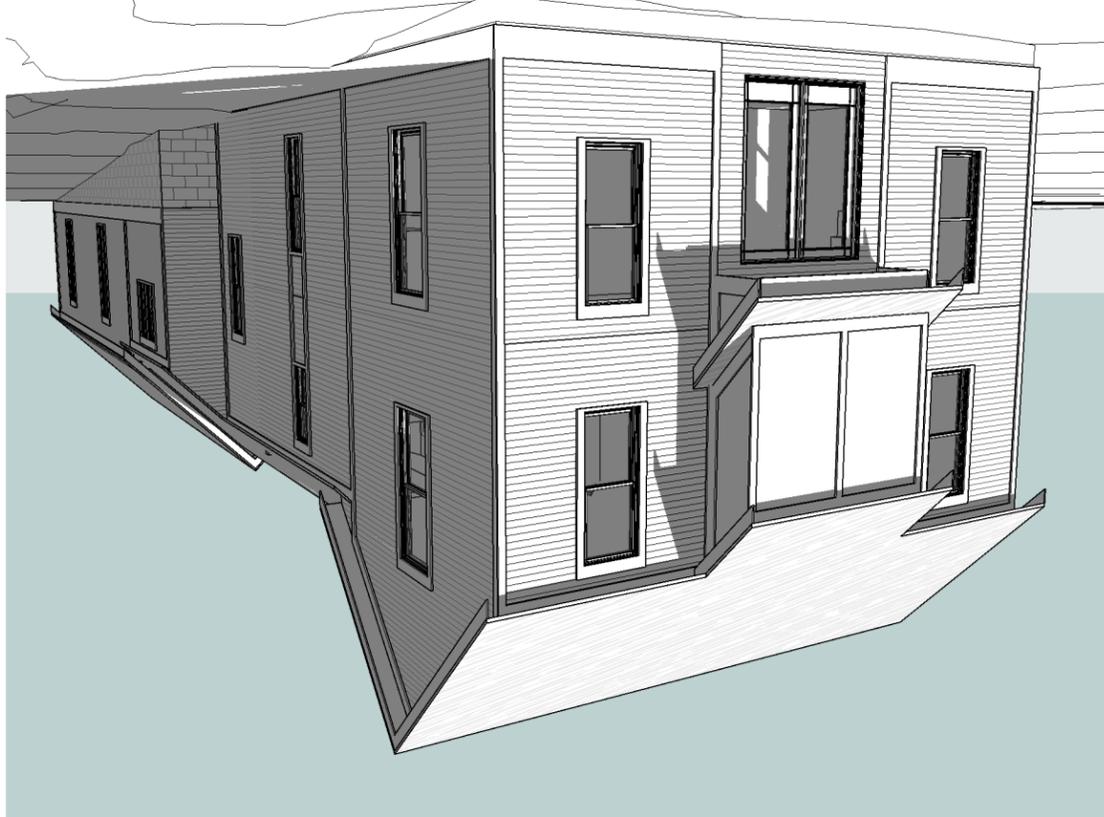
RENOVATIONS AND ADDITIONS TO
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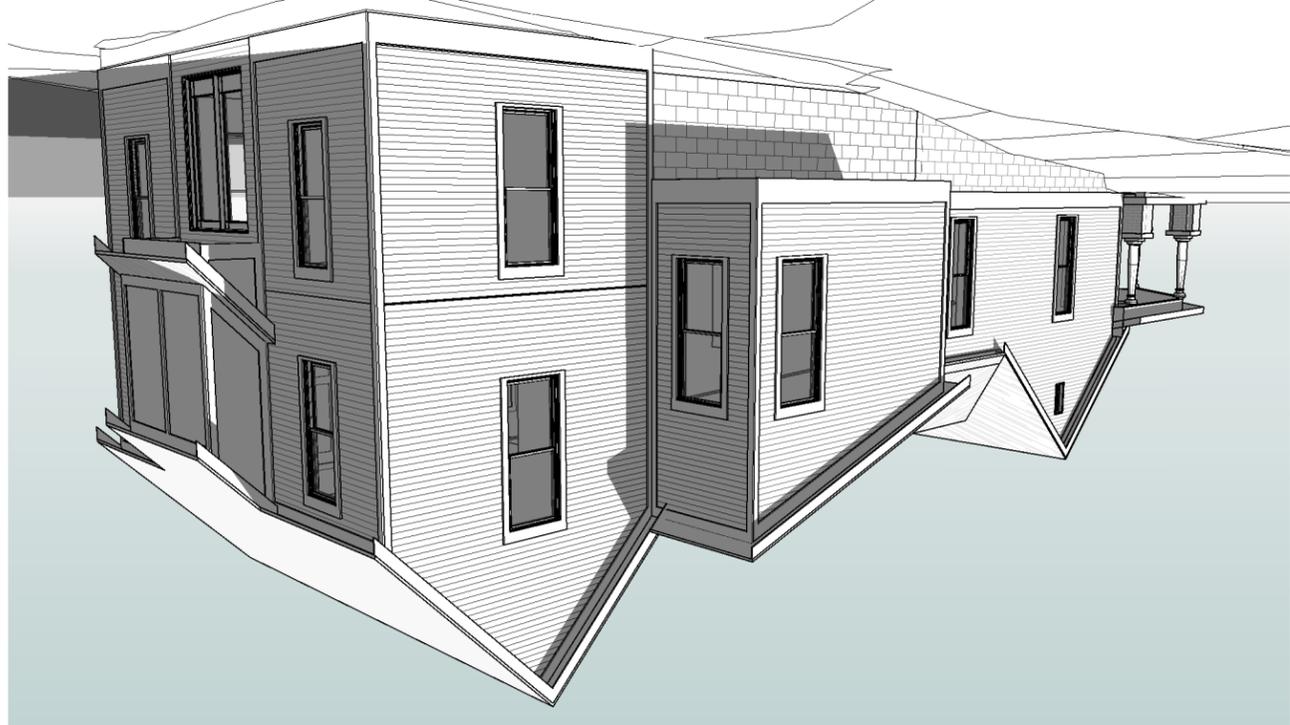
1 **SOUTHWEST** SD-3



2 **BACK VIEW** SD-3



3 **SIDE VIEW** SD-3



4 **SIDE OVERHEAD** SD-3

