



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1713 Sweetbriar Avenue
September 19, 2012

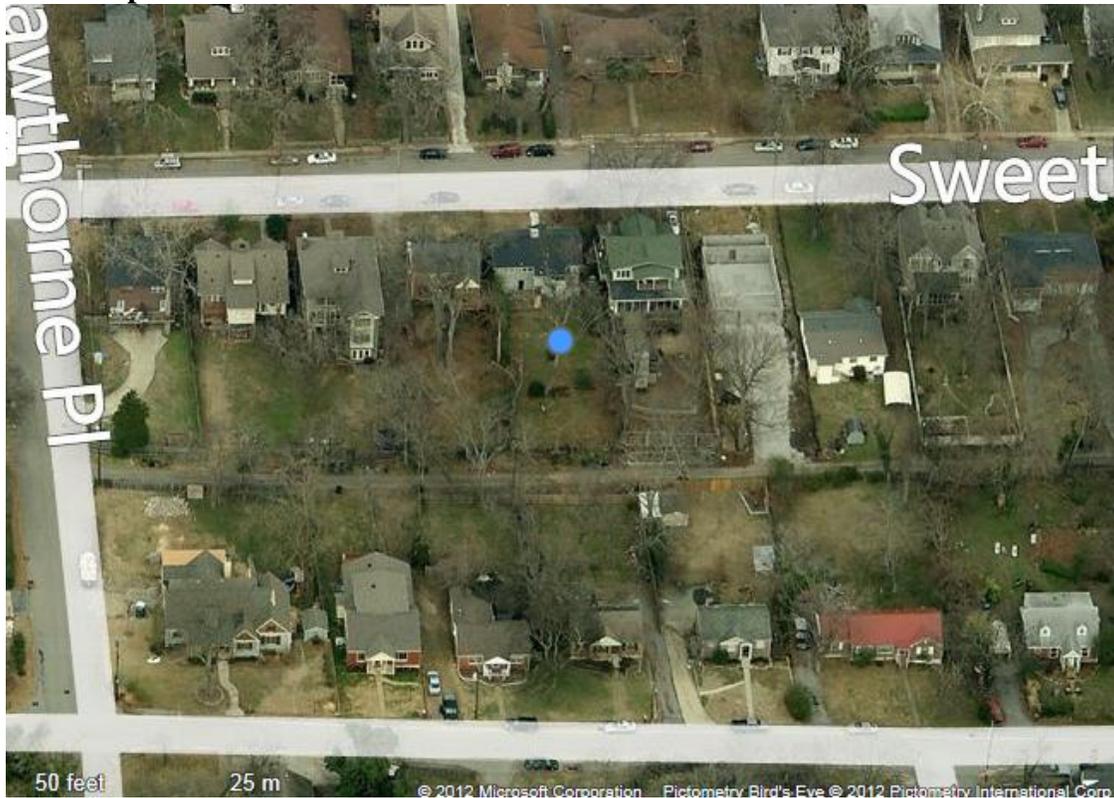
Application: New construction-rear addition and alterations
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 11704007300
Applicant: Stone Oak Builders, Josh Belville
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: The applicant proposes a rear addition on a contributing building in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.</p> <p>Recommendation Summary: Staff recommends approval with the conditions that:</p> <ul style="list-style-type: none"> • Staff review trim, deck, windows, doors, garage doors, and roof color prior to purchase and installation; and • Utility locations be reviewed by staff if new locations are planned. <p>With these conditions (that the applicant has agreed to), the project meets II.B of the design guidelines for new construction and additions.</p>	<p>Attachments A: Photographs B: Site Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setback reductions will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door

and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:

- An extreme grade change*
- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

Side Additions

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

e. Additions should follow the guidelines for new construction.

Background: 1713 Sweetbriar Avenue is a contributing building to the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay. It was constructed c.1930 and is a one-story dwelling with lap siding and three-over-one windows.

Analysis and Findings:

Height and Roof Shape: The existing house is a one-story house that is approximately seventeen feet (17') tall from the front grade. The current context of this side of the block is recent construction replacing non-contributing houses and one and one-half (1.5) to two and two and one-half (2-2.5) story historic homes that range between approximately twenty-four feet and thirty-five feet (24'-35') tall from grade to ridge. Across the street, the historic homes range between approximately twenty-three feet and thirty-seven feet (23'-37') tall from grade. These homes appear even taller because of the rise in grade.

The addition will rise above the existing house by two feet (2'), approximately twenty-six feet (26') from the front wall of the house. Previous additions to one-story homes have been allowed up to four feet (4') taller as long as the additional height did not happen until forty-feet (40') beyond the front wall of the house. Since this addition will only rise two feet (2') staff found that twenty-six feet (26') beyond the front wall of the house to be appropriate.

Wall dormers are discouraged as they are not typical for the historic overlay; however, this one is small in scale and located towards the rear of the house with minimal visibility.

The project meets section II.B.a and e.

Scale: The addition approximately doubles the size of the original small house; however, the existing house is atypically small for this portion of the neighborhood. In addition, the addition sits in by two feet (2') from each side wall which will keep the addition subordinate to the existing house, as seen from the street. The foundation line of the new matches the foundation of the existing. The approximate open space is 80%, even with the addition. The project meets section II.B.b. of the design guidelines.

Setback and Rhythm of Spacing: The addition sits within all of the required setbacks of bulk zoning and does not alter any existing setbacks. The project meets section II.B.c. of the design guidelines.

Materials, Texture, Details, and Material Color: Materials include a split-face block foundation, smooth cement fiber lapsiding with a five inch (5") reveal, and asphalt shingle roofing. Trim, deck, windows, doors, garage doors, and roof color are unknown at this time so staff recommends staff review these items before their purchase and installation.

Orientation & Location: The addition is located to the rear of the building; therefore, staff finds that the addition will not significantly alter the historic character of the home or district and meets sections II.B.d and II.B.2.a.

Proportion and Rhythm of Openings: The addition does not have a blank wall of more than fourteen feet (14'), which matches the historic context in terms of rhythm of openings. The proportions of most of the new windows are similar to the existing. Double windows have a dividing muntin of similar width to the existing. The windows of the right side/front addition (or enclosed side porch) are not original and will be replaced with windows of the same design as the existing. The new windows meet Section II.B.g of the design guidelines.

Utilities: Staff recommends review of the location of utilities, if new connections are needed. With this condition, the project meets section II.B.h. of the design guidelines.

Outbuildings: There are no accessory buildings planned at this time.

Demolition: The addition will require the removal of the majority of the rear wall but will retain the corners and the original roof form, which would allow the addition to be removed without negatively affecting the form and integrity of the original building. The chimney will be removed and the roof reconstructed.

Although alterations of cladding, roofing and windows are not reviewed in a Neighborhood Conservation Zoning Overlay, removal of all rises to the level of partial-demolition, which is reviewable. The applicant has agreed to repair original cladding and windows and will replace the existing roofing material. Although the drawings look as if the front entrance hood is being reconstructed in a higher location, it will simply be repaired. The project meets section II.B.3d of the design guidelines.

Staff recommends approval with the conditions that:

- Staff review trim, deck, windows, doors, garage doors, and roof color prior to purchase and installation; and
- Utility locations be reviewed by staff if new locations are planned.

With these conditions, the project meets II.B of the design guidelines for new construction and additions.



1713 Sweetbriar



These homes are located to the right of 1713 Sweetbriar, a corner of which can be seen on the far left.



This is the third house down on the right.



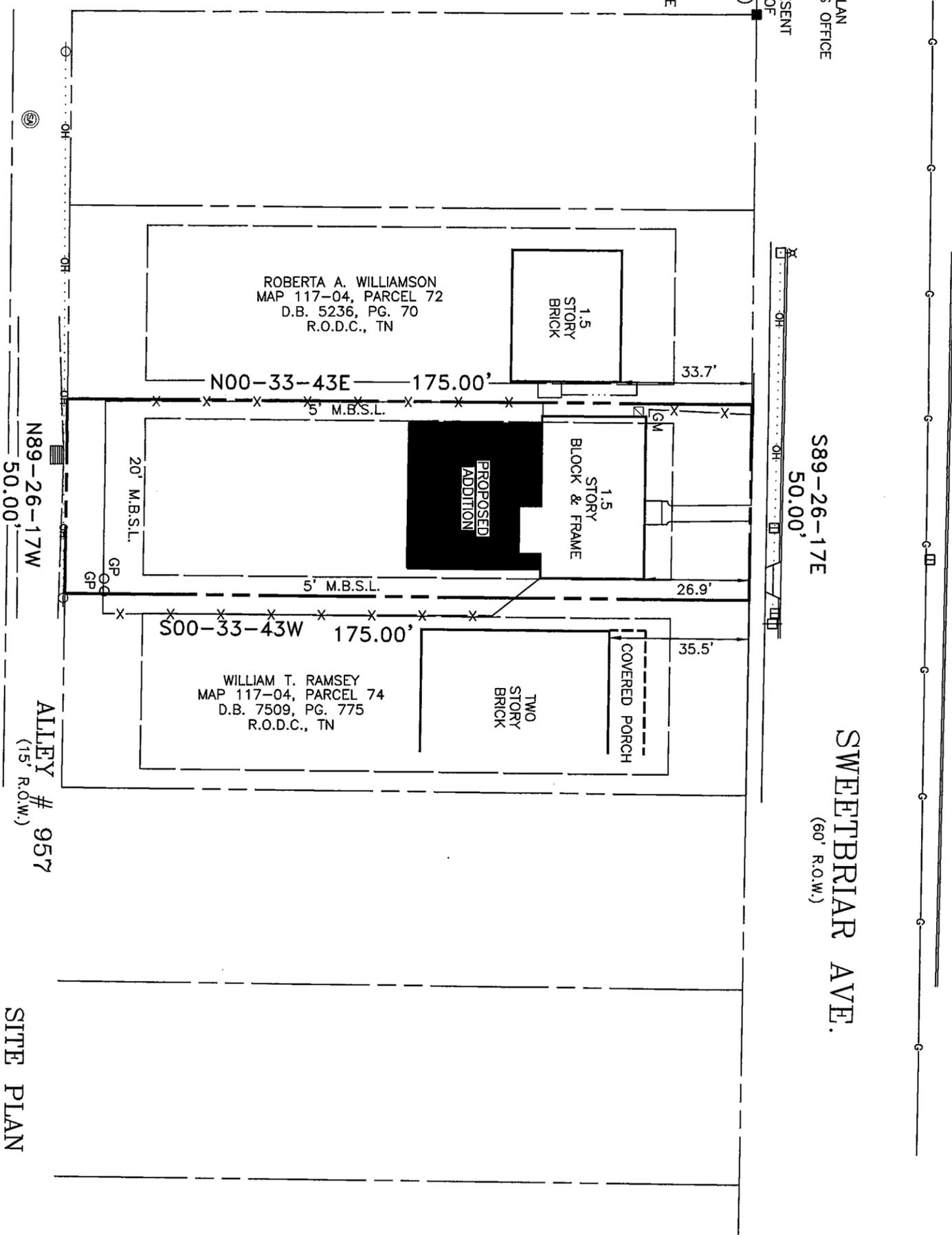
These are new homes located to the right of 1713 Sweetbriar and have been approved by the MHZC.



The two images above show homes across the street from 1713 Sweetbriar.

NOTES:

- 1) ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
- 2) UTILITIES HAVE BEEN PLOTTED FROM SURFACE FEATURES FOUND AT THE TIME OF SURVEY AND AVAILABLE MAPS AND RECORDS. THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
- 3) LOT NUMBERS SHOWN THUS (61) REFER TO BELMONT LAND COMPANY'S PLAN OF LOTS OF RECORD IN PLAT BOOK 421, PAGE 34, AT THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.
- 4) THIS SURVEY PREPARED FROM PLAT OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR GUARANTEE OF TITLE AND IS SUBJECT ANY STATE OF FACTS A CURRENT AND ACCURATE TITLE SEARCH WOULD REVEAL. CM(O)
- 5) THIS PROPERTY IS CURRENTLY ZONED "R8" BUILDING SETBACKS SHOWN PER METRO CODES.
- 6) REPRODUCTION OR USE OF THIS DRAWING OR ANY PART THEREOF IS NOT ALLOWED WITHOUT WRITTEN APPROVAL FROM THE SURVEYOR WHOSE SEAL APPEARS ON THIS SURVEY. COPYRIGHT 2012.



TOTAL AREA: 8750 SQ. FT. OR (0.201± ACRES)

SWEETBRIAR AVE.
(60' R.O.W.)

S89-26-17E
50.00'

ALLEY # 957
(15' R.O.W.)

SITE PLAN

AT
1713 Sweetbriar Avenue

MAP 117-04, PARCEL 73

Instr. No. 20120712-0061022

18th COUNCILMANIC DISTRICT

NASHVILLE-DAVIDSON COUNTY-TENNESSEE

SCALE: 1"=30' DATE: 7-30-12

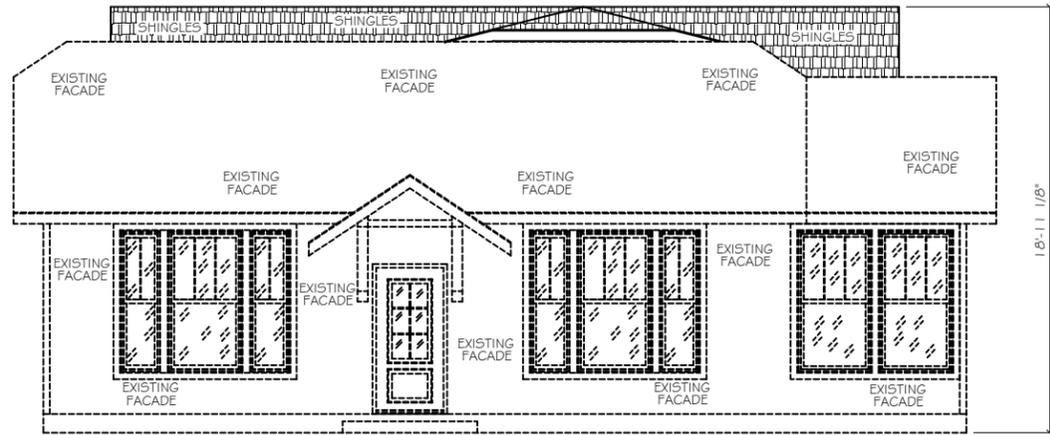
Stanley K. Draper, S.

4304 Central Valley Drive
Hermitage, TN 37076
(615) 891-3659 ofc./fax
(615) 290-2066 cell

stanleykdraper@comcast.net



For Review Only:
Not for Construction



FRONT ELEVATION

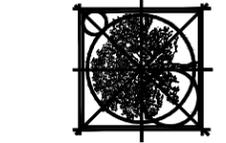
1/8" = 1'-0"

For Review Only:
Not for Construction



REAR ELEVATION

1/8" = 1'-0"



Stone Oak Builders

ProMark
Home Designs LLC.

P.O. Box 159144 Nashville, TN 37215

Proudly working with:

1713 Sweetbriar
Nashville, TN

It is the intent of these documents to provide sufficient information to the experienced builder to construct the project shown; it is therefore his / her responsibility to verify accuracy and compliance with all regulatory agencies prior to construction; and their requirements must take precedence over those shown.

DRAWN BY:
J.W.

PLAN NUMBER:
Sweetbriar

DATE: 9/06/12



LEFT ELEVATION

1/8" = 1'-0"

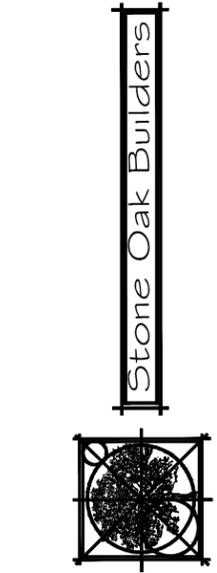
For Review Only:
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RIGHT ELEVATION

1/8" = 1'-0"

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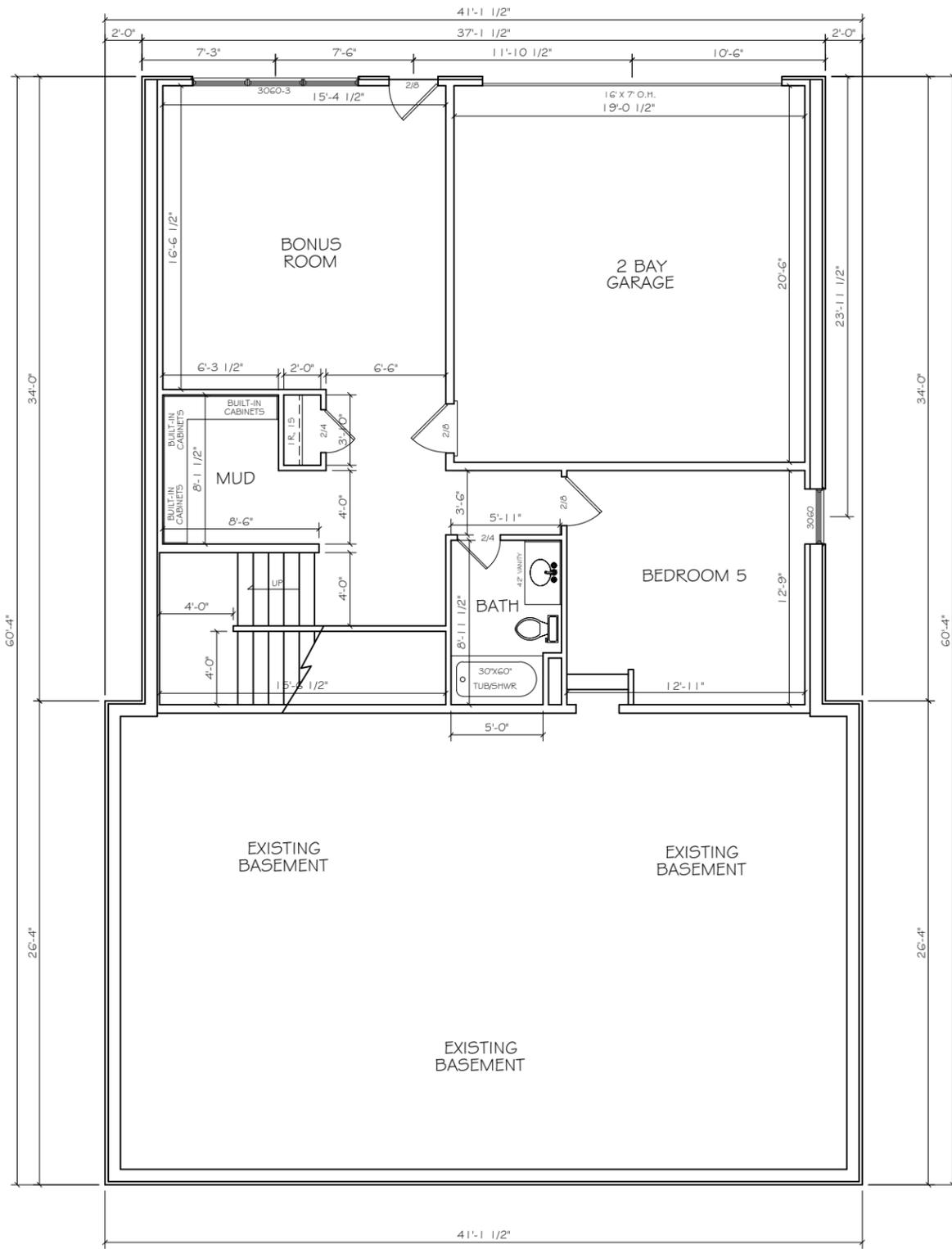
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DRAWN BY:
J.W.

PLAN NUMBER:
Sweetbriar

DATE: 9/06/12

For Review Only:
Not for Construction



BASEMENT FLOOR PLAN
1/8" = 1'-0"

For Review Only:
Not for Construction

1713 Sweetbriar
Nashville, TN

DRAWN BY:
J.W.

PLAN NUMBER:
Sweetbriar

DATE: 9/06/12

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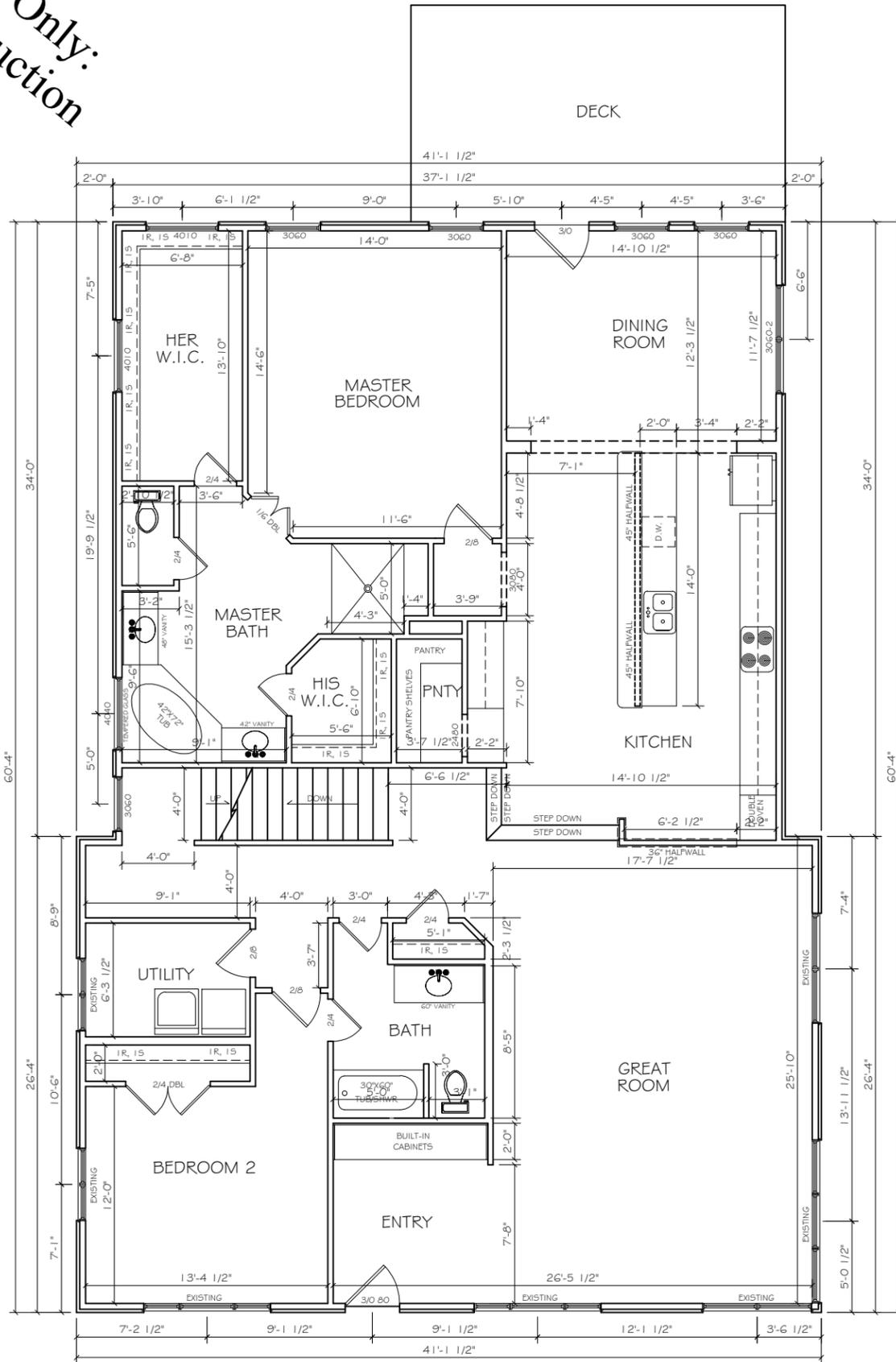
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FIRST FLOOR PLAN
1/8" = 1'-0"

AREA CALCULATIONS	
BASEMENT - HEATED	852
FIRST FLOOR - HEATED	2,303
SECOND FLOOR - HEATED	892
TOTAL - HEATED	4,047
ADDITIONS:	
FRONT PORCH	---
BASEMENT GARAGE	403

For Review Only:
Not for Construction

1713 Sweetbriar
Nashville, TN

DRAWN BY:
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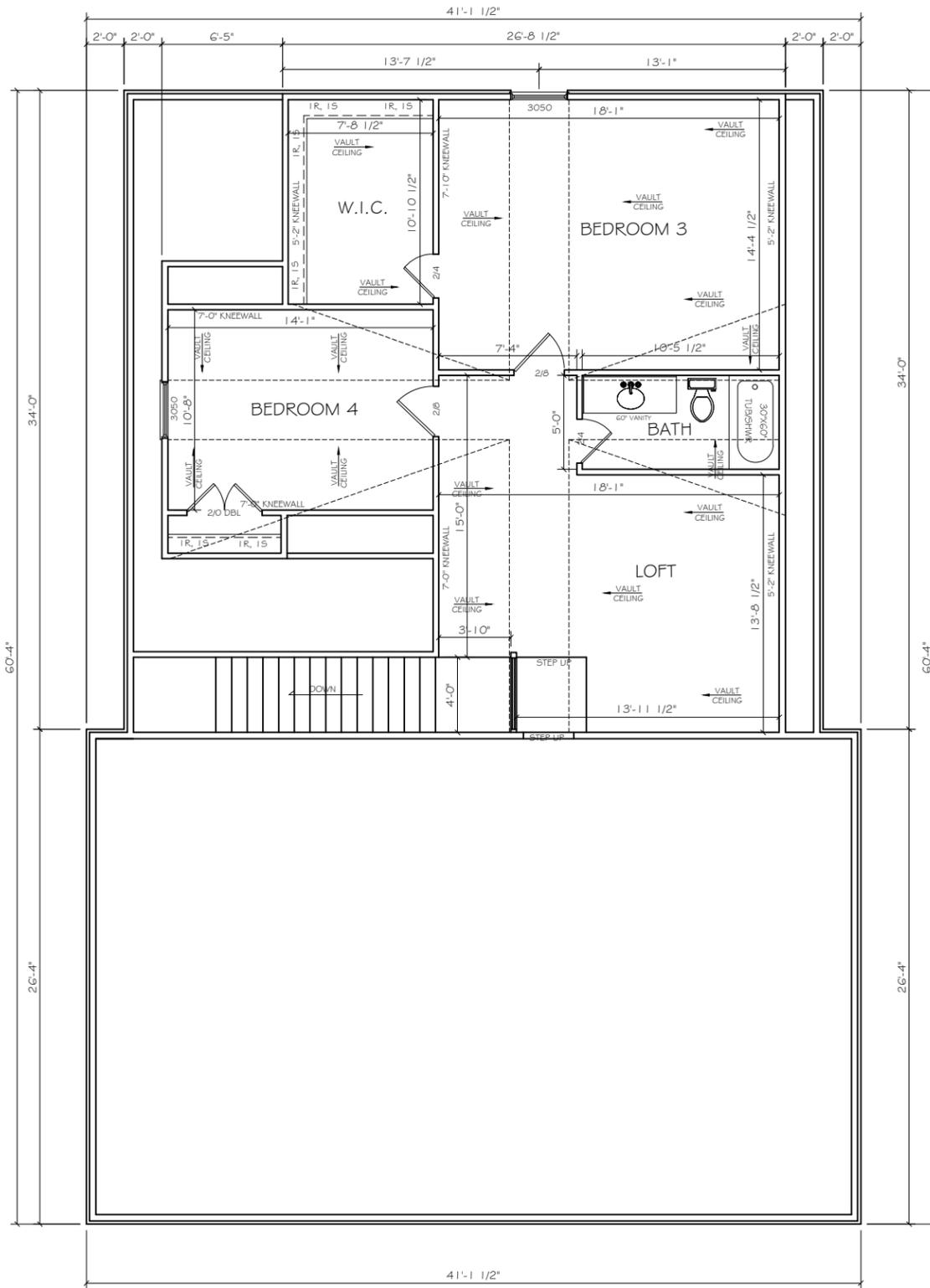


Stone Oak Builders

DATE: 9/06/12

PLAN NUMBER:
Sweetbriar

For Review Only:
Not for Construction



SECOND FLOOR PLAN

1/8" = 1'-0"

For Review Only:
Not for Construction

1713 Sweetbriar
Nashville, TN

DRAWN BY:
J.W.

PLAN NUMBER:
Sweetbriar

DATE: 9/06/12

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