



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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## STAFF RECOMMENDATION 4204 Elkins Avenue September 19, 2012

**Application:** New construction - addition  
**District:** Park and Elkins Neighborhood Conservation Zoning Overlay  
**Council District:** 24  
**Map and Parcel Number:** 09116019900  
**Applicant:** Jerry Earwood, Nashville Rehabbers  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The applicant proposes to construct an addition to a contributing Craftsman bungalow. The addition will be set in from the side of the historic house by three feet (3') on each side, and will rise four feet (4') taller than the ridge of the house at a point forty feet (40') behind the front of the house. The materials will be cement-fiber siding with wood trim and wood windows. The roof and foundation will match the materials of the existing structure.

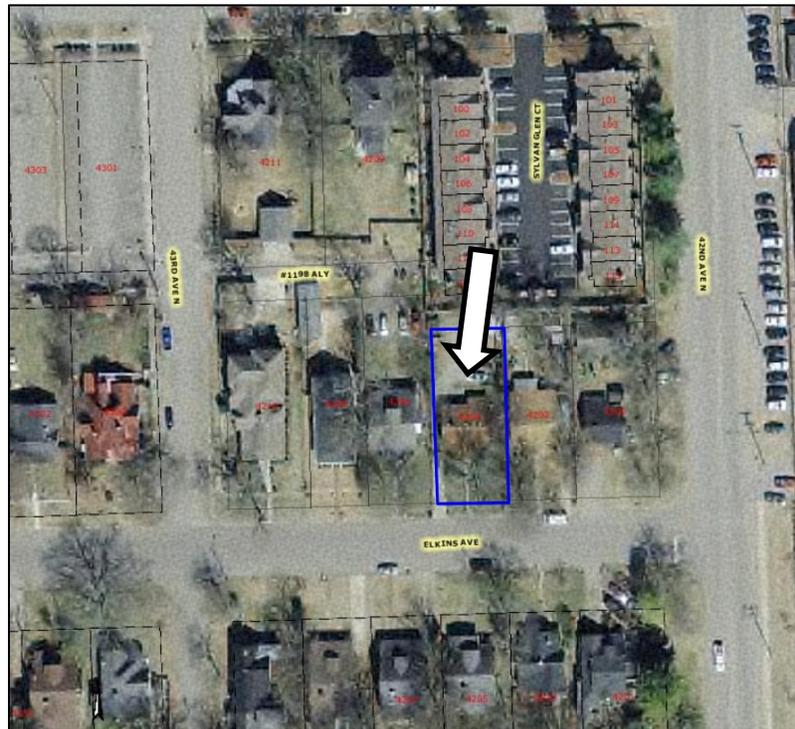
**Recommendation Summary:** Staff recommends approval of the proposed addition to 4204 Elkins Avenue, with the condition that staff approve the specific window selections prior to purchase, finding it to meet the design guidelines for the Park and Elkins Neighborhood Conservation Zoning overlay.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II. B. NEW CONSTRUCTION AND ADDITIONS

#### I. *New Construction*

##### a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

##### b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Most historic residential buildings have front porches. *To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.*

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.

##### c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setback reductions will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

##### d. Materials, Texture, and Details, and Material Color

The materials, texture, and details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate. MHZC does not review the painting of structures.

*T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*  
*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*  
*When different materials are used, it is most appropriate to have the change happen at floor lines.*  
*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

e .        **R o o f s**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

f .        **O r i e n t a t i o n**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings shall incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

g .        **P r o p o r t i o n   a n d   R h y t h m   o f   O p e n i n g s**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)*

*Brick molding is required around doors, windows and vents within masonry walls.*

h. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the midpoint of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

j. Appurtenances

Appurtenances related to new building, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and site to which they relate.

k. Public Spaces

New construction of buildings, structures or additions, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

2. Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different exterior cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

- Additions should be located at the rear of the existing structure.
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

Additions taller than existing building

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option:

1. *Additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the mass of the addition.*

- b. When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

- c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.
- d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.
- e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- f. Additions should follow the guidelines for new construction.

**Background:** 4204 Elkins Avenue is a one story Craftsman-style bungalow, constructed circa 1930. The structure is considered to be “contributing” to the historic character of the district.

**Analysis and Findings:** The applicant is proposing to remove a non-historic rear addition and enlarge the structure with the construction of a new rear addition.

#### Height, Scale

The existing rear addition is not original, and will be removed. The new addition will have a two-story massing, four feet narrower than the existing house but also (4') taller. The taller roof of the addition will not be greatly visible because it occurs forty feet (40') behind the front of the existing house. Additionally, the massing will be largely obscured because the addition will be set in from the sides of the existing house by a hyphen that sets in three feet (3') and eighteen inches (18") below the existing roof. These proportions are compatible with the existing house and meet guideline II.B.1.a. and II.B.1.b.

Because the addition sets in from the sides of the historic house and will not impact the front or side elevations, it also meets guideline II.B.2.a.

#### Setbacks

The majority of the addition will be set in two feet (2') from the sides of the existing house, with the hyphen setting in an additional one foot (1'). The existing house has side setbacks of twelve feet (12') and eight feet (8'). The proposed setbacks more than meet bulk zoning requirements. The addition will have no or very little impact on the setbacks and rhythm of spacing established by other houses on the street and will meet guideline II.B.1.c.

#### Materials:

The materials of the addition will include: smooth-faced cement-fiber siding with a five inch (5") reveal, split-faced concrete block foundation, and a fiberglass shingle roof

matching the color of the existing roof. The windows and trim will be wood. The existing vinyl siding and vinyl windows will also be replaced. Additional information on the new windows is needed to determine compliance with the design guidelines, but in general these materials meet guideline II.B.1.d.

#### Roofs

The primary component of the addition, the nearly square two-story element, will have a cross-gabled roof with a 6:12 pitch on the left-to-right ridge, and a 3:12 pitch on the front-to-back ridge. The 6:12 pitch roof only will be minimally visible because the addition sets in and will be obscured by the existing side-gabled roof therefore staff finds that the roofs will meet guideline II.B.1.e.

#### Proportion and Rhythm of Openings

The addition will have evenly spaced windows on both stories on both sides, and the windows will be taller on the first story than the second. These window openings meet guideline II.B.1.g.

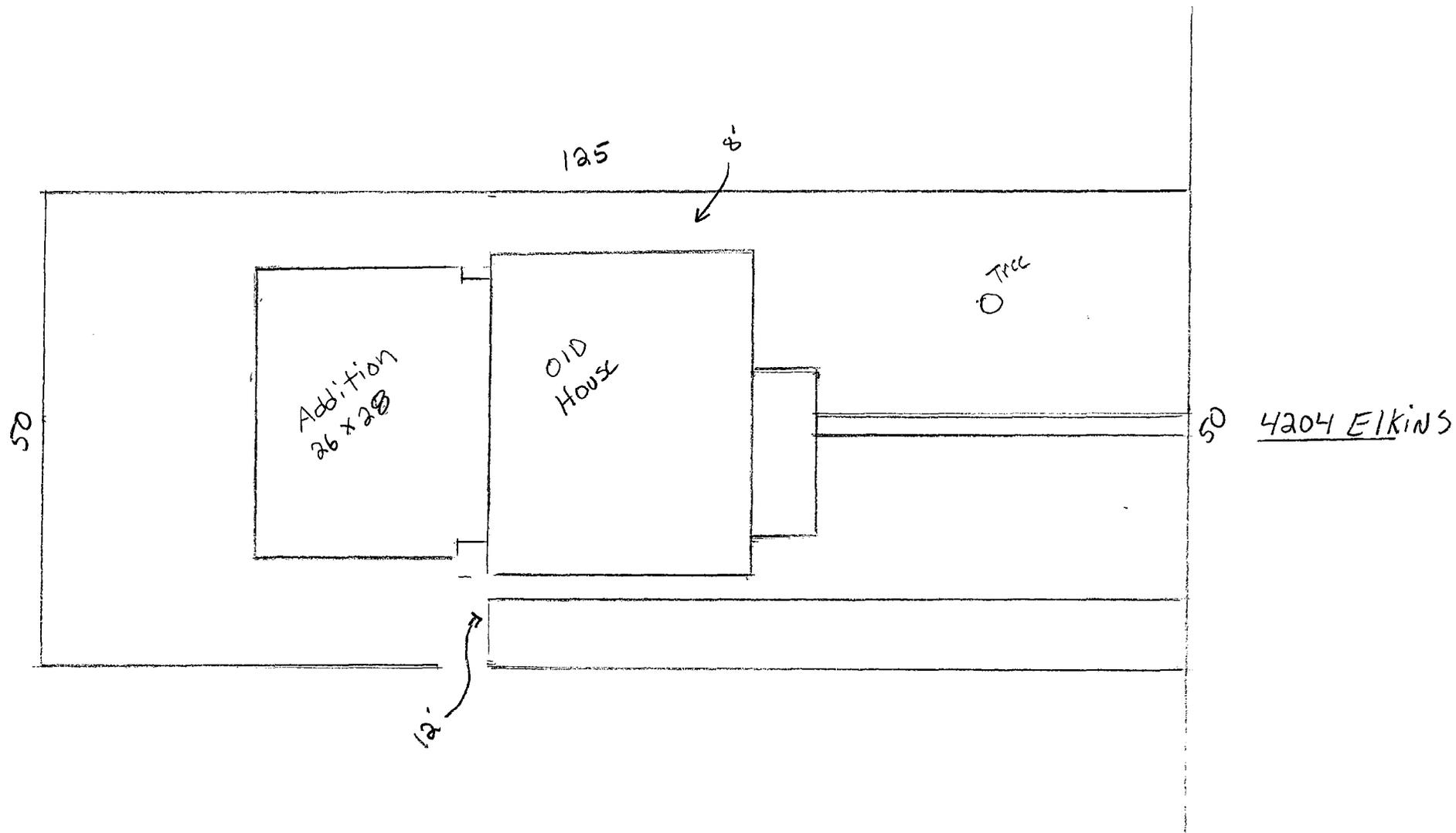
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4204 Elkins, front.

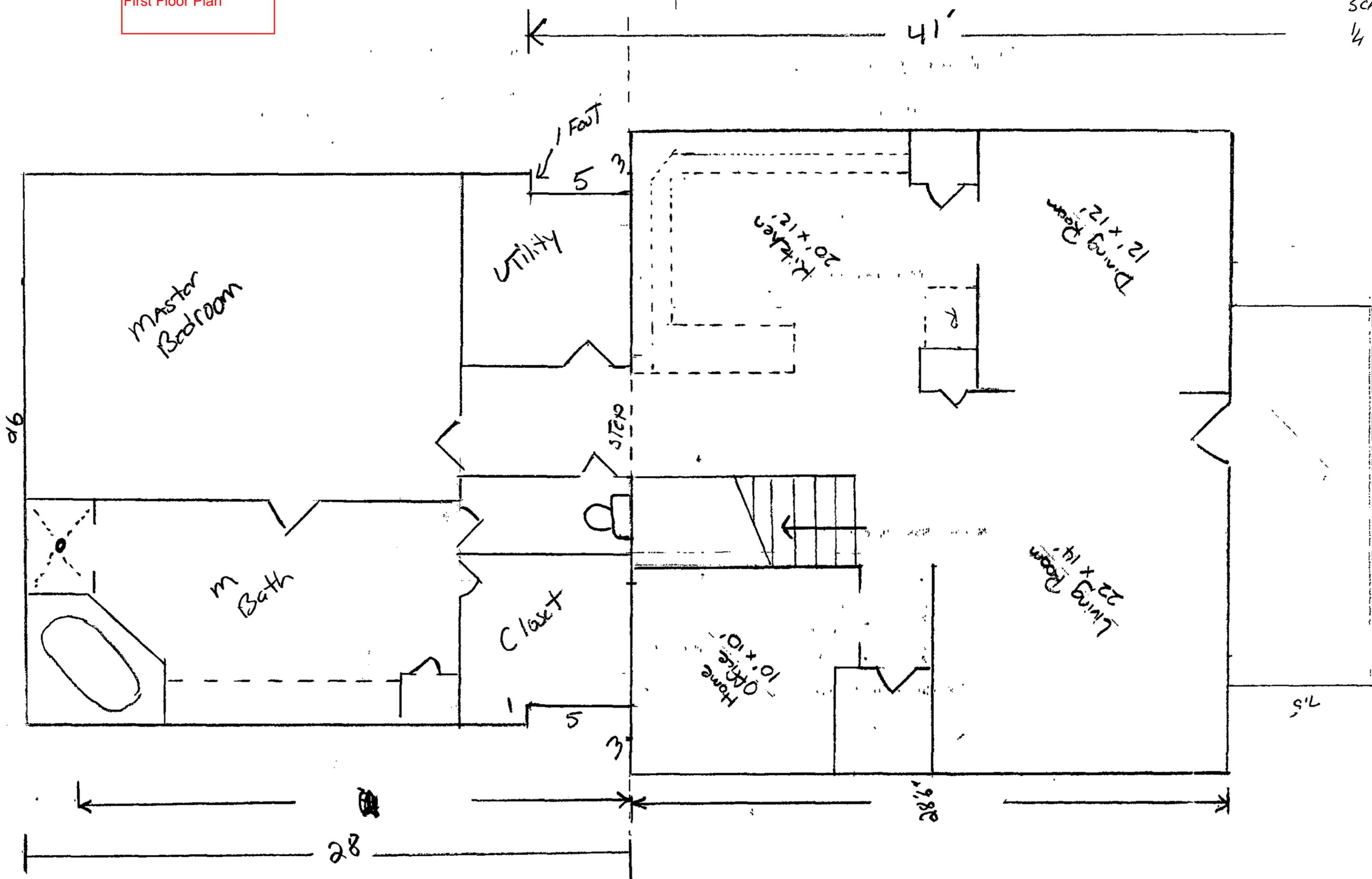


4204 Elkins Avenue, rear.



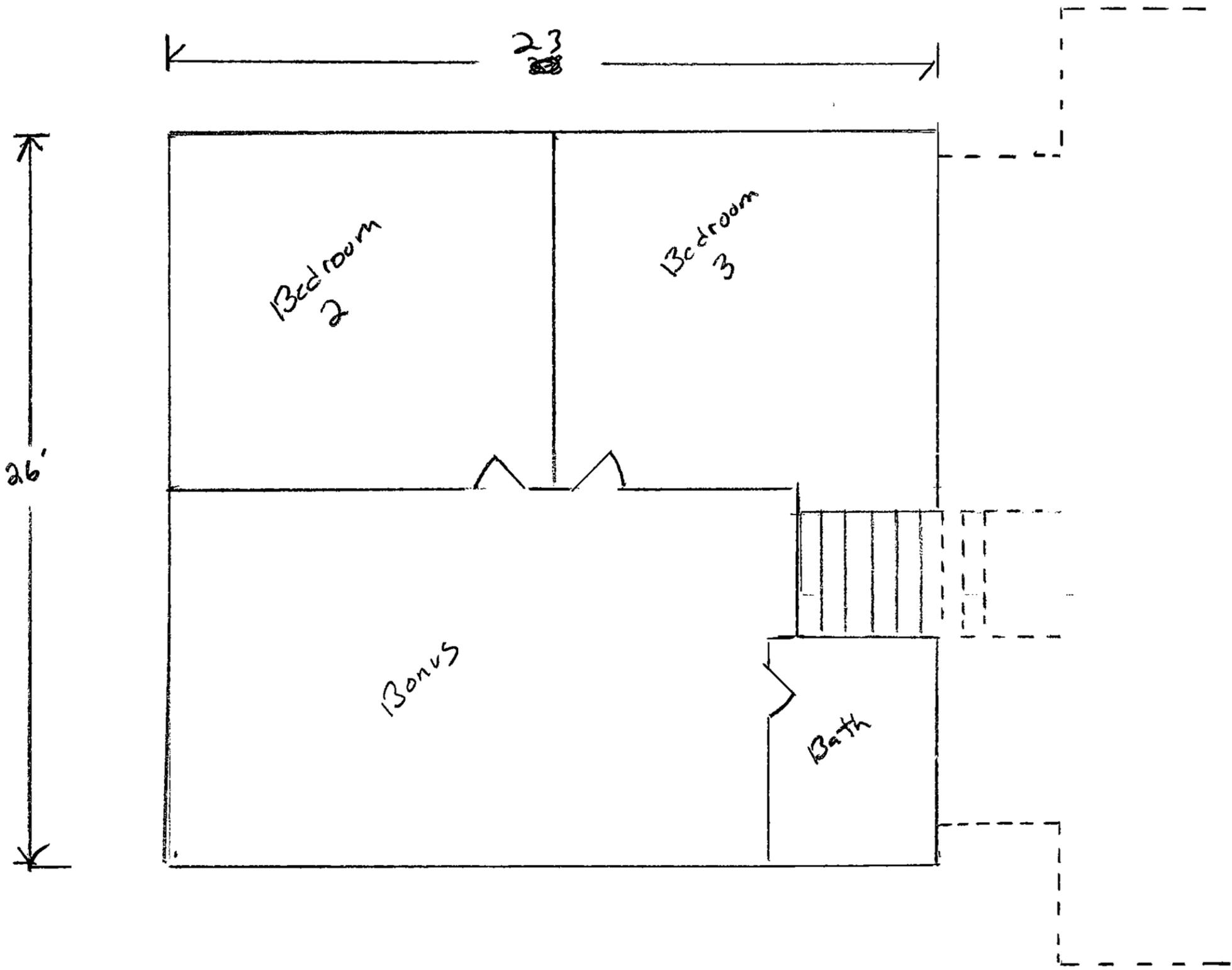
First Floor Plan

SCALE  
1/4" = 1'



Second Floor Plan

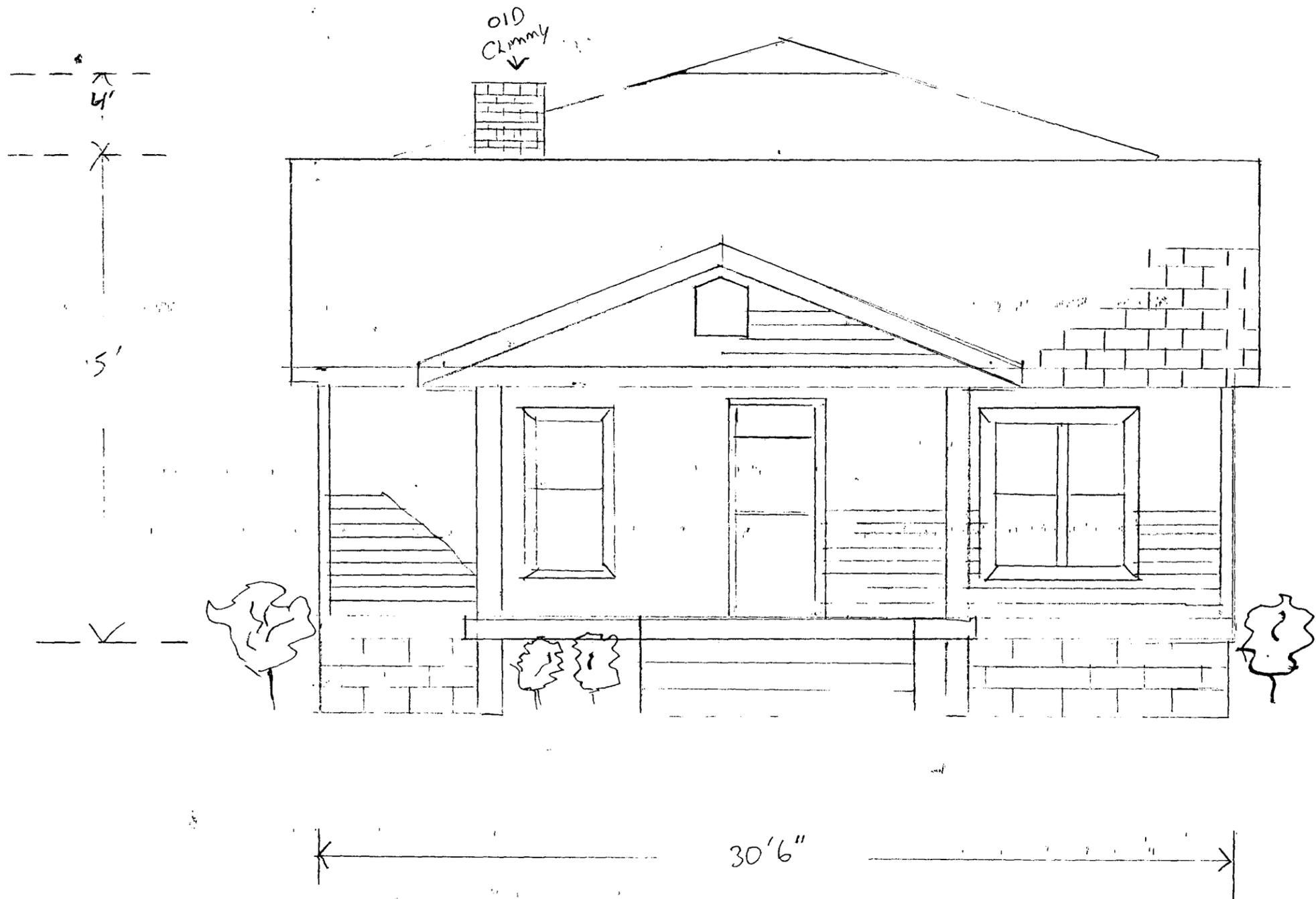
4204  
L1KIN



SCALE  
1/4" = 1'

4204  
EIKINS

Front Elevation

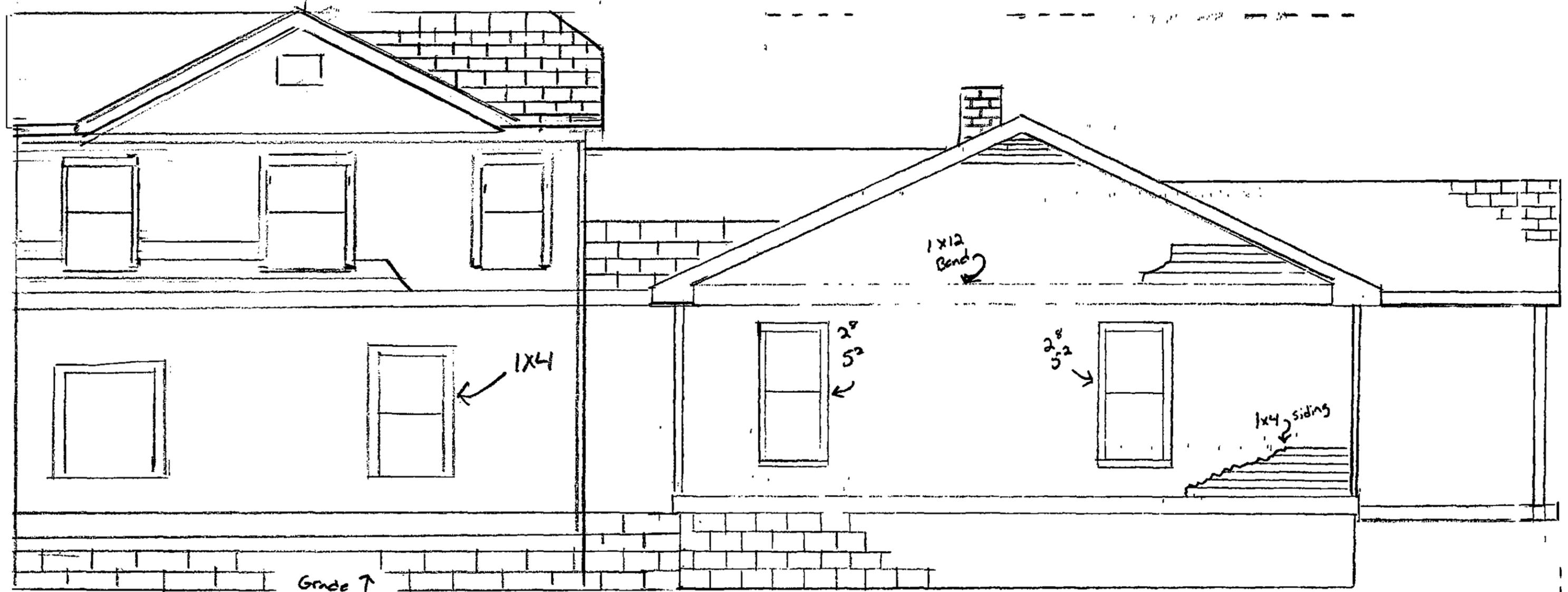


Left Side Elevation  
-Right Side Similar

4204 EIKINS

SCALE  
1/4" = 1'

Addition



Addition

40'

SPLIT-FACED BLOCK  
SMOOTH CEMENT  
WOOD WINDOWS  
4" TRIM

4204  
EIKAS

SCALE  
1/4" = 1'

Rear Elevation

