



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
2403 Fairfax Avenue
February 20, 2013

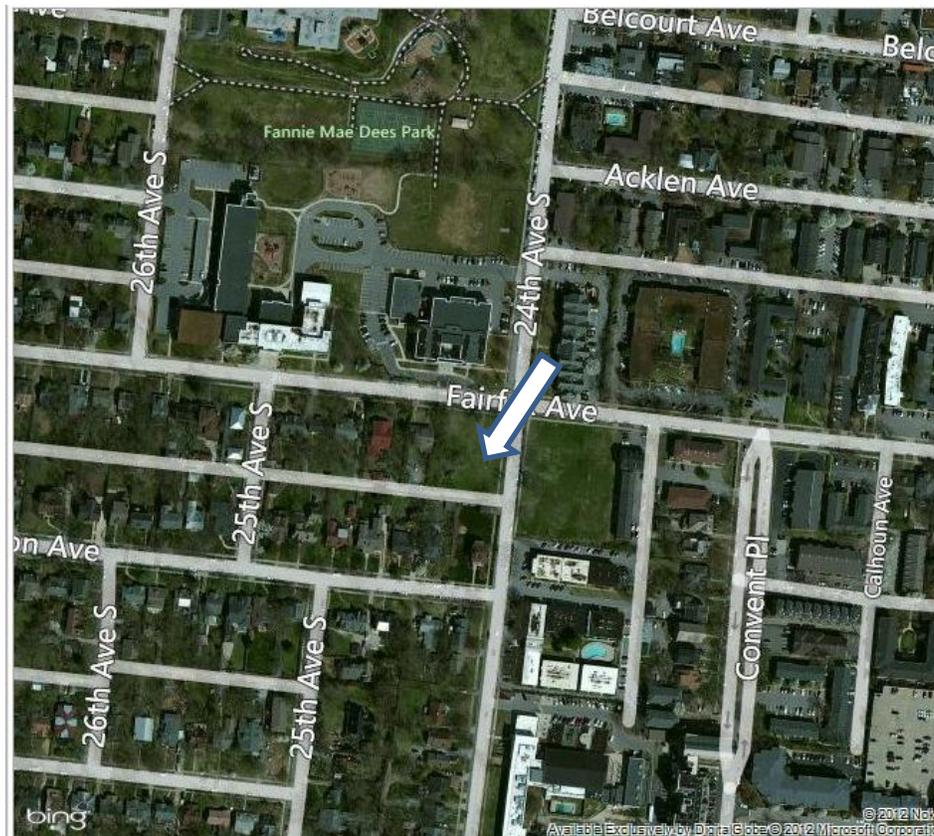
Application: New construction – Outbuilding
District: Hillsboro-West End Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10411017000
Applicant: Kaitlyn Smous, Allard Ward Architects
Project Lead: Michelle Taylor, michelle.taylor3@nashville.gov

<p>Description of Project: In October of last year, the MHZC approved a new one and one-half story house at 2403 Fairfax Avenue. The applicant now requests a one and one-half story outbuilding.</p> <p>Recommendation Summary: Staff recommends approval of the application for the construction of an outbuilding as submitted with the following condition:</p> <ul style="list-style-type: none"> • The siding reveal match the newly approved house or be a maximum of five inches (5"); and • Staff review final details of windows, doors, trim, and roof color prior to purchase and installation. <p>Staff finds the project to meet the requirements of the Hillsboro-West End design guidelines for outbuildings.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

h. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*

- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Background: The applicant proposes a one and one-half story outbuilding located towards the rear of the lot. In October of last year, the MHZC approved a new one and one-half story house at 2403 Fairfax Avenue. The outbuilding was not proposed at that time.

Analysis and Findings:

Location and Setbacks:

The proposed outbuilding is located towards the rear of the property with access from the alley, as seen historically in this neighborhood. The proposed location for the outbuilding meets the required three foot (3') side setbacks on both the right and left and the required ten foot (10') rear setback for outbuildings that have vehicular doors facing the alley. Staff finds the location and setbacks for the project meets section II.B.1.c and h.

Height & Scale:

The massing of the outbuilding is subordinate to the historic home. The outbuilding is approximately twenty-six feet (26') tall from grade compared to the existing house which is approximately thirty-five feet (35') tall from grade. The eave height of the outbuilding is twelve feet (12') as compared to the varying eave heights of the newly approved house, which range from twelve feet (12') to twenty feet (20'). The footprint of the outbuilding is approximately six hundred and twenty-four square feet (624 sq ft) compared to the newly approved house which has a footprint under two-thousand square feet (2000 sq ft). In terms of height and scale the outbuilding is subordinate to the main house.

Historic lots in the immediate context have approximate open space ratios of between eleven percent and twenty-one percent (11%-21%). The proposed open space ratio figured with proposed outbuilding will be approximately twenty percent (24%). Staff found the open space ratio to be similar to the context and appropriate. Therefore, staff finds the height and scale meet sections II.B.1. a, b and h of the design guidelines.

Materials, Texture, Details, and Material Color:

The foundation is a concrete slab, the siding cement fiber lap siding and the roof is dimensional shingles, color unknown. The materials for the pedestrian doors and vehicular doors are unknown. The windows are multi-light to match the newly approved house, material unknown. With the condition that the siding reveal match the newly approved house or be a maximum of five inches (5"); and staff review final details of windows, doors and roof color, and trim the materials meet section II.B.1.d and h of the design guidelines.

Roof Shape:

The primary roof pitch is 12/11 compared to the 12/13 pitch of the main house. The proposed pitch is typical of historic buildings in the neighborhood. Staff finds the roof

shape meets section II.B.1.e and h of the design guidelines.

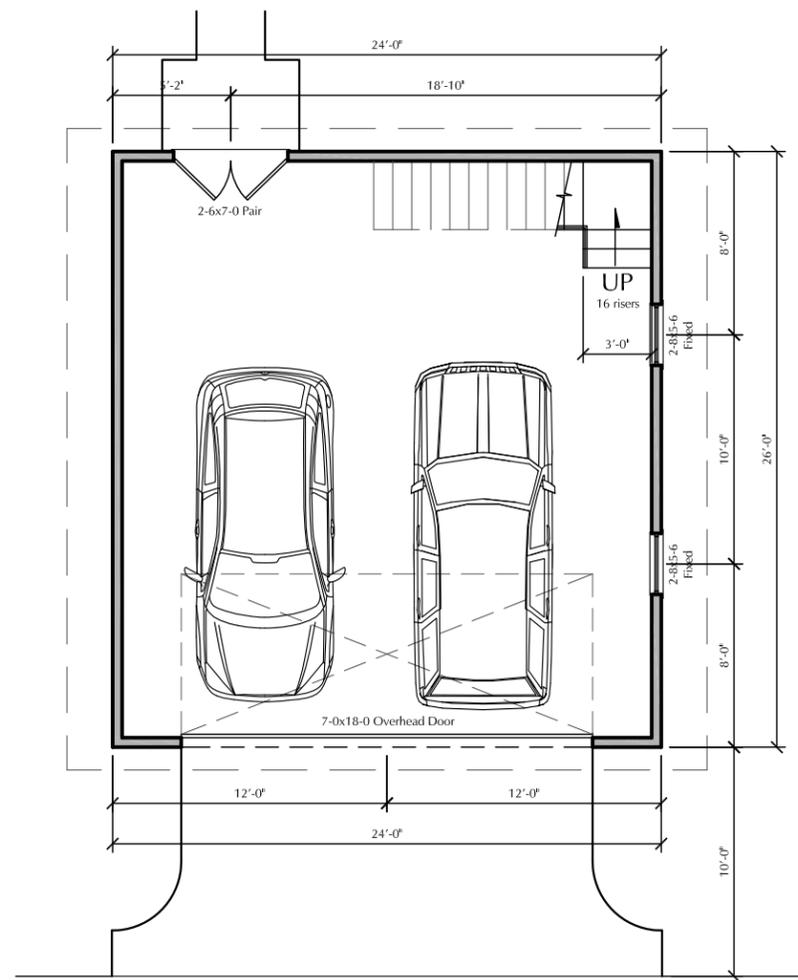
Proportion and Rhythm of Openings:

The windows are of a similar proportion and design to the windows on the main house. Garages are not typically required to meet the same pattern of openings as the primary house. The project meets section II.B.1.g and h.

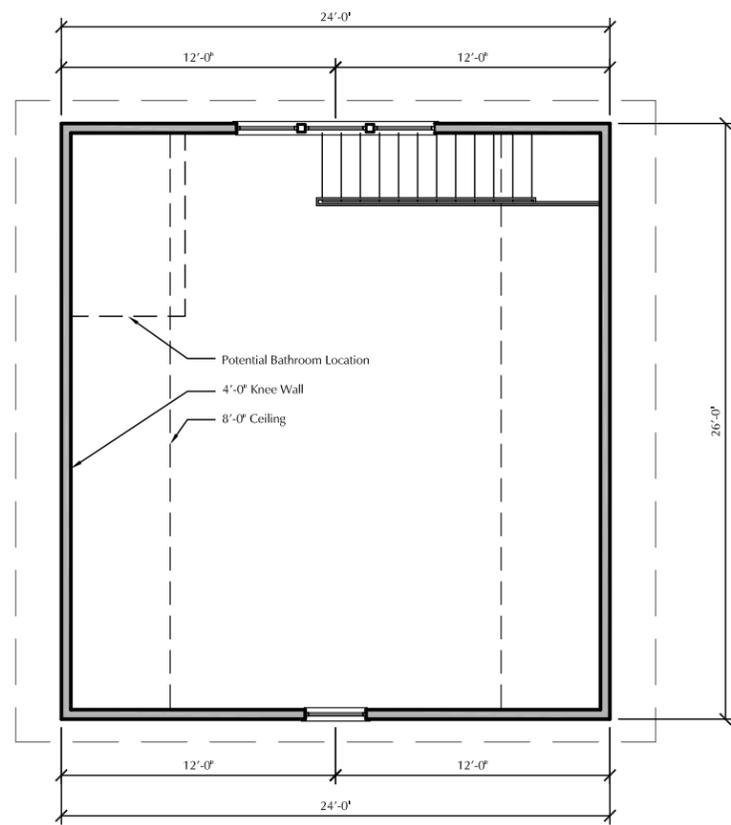
Staff recommends approval of the application for the construction of the outbuilding with the conditions that the siding reveal match the newly approved house or be a maximum of five inches (5”); and staff review final details of windows, doors, trim, and roof color prior to purchase and installation.

Photographs

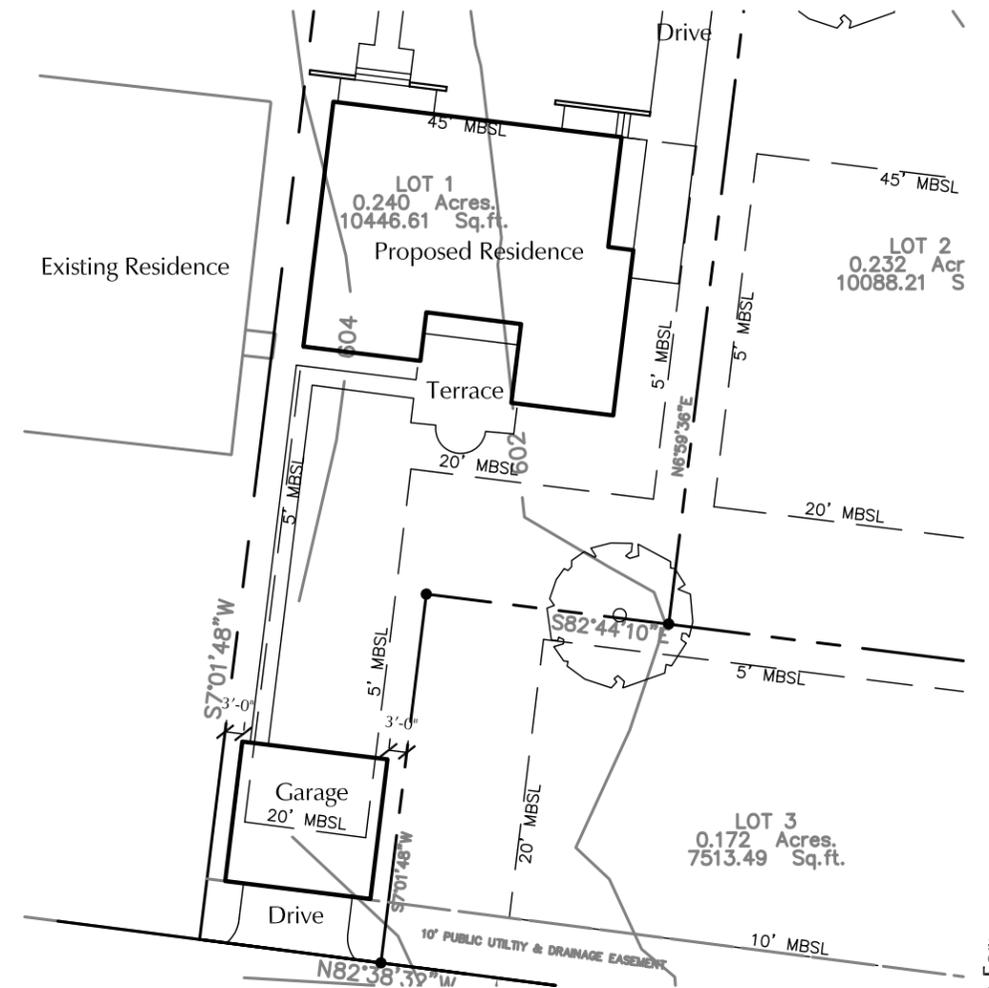




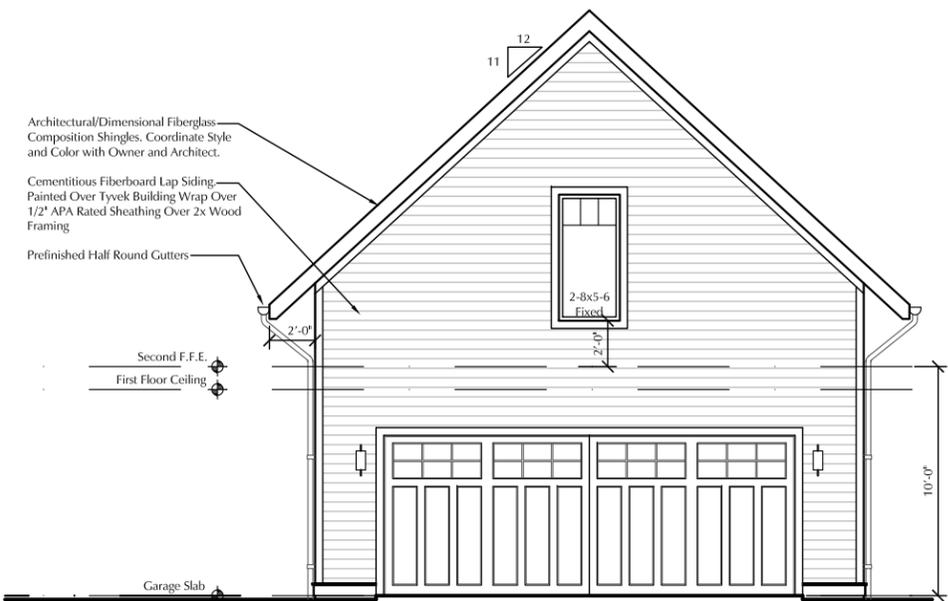
① Garage First Floor Plan
Scale: 1/8" = 1'-0"



② Garage Second Floor Plan
Scale: 1/8" = 1'-0"



③ Site Plan
Scale: 1" = 30'-0"



④ Garage South Elevation
Scale: 1/8" = 1'-0"



⑤ Garage North Elevation
Scale: 1/8" = 1'-0"



⑤ Garage East Elevation
Scale: 1/8" = 1'-0"

MHZC PRESERVATION PERMIT APPLICATION
A New Garage For:
Jack & Cindy Herndon
2403 Fairfax Avenue
Nashville, Tennessee

ALLARD WARD ARCHITECTS
1618 Sixteenth Avenue South
Nashville, Tennessee 37212
allardward.com
Tel: 615.345.1010
Fax: 615.345.1011

Drawings:
Garage Plans and Elevations
Site Plan
Date: 02.06.13

A1.0