



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 515 Fatherland Street February 20, 2013

Application: New construction-primary structure
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08215020600
Applicant: Peggy Newman
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Application is to construct new primary structure on a vacant lot. The structure will be two stories with a hipped roof.</p> <p>Recommendation Summary: Staff recommends approval of the new primary structure with the following conditions:</p> <ol style="list-style-type: none"> 1. Staff review and approve a brick sample; the windows and doors specifications; the asphalt shingle color; and the material for the porch steps, porch floor, porch columns, and rear deck and deck railing. 2. The utilities be placed in the rear of the house, or on a side façade, beyond the midpoint of the house. 3. Staff review and approve the walkway and parking pad materials. 4. Staff review and approve all appurtenances for the site, including, but not limited to, lighting, fencing, and other landscape features. 5. The projecting bay be entirely brick, the first level of the entire house be entirely brick, the entire home be brick, or the entire home have lap siding with a minimal five inch (5" reveal.) <p>With these conditions, staff finds that the project meets III.B.2., IV.B.2., and IV.B.4. of the <i>Edgefield Historic Zoning District: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Site Plan B: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- d . Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.

Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals.

The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.

Background: 515 Fatherland is forty-nine foot (49') wide vacant lot (see Figure 1). The structure at 515 Fatherland Street was demolished sometime between 1951, when it appears on a Sanborn Map, and the creation of the Edgefield Historic Zoning Overlay in 1978.



Figure 1. Vacant parcel at 513 and 515 Fatherland Street

The historic context on the block is limited to the two historic structures at 517 and 519 Fatherland Street, which are both one story in height, and the c. 1930s two-story structure at 538 Fatherland Street, across the street (See Figures 2 & 3). The rest of the block is largely vacant or classified as non-contributing (See Figures 3, 4 & 5).



Figure 2. Historic houses to the right (Nos. 517 & 519)



Figure 3. Historic house at No. 538 and non-contributing structures across the street to the east.



Figure 4. Non-contributing structure to the left of site



Figure 5. Non-contributing structures across the street, to the west, outside of the district.

Analysis and Findings:

Application is to construct a new primary structure on lot that will be subdivided. The structure will be a two-story gabled-ell with a hipped roof.

Location, Setback, and Orientation: The structure will be oriented towards Fatherland Street and a porch covering the west half of the structure. The proposal meets all bulk zoning setback requirements. The structure's front wall will match the front setback of the historic house to the east at 517 Fatherland Street, and will be set back approximately thirty-four feet (34') from the front property line. The structure is centered on the lot and will be at least six feet (6') from the two side property lines. Staff finds that the infill meets Sections III.B.2.a. and III.B.2.e. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Height and Building Shape: The proposed structure will be a two-story gabled-ell. The maximum height of the structure is proposed to be twenty-six feet, ten inches (26' 10")

from the floor line, or approximately thirty feet (30') above grade. The height of the structure will be minimized by the hipped roof form, ensuring that the maximum height is not reached until twenty-three feet (23') behind the front wall of the house. The projecting bay portion of the structure will have a lower height. It will have a ridge height of approximately twenty-nine feet (29') from grade. Likewise, the rear of the structure will be lower in height, at only one story and between seventeen and nineteen feet, six inches tall (17' – 19'6"). Staff finds that the height of the structure is compatible with the historic structure across the street at 538 Fatherland, which is approximately thirty-feet (30') tall, but with a front gable so that the full height of the house is at the front wall.

The infill will have a maximum width of thirty-five feet (35'). By comparison, the two historic houses at 517 and 519 Fatherland are approximately forty-two feet (42') wide, and the historic house at 538 Fatherland is approximately thirty feet (30') wide. The depth of the infill is sixty-seven feet, three inches (67'3"). The two historic houses at Nos. 517 and 519 are deeper, with depths of approximately seventy-six feet (76'). The historic house at No. 538 is shallower, at approximately forty feet (40') deep.

Staff finds that the proposed infill's scale and ratio of open space meets the immediate context. The infill's footprint will be approximately two thousand, one hundred and forty-two square feet (2,142 sq. ft.), and the percentage of open space for the lot will be seventy-four percent (74%). By comparison, the houses at Nos. 517 and 519 have larger footprints of approximately two thousand, five hundred square feet (2,500 sq. ft.) each and open space ratios of approximately sixty-five percent (65%) each. The house at No. 538 has a smaller foot print of approximately one thousand, one hundred and thirty square feet (1,130 sq. ft.), and a larger ratio of open space at approximately eighty-seven percent (87%). The width, depth, footprint square footage, and open space ratio for the infill fits within the range of these measurements for the historic structures on the block.

The infill's other major measurements also meet the context and design guidelines. The porch depth will be six feet, one inch (6'1") and the porch eave height will be approximately twelve feet (12'). The eave height of the projecting bay will match that of the main portion of the house, and will be approximately twenty-three feet (23') above grade. The foundation height will be less than three blocks, or two feet (2').

Staff finds that the height, scale and building shape of the proposed infill meets Sections III.B.2. c. and III.B.2.c. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Materials: While all of the known materials have been approved by the Commission in the past, their placement does not necessarily meet the design guidelines. The projecting bay will be brick on the ground floor, and staff asks to review a brick sample prior to purchase and installation of the material. Typically material changes happen at the floor level and continue on all elevations. In this case, brick is only on one level of the bay. Staff recommends that either the entire projecting bay be brick or the first level of the entire house be brick. The projecting bay will have five inch (5") cement fiberboard lap

siding at the second story level and the majority of the first story. The projecting bay will be separated from the rest of the house by being in different planes. The rest of the house will be clad in cement fiberboard siding with a five inch (5") reveal. The foundation will be split face concrete block, and the windows and doors will be wood. Staff asks to review and approve the window and door specifications prior to purchase and installation. The roof will be architectural asphalt shingles, and staff asks to review and approve the shingle color. The materials for the front porch steps, porch floor, and porch columns were not specified, and staff asks to approve them prior to purchase and installation. Similarly, the material for the rear deck and rear deck railing was not specified, and staff asks to approve the material.

With the staff's final approval of a brick sample, windows, door, asphalt shingle color, porch steps, porch floor, porch columns, and rear deck and deck railing, staff finds that the materials for the primary structure meet Section III.B.2.g. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Roof: The house's primary roof form will be hipped with a slope of 5/12. This roof form can be found in the Edgefield district and will help minimize the perceived height of the structure. At the back of the house, lower, one-story portions of the house will have gabled roof forms with a slope of 4/12. Staff finds that the house's roof forms meet Section III.B.2.d. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Proportion and Rhythm of Openings: The windows at the front of the structure, and on the front half of the side facades are largely taller than they are wide, and meet the typical historic proportions for window openings. On the recessed portion of the house's front facade, the windows on the second story are shorter than the windows on the ground floor, which is appropriate. On the side facades, beyond the midpoint of the house, and on the rear facade, the window openings are smaller and less historic in proportions. Staff finds these window openings to be appropriate because they are not on a primary facade, and will be less visible since they are towards the back of the house. There are no large expanses of wall space without a window or door opening on the infill's facades. Staff finds that the window proportions and rhythm of openings meets Section III.B.2.f. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Utilities: The location of the HVAC system is unknown at this time. Staff recommends that it be located at the rear of the home or on the side, beyond the mid-point of the house.

Fences: No fences were called out on the site plan, and staff reminds the applicant that in the Edgefield Historic Zoning Overlay, all fences must receive a preservation permit.

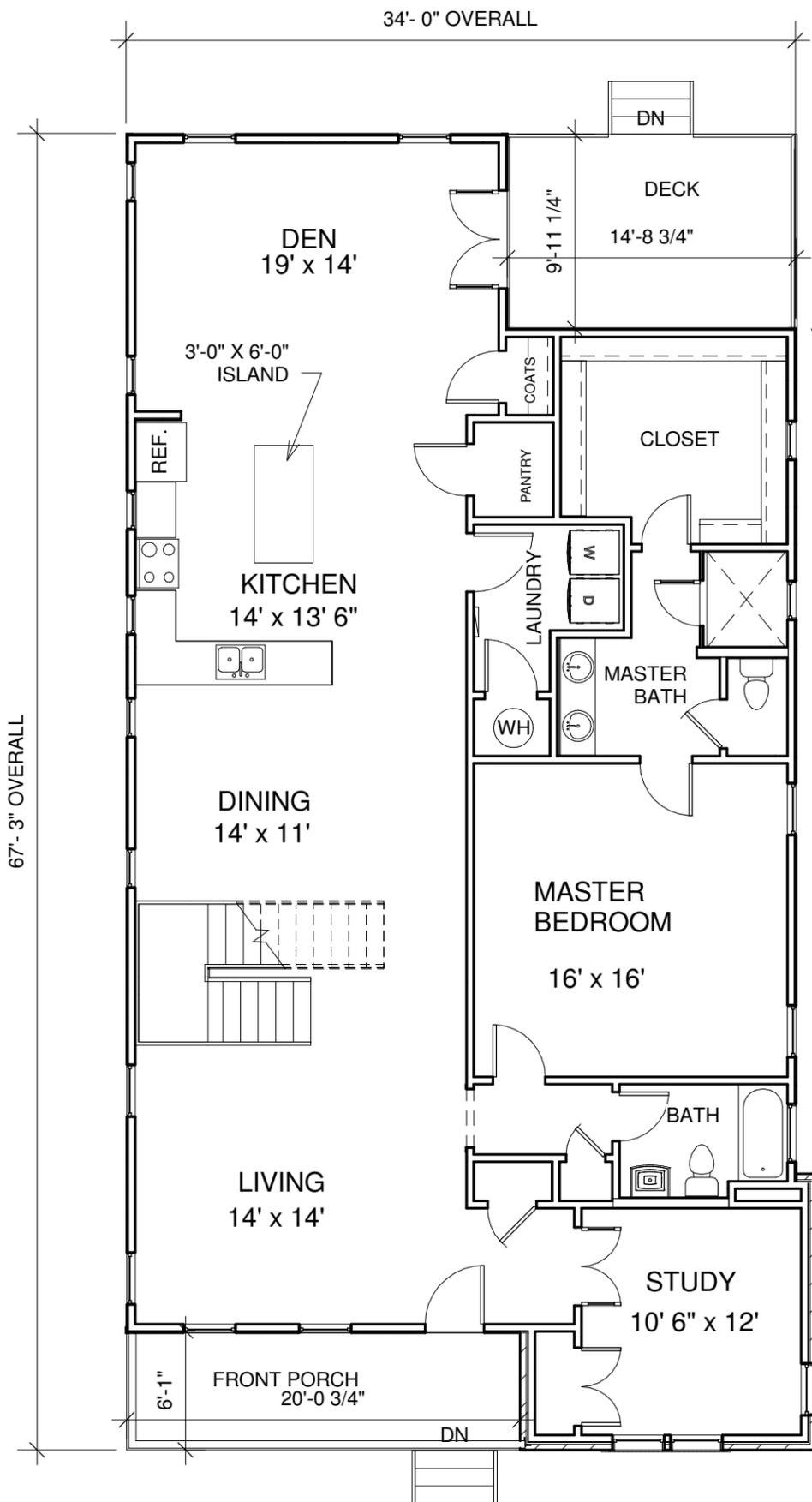
Permanent Built Landscape Features & Public Space: The applicant is proposing a central walkway leading from the sidewalk to the front porch, which is appropriate. Another walkway will be installed in the rear, leading from the deck to a new parking pad. Staff finds these landscape features to be appropriate, and asks to review the

walkway and parking pad material prior to installation. No other lighting, walkways, walls, or other appurtenances were indicated on the drawings, and staff asks to review and approve any new appurtenance. With the approval of the material, staff finds the walkways and parking pad to meet Sections IV.B.2. and IV.B.4. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

Recommendation Summary: Staff recommends approval of the new primary structure with the following conditions:

1. Staff review and approve a brick sample; the windows and doors specifications; the asphalt shingle color; and the material for the porch steps, porch floor, porch columns, and rear deck and deck railing.
2. The utilities be placed in the rear of the house, or on a side façade, beyond the midpoint of the house.
3. Staff review and approve the walkway and parking pad materials.
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5. The projecting bay be entirely brick, the first level of the entire house be entirely brick, the entire home be brick, or the entire home have lap siding with a minimal five inch (5" reveal.)

With these conditions, staff finds that the project meets III.B.2., IV.B.2., and IV.B.4. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.



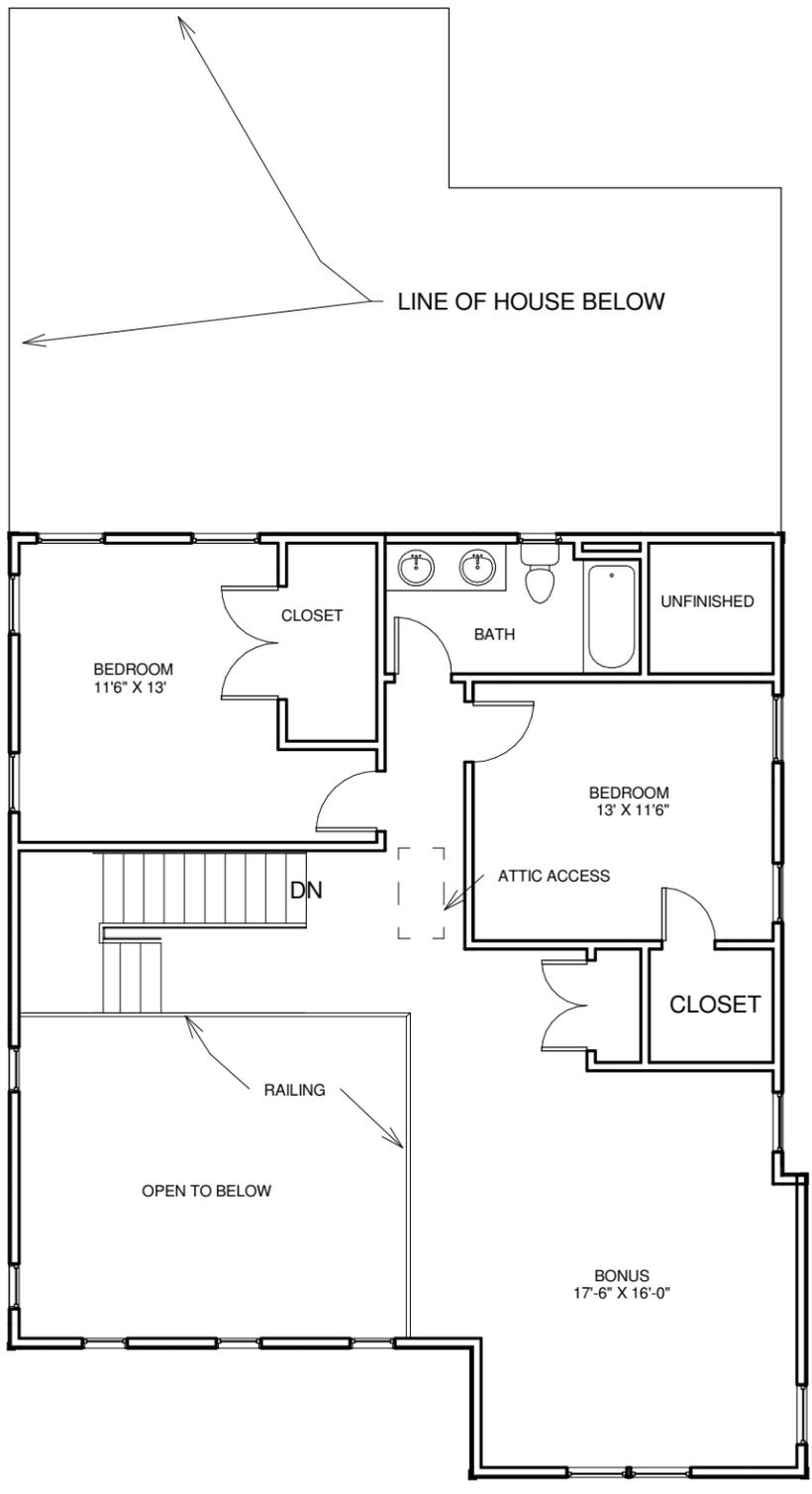
515 FATHERLAND

FIRST FLOOR PLAN

SCALE 1/8" = 1' 0"

FIRST FLOOR

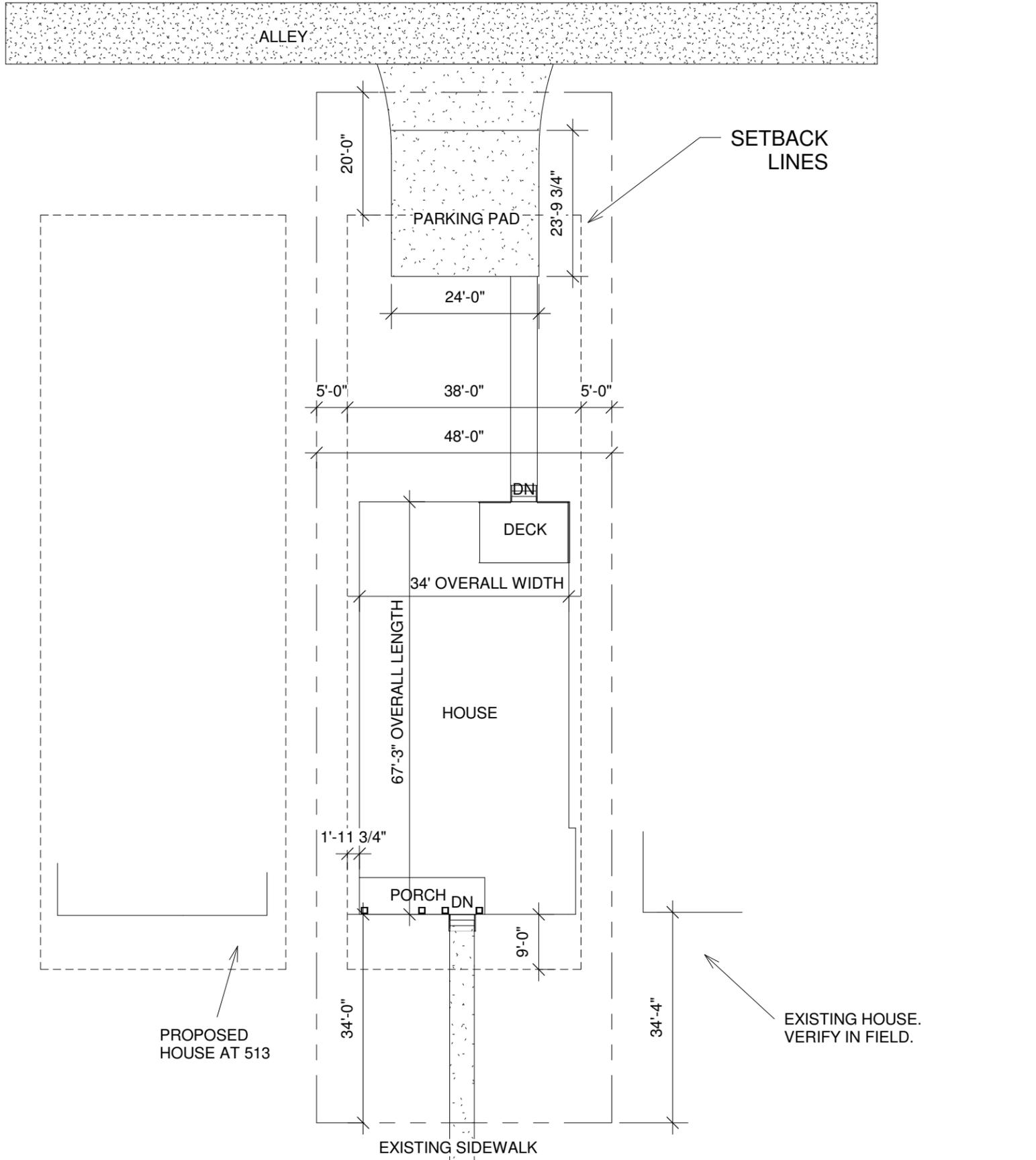
1802 SQ FT



515 FATHERLAND

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

SECOND FLOOR 512 SQ FT



515 FATHERLAND STREET SITE PLAN
 SCALE 1" = 20'-0"

ARCHITECTURAL SHINGLES ON ALL ROOFS

ROOF
26' - 10 1/2"

2'-0" X 4'-0" WD FIXED WINDOWS

PORCH RACK

4" TRIM TYP. AT ALL CORNERS

1st Floor
0"

1'-0" BETWEEN ROOF RIDGES

1'-4" OVERHANG TYP. FOR ALL ROOFS

2'-8" X 5'-2" DOUBLE HUNG WOOD WINDOWS WITH 4" SPREAD MULLION

5" LAP SIDING

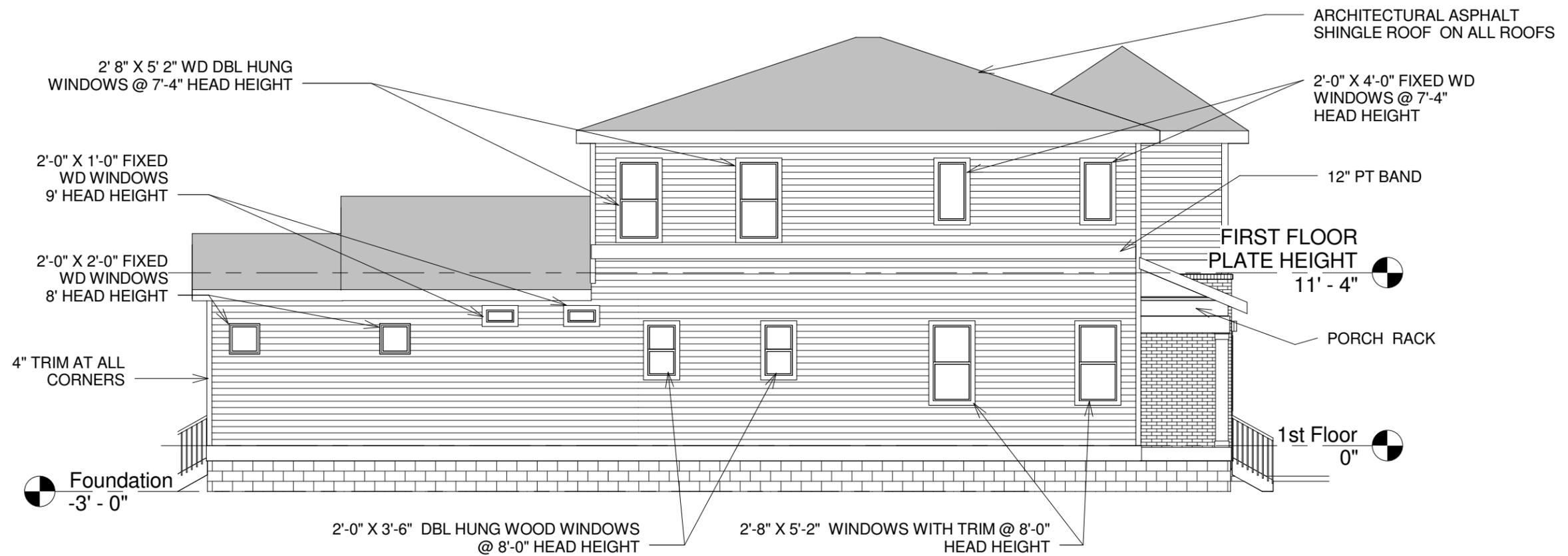
BRICK

2' 8" X 5' 2" WD DBL HUNG WINDOWS ..

4" SPREAD MULLION BETWEEN WINDOWS

26'-10 1/2"
FLOOR TO ROOF PEAK

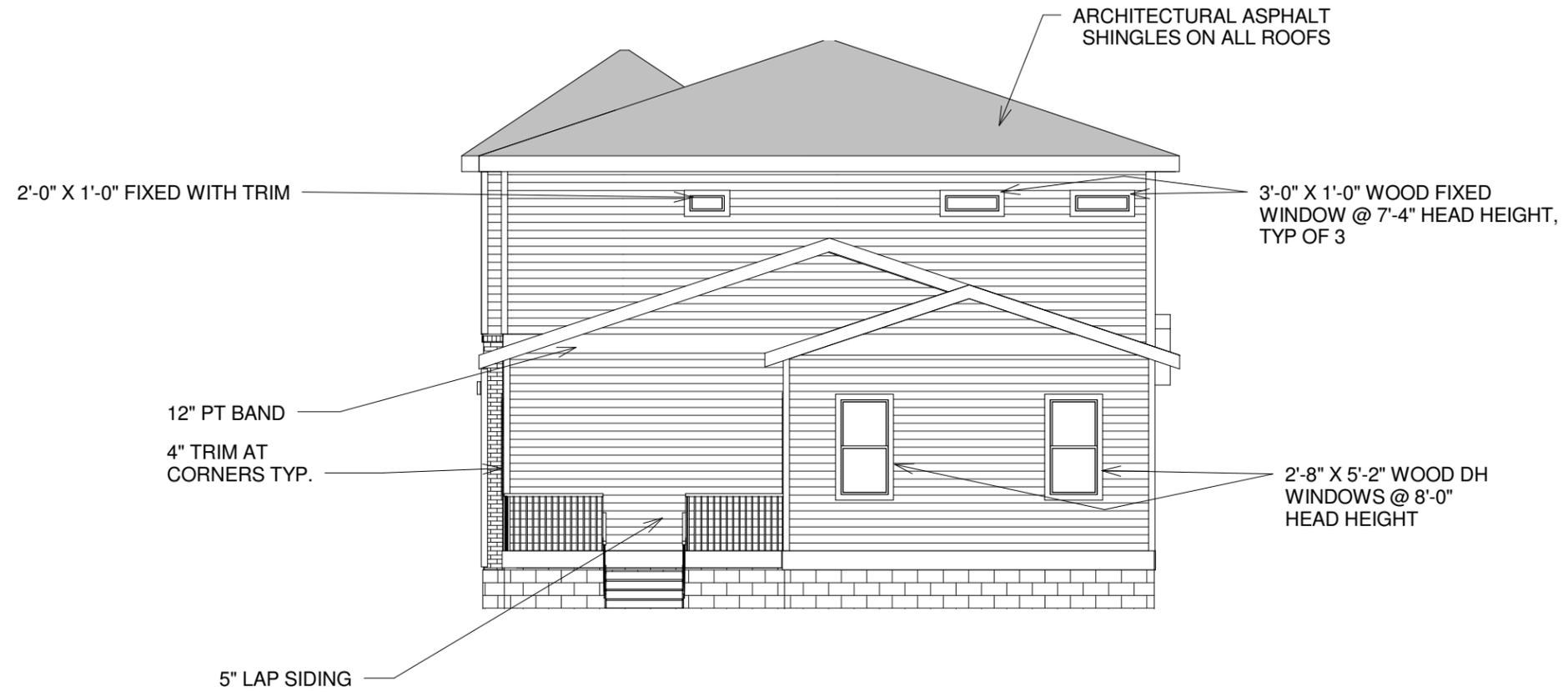
515 FATHERLAND FRONT ELEVATION
SCALE 1/8" = 1'-0"



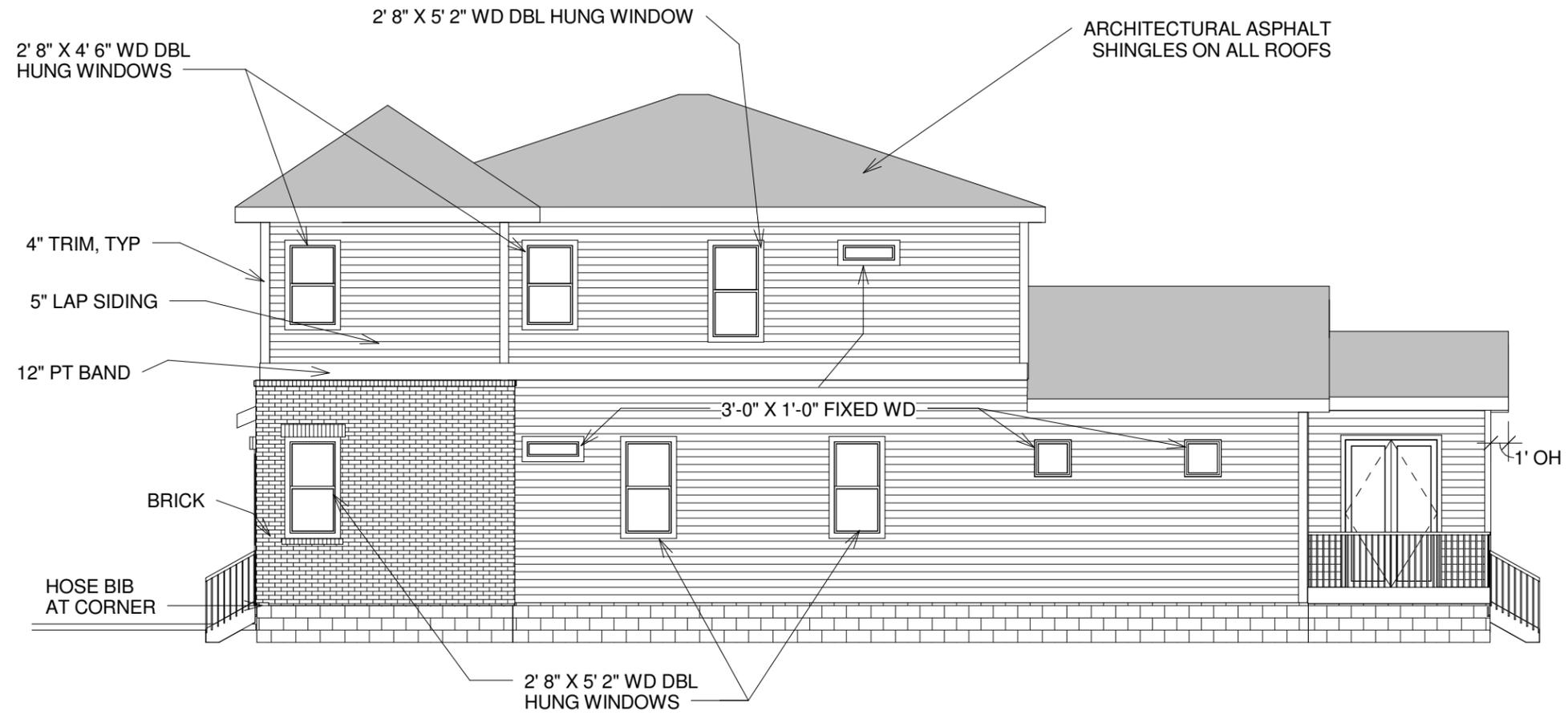
515 FATHERLAND

LEFT ELEVATION

SCALE: 1/8" = 1'-0"



515 FATHERLAND REAR ELEVATION
SCALE: 1/8" = 1'-0"



515 FATHERLAND

RIGHT ELEVATION
SCALE: 1/8" = 1'-0"