

KARL F. DEAN
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 116 Opry Place (116 5th Avenue North, Ryman Auditorium) March 20, 2013

Application: Signage
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306307100
Applicant: Brian Wagner
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: Replace existing signs with digital versions of the same size and design.</p> <p>Recommendation Summary: Staff recommends approval with the condition that the internally illuminated portion have a dark, opaque background.</p>	<p>Attachments A: Plans B: Engineer's Report</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

Signage

1. Historic signs and their component elements should be retained.
2. Deteriorated or damaged signs should be repaired using historically appropriate materials.
3. Signage should be placed in locations historically used for signage and should not obscure transoms, columns, cornices, decorative elements, or architectural features.
4. The number of signs permitted on a parcel shall be limited to the number of primary building entrances on the parcel plus one for each public street on which the parcel has frontage. Window signs are not reviewed.
5. Projecting or blade signs on the upper façade should be limited to one-story in height and should be vertical in orientation.
6. The projection of signs should be proportional and appropriately scaled to the building. At a maximum, signs should not project more than seven feet from the building.
7. Storefront-level signage, flush or projecting, should be pedestrian oriented. It should be appropriately scaled so that its style, size, and placement relates to overall storefront design.
8. Signage materials and design should approximate materials and design typically used between 1850 and 1957. These may include materials such as wood, metal, and neon.
9. Signage painted on storefront display windows is appropriate.
10. Signage mounted on poles or pylons is discouraged when opportunities exist to appropriately design and place monument or building-mounted signage. Ground-mounted signs may only be permitted when a building face is set back from the public right-of-way a distance of at least twenty feet or when a parcel is vacant.
11. Upper floor window graphics and lettering are appropriate.
12. Signage painted on brick side walls may be appropriate. Its size and placement should be compatible to historic examples in the district.
13. Concealed, indirect, or spot lighting is appropriate for exterior signage. Visible fluorescent or incandescent bulbs are not appropriate.
14. Backlit or internally illuminated signage, other than neon, is not appropriate.
15. Neon may be used as backlighting for reverse channel letters, which have a translucent face. The depth of channel letters should be kept to a minimum.
16. Flush mounted neon box signs are not appropriate. Neon transformers should be located within the building, not within a sign box.
17. String, flashing, or racing lights are not appropriate.
18. Banners and flags that use placement, mounts, and materials compatible to the building may be used.
19. Plastic is not an appropriate material.
20. Signage applied to the glass within display windows or transoms and temporary signs such as sandwich boards, temporary sale advertising, and real estate signs are not reviewed by the MHZC.
21. Rooftop signs are not permitted.

Analysis and Findings:

Retention of Historic Signs: The two digital signs will replace two existing poster-cabinet signs that are not historic.

Location: Typically signage should be placed in historically appropriate locations. In this case, the building was originally a church which likely did not have any signage. Signage from when it was an entertainment venue was in this general location on the 5th Avenue side, the original primary entrance to the building. The location does not obscure any character defining features.



Historic signage shown on left and current signage shown on right.

The property spans between two streets and visually retains its primary entrances on the 5th Avenue side and has a new primary entrance as part of a contemporary addition on the opposite side; therefore, double the sign allotment of three signs would likely be allowed. There are no other signs on the side of the building where these two digital signs are proposed.

Scale and Massing: The proposed signs are appropriately scaled for this large building and are pedestrian oriented.

Materials & Lighting: The top 1/3 of the sign will be internally lit and the bottom half will be a changeable digital image of a poster. The changeable portion will not change more frequently than every three seconds.

Currently, the design guidelines do not allow for internally lit or digital signage. In the next few months, the Commission will consider revised design guidelines that allow for internally lit signage if the background is a dark opaque color so that only the lettering appears to be illuminated. The new design guidelines would also allow for electronic changeable copy for “tourist-oriented businesses only when used in conjunction with a wall sign or a monument sign provided the changeable copy portion is no greater than 50% of the built sign area.” “Tourist oriented businesses” will be defined as “having a minimum permanent fixed seating capacity of 500; and offer lawful activities or services to the general public of cultural, historical, recreational, educational or entertainment purposes.” The proposed project would meet all those criteria with two exceptions. The background of the top portion is shown on the plans as white; however, the applicant has already agreed to make the background a dark opaque color. The digital portion is slightly more than 50% of the sign area.

Staff found The Ryman to be an atypical building type in the district both in use, massing and design and so it is appropriate to consider signage here that might not be appropriate for the majority of the buildings in the district. In determining what types of signage would meet the intent of the current design guidelines, staff used the proposed criteria, existing signage and historic signage as a guide and found the proposed signage to be appropriate.

Staff recommends approval with the condition that the internally illuminated portion have a dark, opaque background.



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PROJECT MANAGER
TONY HATCHELL

WO DATE **DUE DATE**

CLIENT
ADVANTAGE LED
15311 VANTAGE PKWY W.
SUITE #350
HOUSTON, TX 77032

INSTALLATION ADDRESS
RYMAN AUDITORIUM
116 5TH AVENUE NORTH
NASHVILLE, TN

SHIP TO

PREPARED BY
DAVID GREEN

REVISIONS

1	4
2	5
3	6

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AS NOTED

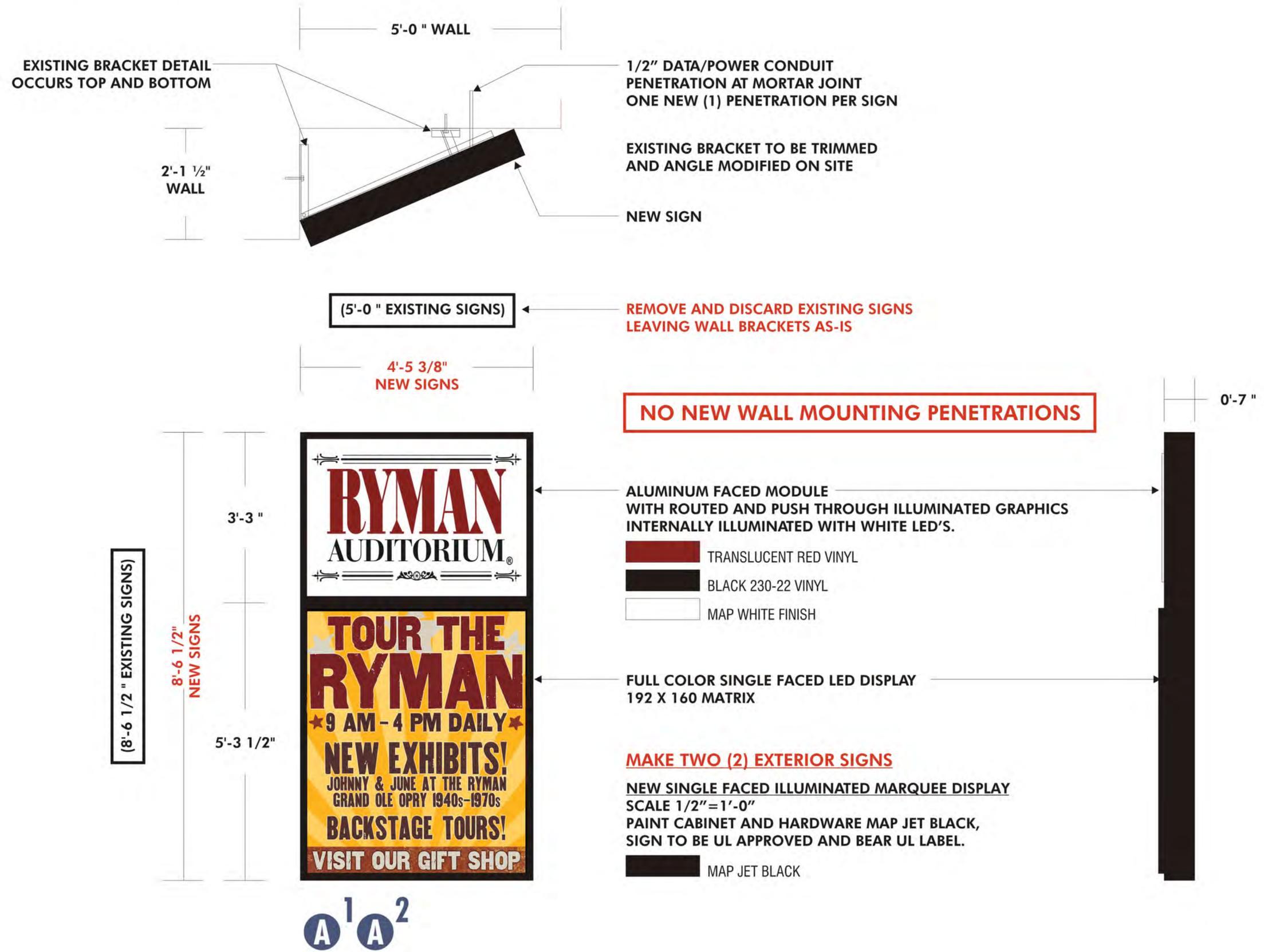
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JOB NAME RYMAN AUDITORIUM	JOB NUMBER 12943
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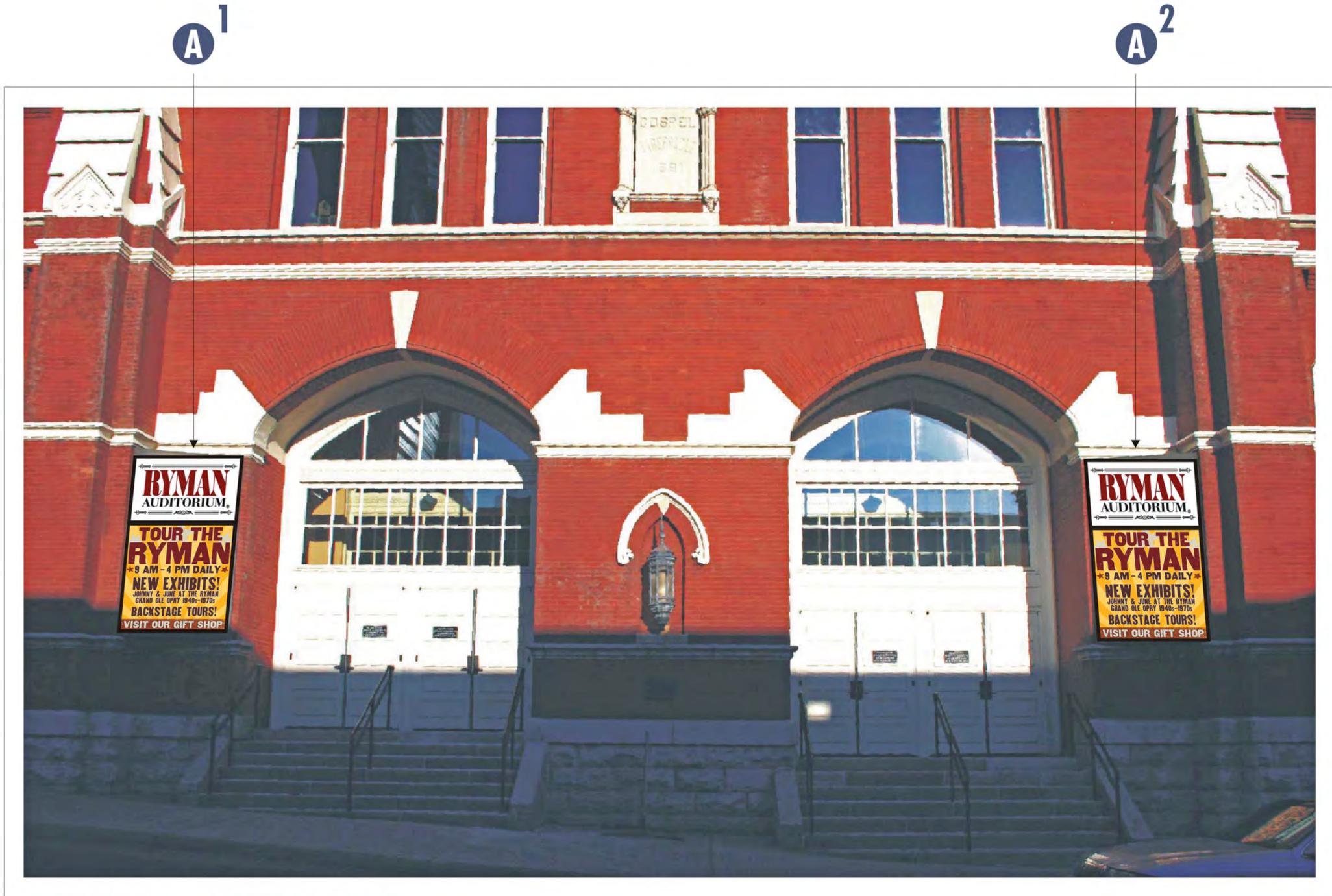
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AS-IS ELEVATION SCALE 3/16"=1'-0"

NEW SIGNS TO BE INSTALLED USING EXISTING BRACKETS



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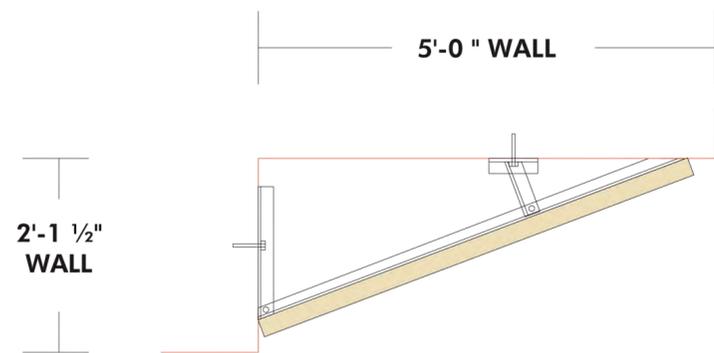
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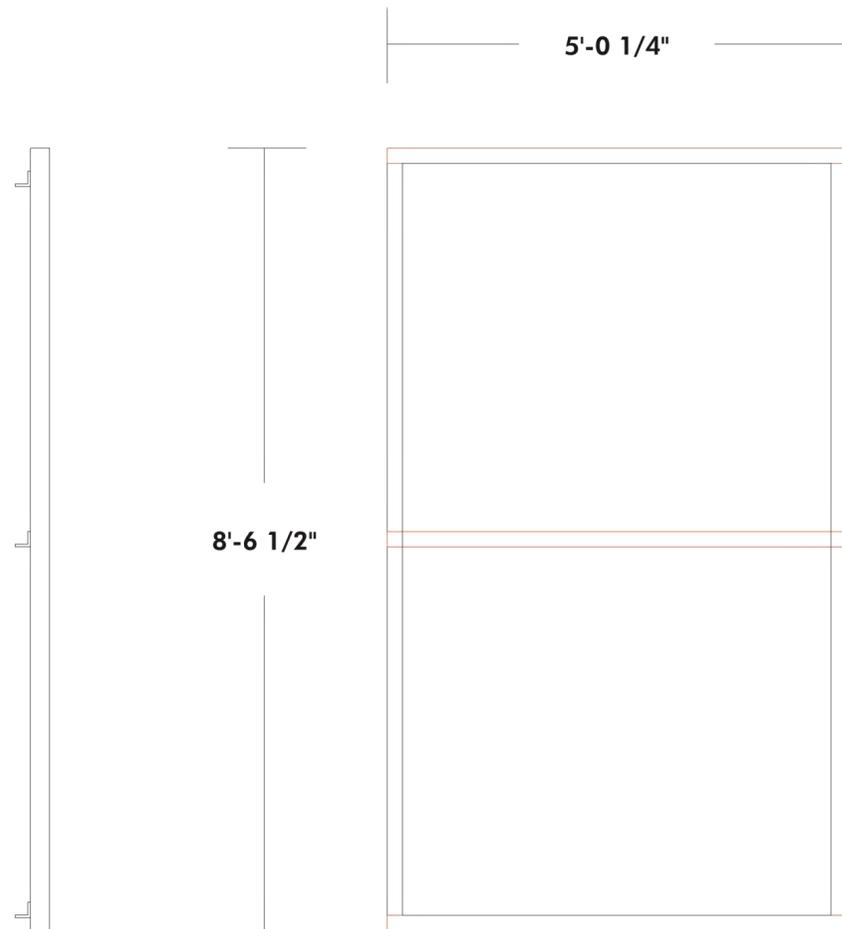
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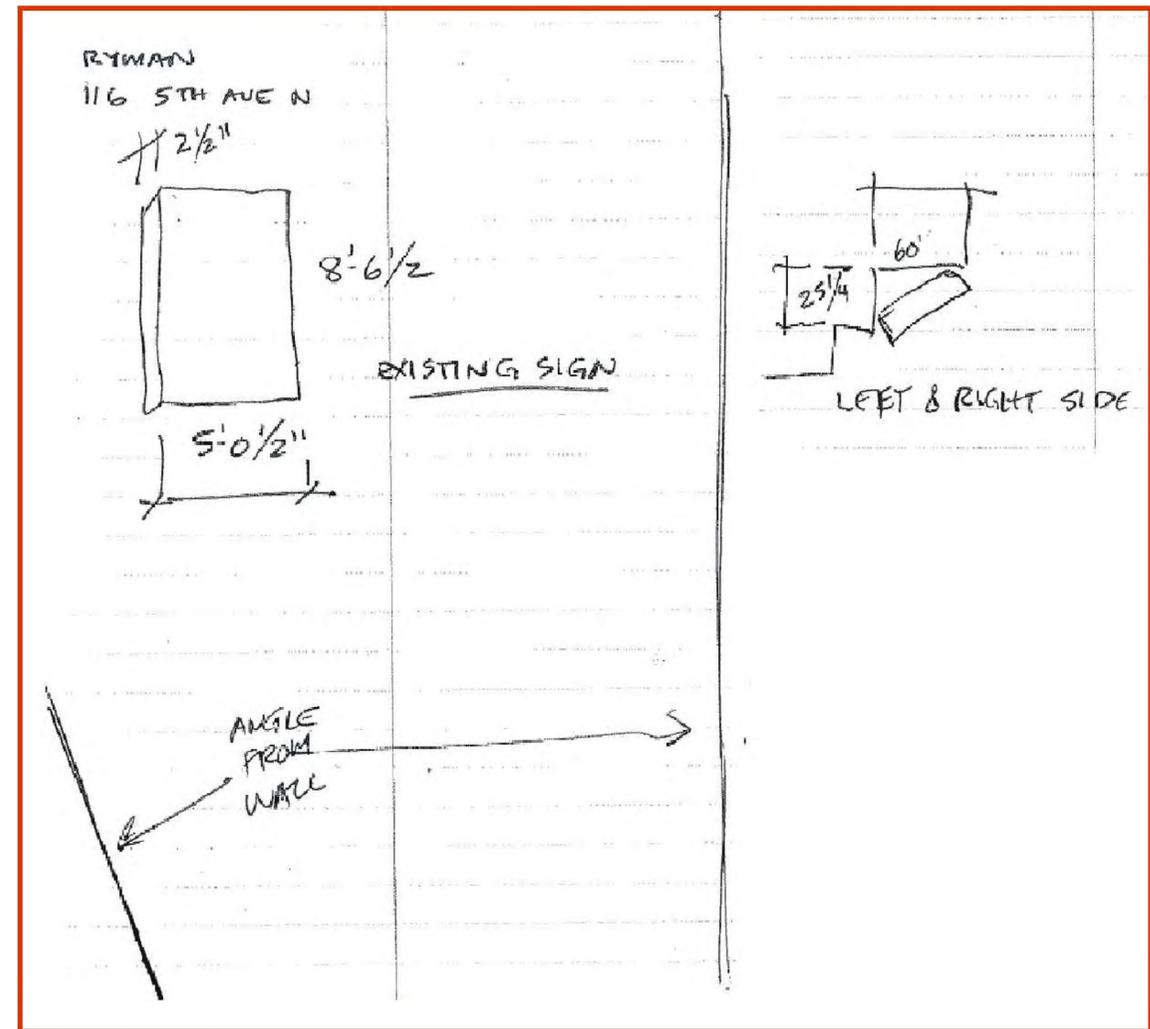


DETAIL OCCURS TOP AND BOTTOM



FRONT FRAME VIEW

EXISTING SIGN AND BRACKET DETAILS



SURVEY NOTES



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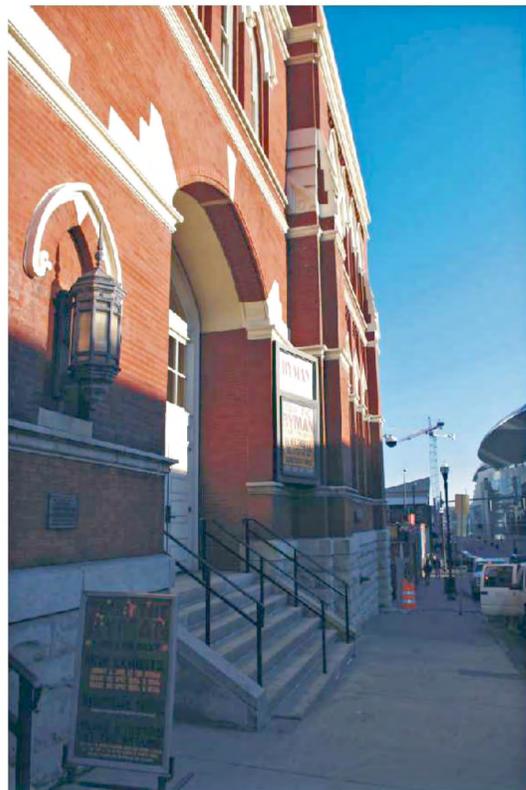
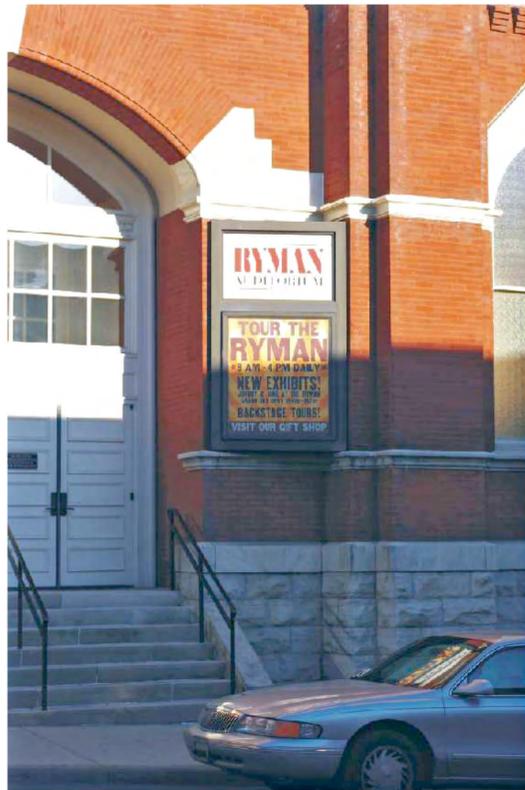
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SITE PHOTOS



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EXISTING FRAMING AND BRACKET DETAILS



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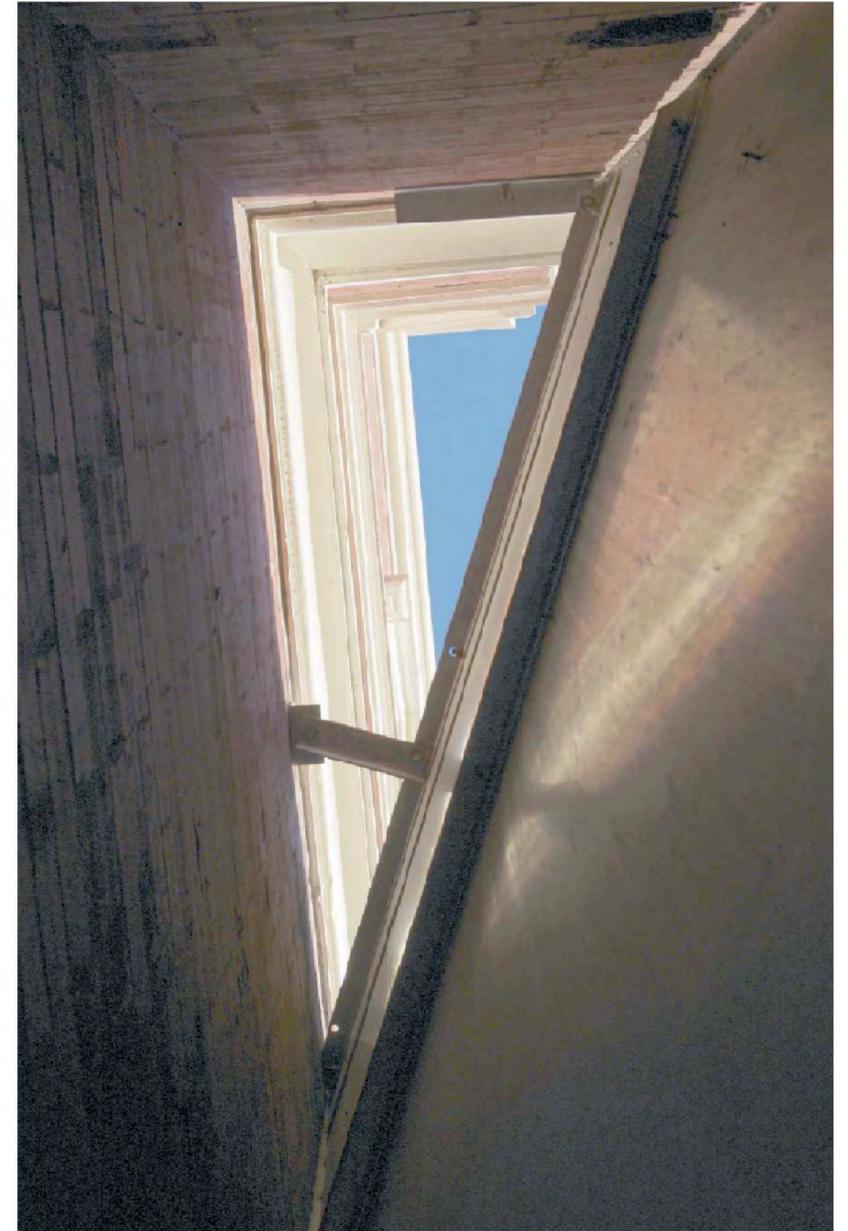
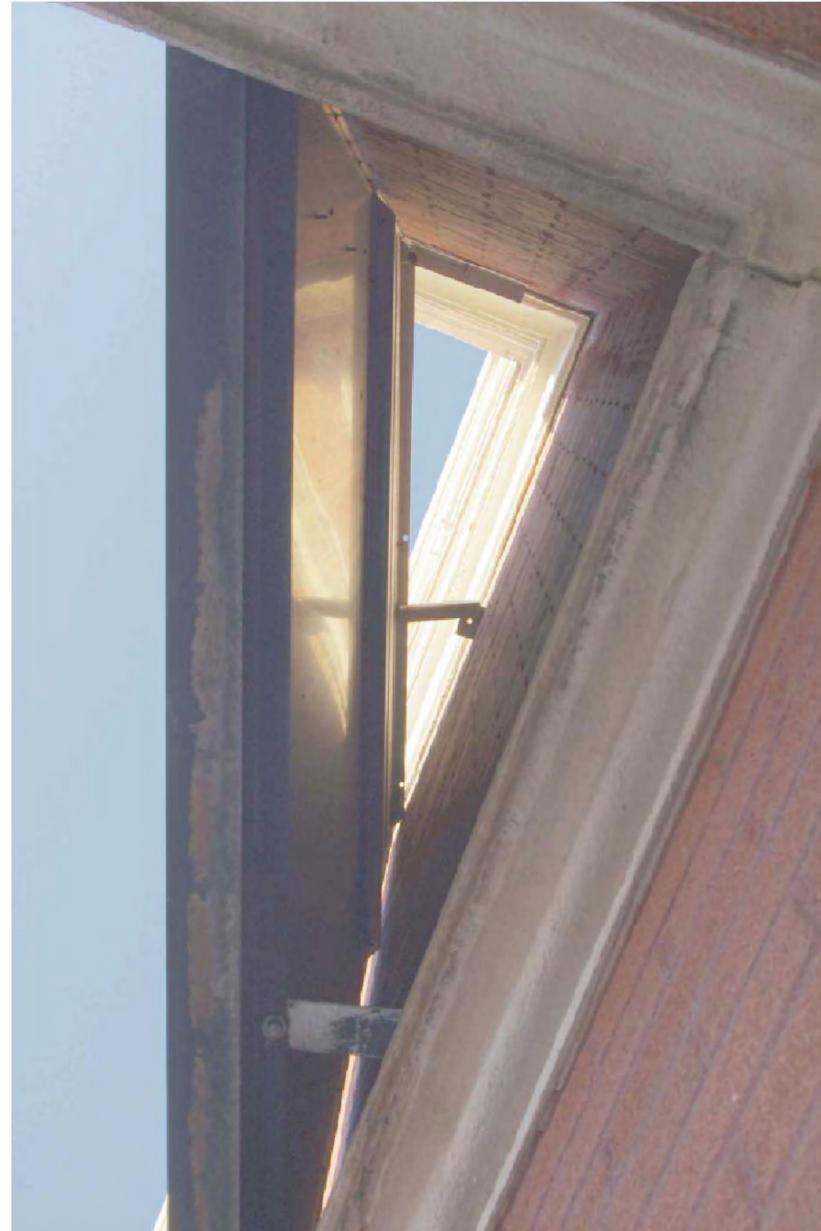
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