



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

**408 Broadway
October 16, 2013**

Application: Signage

District: Broadway Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 09306308100

Applicant: Ryan Taylor, Joslin Signs

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant is proposing to remove an existing sign from a non-contributing building and install a new sign in the same location. The sign requires a modification review because of a three-dimensional component.

Recommendation Summary: Staff recommends approval of the proposal to replace the existing sign with a new sign, finding the proposed signage to be appropriate under the Design Guidelines with a Modification for Exceptional Design.

Attachments

A: Photographs

B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

IV.SIGNAGE INTRODUCTORY PROVISIONS

MODIFICATIONS

Sign Permit Modifications

Requests for modifications to sign standards are reviewed by the Metro Historic Zoning Commission. If the property is also within a MDHA redevelopment district, approval from the MHZC is all that is needed. Two additional types of Modifications for signage related permits may be requested and are outlined below.

Modifications for Exceptional Design

Creative signage that does not fit the specific regulations of these guidelines may be considered by the MHZC, based on its merits, as they relate to all of the following design criteria:

- Architecture
- The configuration or location of the building or property
- Building scale
- Legibility
- Technical competence and quality in design, construction and durability

Applications for this type of Modification require submittal of a common sign plan for the property in question. Approval of any related structure (i.e. canopy) will require review by all applicable agencies. Exceptional design modifications shall not permit electronic changeable copy where it is otherwise not permitted.

Allocation of Sign Area

The maximum sign area for each type of sign is established in the following tables. Specific requirements for each sign type are shown on the subsequent pages.

For each cell in the table, there is a maximum allowed sign area that may be utilized with any combination and any number of signs associated with that cell, unless otherwise noted.

The measurements for “linear feet” shall be at grade.

Building Signs

Wall, Awning, Canopy and Projecting Signs—1.5 square feet of sign area per 1 linear foot of building façade or 36 square feet, whichever is greater. When a projecting sign is used on a building, an additional .50 square feet of sign area per 1 linear foot of building façade shall be permitted, for a total 2 square feet per 1 linear feet of building façade.

GENERAL STANDARDS

Materials

All permanent, on-premises signs shall be constructed of a rigid, weatherable material such as hard plastic, wood, MDO plywood, aluminum, steel, PVC, glass, fiberglass and or Plexiglass. On-premises permanent signs shall not be constructed of nonrigid materials including, but not limited to, vinyl, fabric, canvas, or corrugated plastic. The provisions of this subsection shall not apply to approved, permitted canopies, awnings and porticoes.

Building Façade and Street Frontage Measurement

In determination of number of stories of a building, rooftop additions shall not be considered within the number of stories.

Building Sign: Projecting Sign

Description

A projecting sign is a type of building sign that projects outward from the façade, typically at a ninety degree angle. Projecting signs are typically, but not always, vertically oriented and generally mounted above the first floor.

General Provisions

- A projecting sign must be located at least 25 feet from any other projecting sign. When building width prohibits adherence to this standard, flexibility shall be permitted through Modification to be reviewed by staff.
- A projecting sign may be erected on a building corner when the building corner adjoins the intersection of two streets. Allocation of sign area from both streets may be used, however, in no case shall the sign exceed the maximum dimensional standards below.
- A projecting sign shall be located below the windows sills of the third story.
- The top of a projecting sign shall not extend above the building eave or top of parapet.
- A projecting sign can be externally or internally illuminated in accordance with the Illumination design guidelines.
- Projecting signs that are 3-dimensional may be permitted through a modification.
- A projecting sign cannot cover windows or architectural details.

Design Standards

- A** Overall area allocation (max)—see allocation of sign area
- B** Height (max)
 - 1 story buildings—10 feet
 - 2 and 3 story buildings—16 feet
 - 4 or more story buildings—20 feet
- C** Average spacing from façade (min)—1 foot
- D** Projection Width (max)—6 feet
- E** Depth of Cabinet (max)—2 inch or 18 inches for internally lighted or neon signs

Illumination

Illumination of signs shall be in accordance with the following requirements:

External Illumination

- External light sources shall be placed close to, and directed onto the sign and shielded to minimize glare into the street, sidewalks or onto adjacent properties.
- Projecting light fixtures used for externally illuminated signs shall be simple and unobtrusive in appearance. They should not obscure the sign.

Internal Illumination

- Channel letters may be internally lit or back-lit.
- For cabinet signs, the background must be opaque. Only graphics, text and logos may be illuminated, and a halo of one inch around graphics, text, and logos may be non-opaque.
- Exposed neon may be used for lettering or as an accent.

Prohibited Light Sources

The following light sources are prohibited:

- Blinking, flashing, chasing, and sequential lighting. This type of lighting may be allowed for Broadway (not the district but the street) only through a modification. In these cases, the chase or flash should not last less than every three seconds.
- Bare bulb illumination.

Raceways and Transformers

- Visible transformers are prohibited.

Background: The property at 408 Broadway comprises two structures. On the right is a non-contributing building, constructed in 2001 as a side addition to the adjacent building at 408 Broadway which is contributing. The newer portion of the building has a bulkhead and windows on the first story but no door, with a brick front wall extending up two additional stories with no real structure behind, giving the building the appearance of a three-story building. The building is not accessible from the street but rather from inside the historic building on both the first story and on an open deck at the second floor level.

Analysis and Findings: The applicant is proposing to remove a projecting sign from the upperstory wall on the non-contributing half of the building and replace it with a new projecting sign. The existing sign is not historic.

Location

The new sign will be located in the same location as the current sign: on the left side of the non-contributing elevation in the second story, between the sill and head of the second story window openings. The sign will be no less than twenty-five feet (25') from any other projecting signs. This location is appropriate for projecting signs and meets the Broadway Signage Guidelines.

Signage Area

Although they function as one structure because of their connected interiors, the two halves of 408 Broadway are treated as separate buildings under the Broadway Design Guidelines because the lots were platted as separate parcels and because of their different dates of construction. The maximum signage area allotted for the non-contributing building is seventy-five square feet (75 sq. ft.). The sign will project a total of six feet (6') from the face of the building, including one foot (1') of spacing between the wall and the sign cabinet. The overall dimensions of the sign itself are five feet (5') wide and six feet, four inches (6'-4") tall, and eighteen inches wide (18'). These dimensions give the sign an area of less than thirty-two square feet (32 sq. ft.), well under the area allotted by the design guidelines. These dimensions are appropriate for projecting signs and meet the Broadway Signage Guidelines.

Design

The new sign will have a two-sided rectangular cabinet with a three-dimensional "beer glass and tap" graphic element. Three-dimensional signs may be permitted by the Historic Zoning Commission by a Modification for Exceptional Design. Staff has determined that the proposed new sign would meet the criteria for modifications as the signage would be compatible with the structure in terms of:

Architecture

The configuration or location of the building or property

Building scale

Legibility

Technical competence and quality in design, construction and durability

Materials

The main cabinet of the sign will be aluminum with a black satin painted exterior, with applied vinyl lettering and back-lit acrylic lettering. The three-dimensional graphic will be a durable plastic material. These materials are appropriate for signage and meet the Broadway Signage Guidelines.

Illumination

The channel lettering of the words “Sports Grille” will be backlit from inside the sign cabinet. The background of the cabinet will be a solid, opaque color. The perimeter of the cabinet will have a red neon-light border. The beer glass and tap are not illuminated. This type of illumination is appropriate for signage and meets the Broadway Signage Guidelines.

Recommendation:

Staff recommends approval of the proposal to replace the existing sign with a new sign, finding the proposed signage to be appropriate under the Design Guidelines with a Modification for Exceptional Design.



408 Broadway.

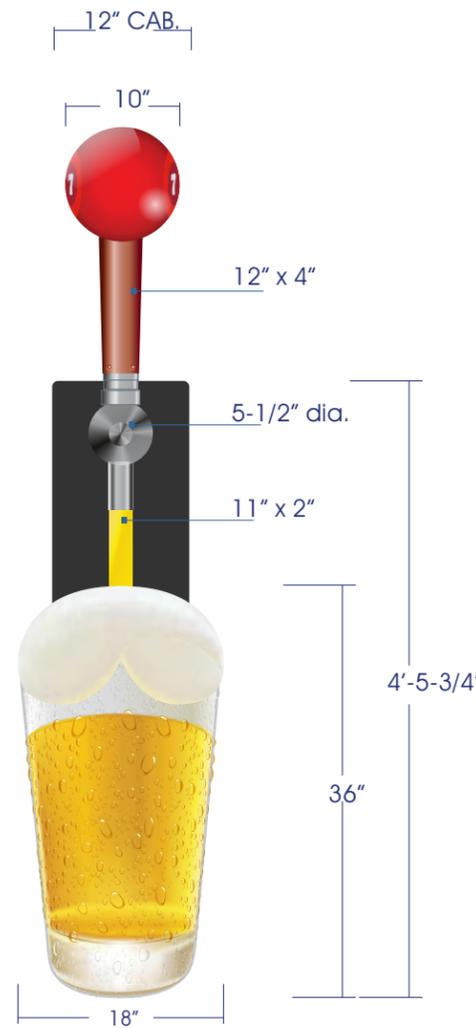
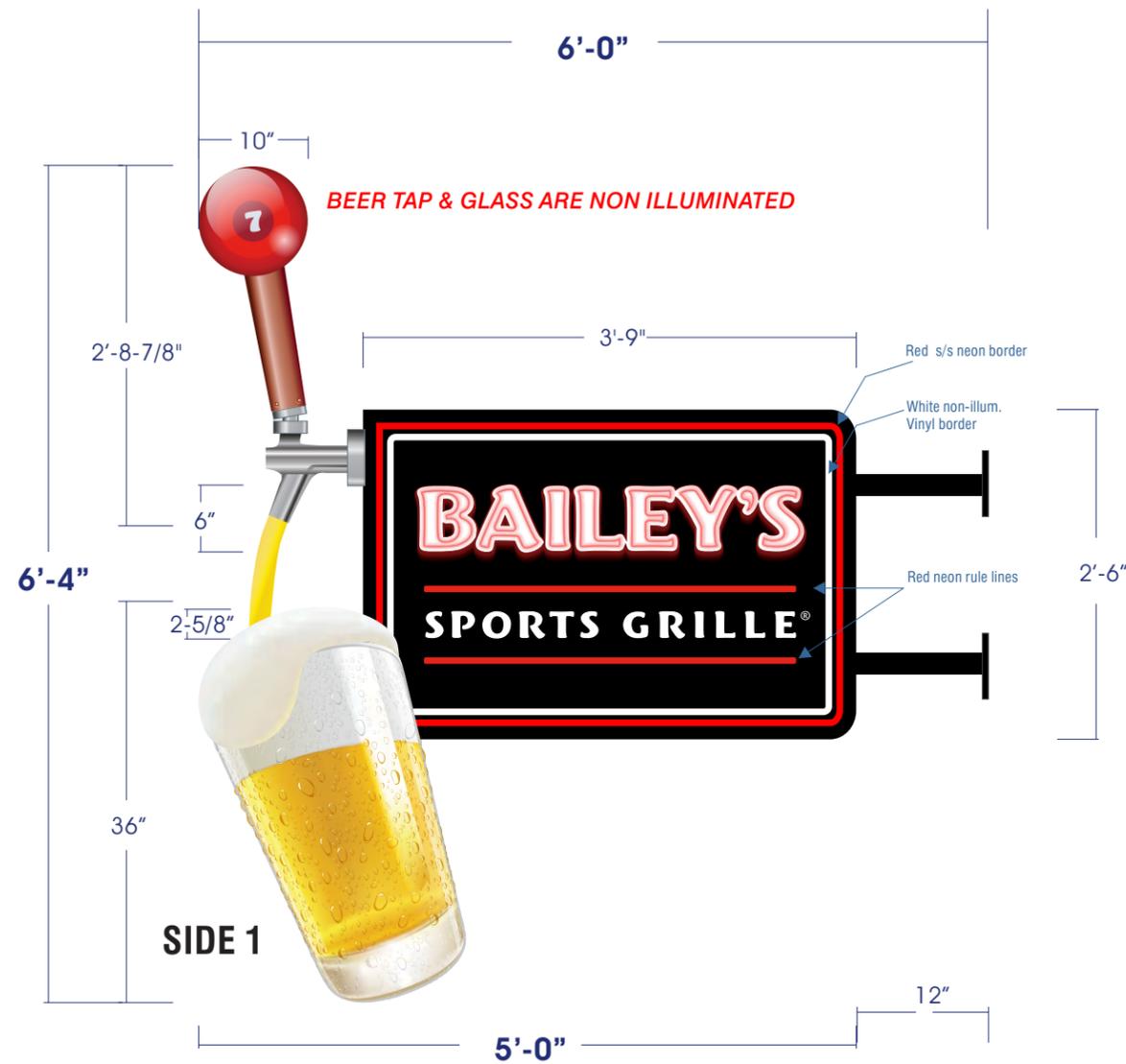


408 Broadway, existing sign.

D/F ILLUMINATED CUSTOM BLADE SIGN

SCALE: 3/4" = 1'-0"

31.7 square feet



- MAIN CABINET:** 12" deep fab'd alum. .063 alum. skin & .090 alum. faces
All painted Black - satin finish
- ILLUMINATION:** Cabinet to have internal White LED illumination to backlight tagline as necessary - power supplies housed within cabinet
- BORDERS:** Red border to be 15mm Clear Red neon
White border to be surface applied vinyl - non-illuminated
- RULE LINES:** Clear Red s/s 15mm rule lines
- BAILEY'S:** Surface applied White vinyl copy
Double stroke Clear Red 9mm neon to border copy mounted to face of cabinet
- SPORTS GRILLE:** Water jet cut from alum. face & backed up w/ 1/8" #7328 White acrylic; ® to be surface applied White vinyl - non illuminated
- BEER GLASS & TAP GRAPHIC:** 3 dimensional routed Encapsulated Polystyrene molded and painted to match graphics shown - NON ILLUMINATED
- MOUNTING:** 2" square mounting tubes welded to 6" square mounting plates all painted Black - Thru bolted to wall as required w/ fasteners to suit



**8959 TYLER BLVD.
MENTOR, OHIO 44060**

PH. 440-209-6200
FAX 440-209-6277
www.mcsign.com

CLIENT:	PAGE NUMBER	TICKET NO.:	DATE:	DATE:	REVISIONS:
	1	269615	8/21/13	8/23/13 Viv	Revised illumination specs
ADDRESS:	PROJECT MANAGER:	DESIGNER:			
CHAMPPS ENTERTAINMENT 408 BROADWAY NASHVILLE, TN 37203	JACQUELINE GALLAGHER	Viv			
	ELECTRONIC FILE NAME:				
	CHAMPPS\BAILEYS SPORTS GRILLE\2013\TN\65041 - NASHVILLE				

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CLIENT SIGNATURE & APPROVAL DATE:

PROPOSED ELEVATIONS

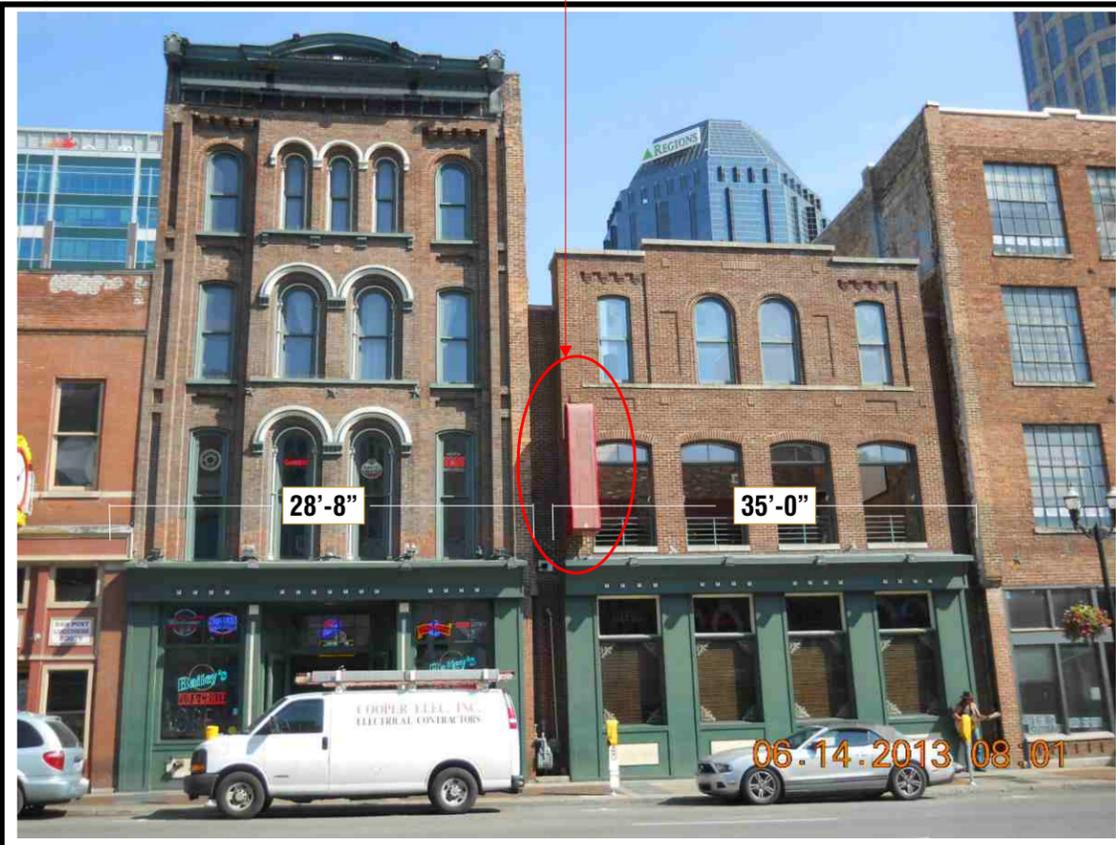
EXISTING CONDITIONS

FOR REFERENCE ONLY

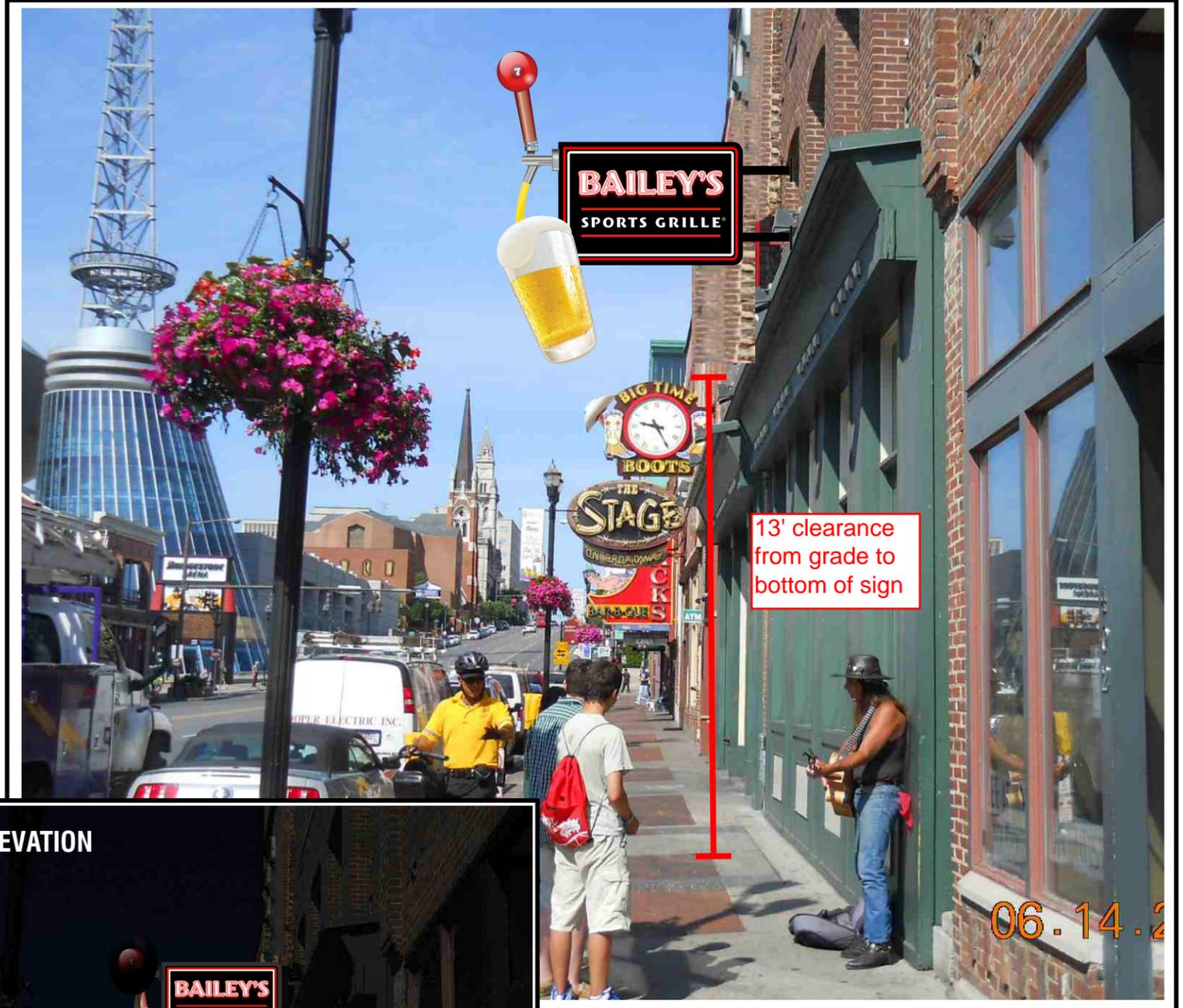


FRONT ELEVATION

EXISTING SIGN TO BE REMOVED
LOCATION OF PROPOSED SIGNAGE AT SAME LOCATION



PROPOSED BLADE SIGN



**8959 TYLER BLVD.
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CLIENT:



ADDRESS:

CHAMPPS ENTERTAINMENT
408 BROADWAY
NASHVILLE, TN 37203

PAGE NUMBER

3

TICKET NO.:

269615

DATE:

7/27/13

DATE:

8/19/13 Viv

REVISIONS:

added storefront photo & stand off mounting from building

PROJECT MANAGER:

JACQUELINE GALLAGHER

DESIGNER:

DN

ELECTRONIC FILE NAME:

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