



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
712 Fatherland Street
October 16, 2013

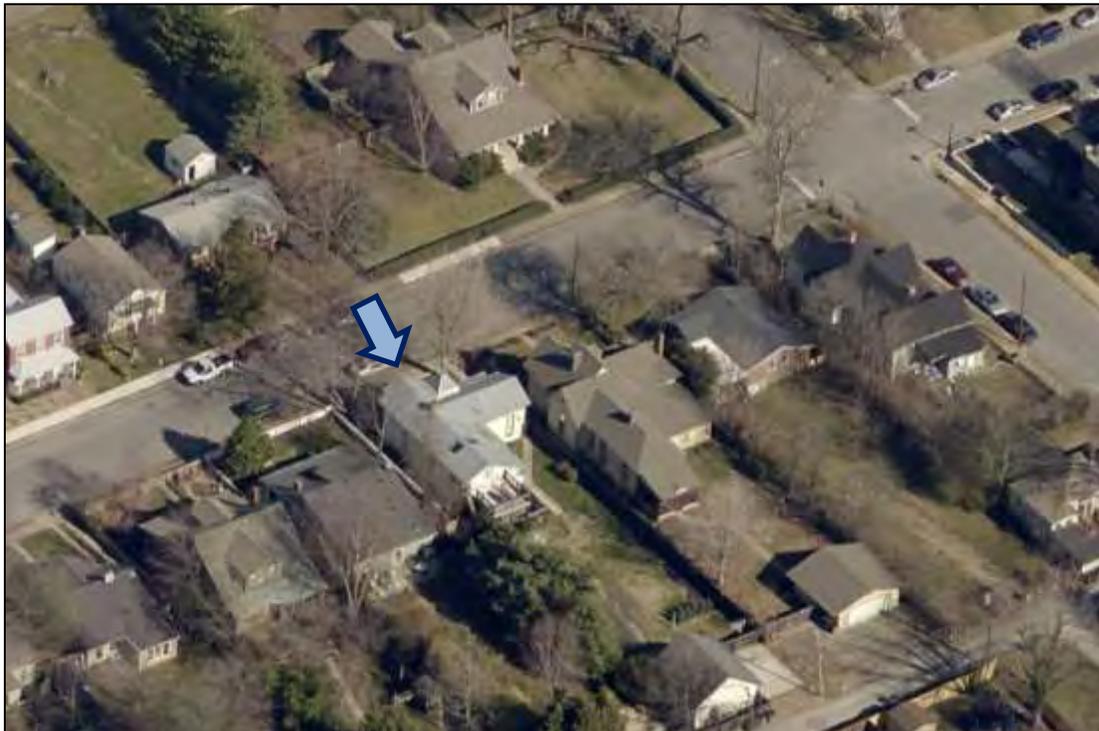
Application: New Construction - addition
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08216024500
Applicant: Michael Kennedy, Owner
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The homeowner is seeking approval of an application to enlarge the house with a rear addition setting in from the sides of the house by two feet (2') on the left and twenty-three feet (23') on the right. A portion of the rear addition, not impacting the visible portions of the original structure, will be one foot (1') taller than the primary roof of the house. The materials of the addition will include: split-faced concrete block foundation, cement-fiber siding matching the exposure of the original siding, and a 5-V crimped metal roof. The windows in the addition will be aluminum-clad wood.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
<p>Recommendation Summary: Staff recommends approval of increased height of the previously approved addition, finding it to meet the design guidelines for additions in the Edgefield Historic Preservation Zoning Overlay.</p>	

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 Roof Shape and Roofing Materials

- a. Original roof pitch and shape shall be retained.
- b. The original size and shape of dormers shall be retained.

Adding a new dormer increases the habitable space of a building and is considered to be an addition.

- c. Original roof materials and color should be retained. If replacement is necessary, original materials should be used. Asphalt/fiberglass shingles may be substituted for original roofing when it is not economically feasible to repair or replace with original materials. The color and texture of asphalt/fiberglass shingles should *not contrast with the architectural style and period of the house.*

Original roofing materials may include, but are not limited to, slate, metal, and, on twentieth century buildings, asphalt shingles.

- d. Skylights should be located on portions of roofs not visible from public rights-of-way.

Roof elements may include, but are not limited to, eaves, cornice, rafters, soffits, cresting, gutter systems, brackets, finials, vents, and chimneys.

II.B.6 Architectural Details

- a. Original architectural details should be retained.
- b. Where replacement is necessary, new architectural details should match the design, dimension, materials, and all other visual characteristics of the originals, based on physical or historical documentation.
- c. Architectural details of a period or style not original to the building shall not be introduced.

III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.
- b. An addition should connect to the associated building in such a way that the original form of the building is visually evident.
- c. An addition should be compatible, by not contrasting greatly, with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.
- d. The creation of an addition through enclosure of a front porch is not appropriate.
- e. The enclosure of side porches may be appropriate if the visual openness and character of the porch is maintained.
- f. Dormers generally should not be introduced where none existed originally.
- g. New additions should follow the guidelines for new construction.

III.B.2 New Construction

- a. **Setback and Rhythm of Spacing:** The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b. **Height:** The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c. **Building Shape:** The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
 - a. **Roof Shape:** The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e. **Orientation:** The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

- f. Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g. Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.
- Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals. The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.*

Background: The house at 712 Fatherland Street is a one-story "Gabled-L Victorian" cottage with Eastlake Style ornamentation. It was constructed prior to 1897 and though it had fallen into disrepair in the 1970s, its historic integrity was not lost and it was able to be restored. The Metro Historical Commission recognized the restoration with an Architectural Award in 1985.

A rear addition to the building was approved in February, 2013, on which construction has recently begun.

Analysis and Findings: The applicant is requesting approval of a modification to the rear addition approved by staff. A portion of the revised design would be taller than the primary roof of the historic house. By MHZC policy, additions taller or wider than historic houses generally should not be approved administratively.

Height, Scale, Location

The addition approved by staff is a one-story tall rear addition, setting in two feet (2') from the left side of the historic house, running back twenty-three feet (23') to the rear before stepping back in line with the side of the existing structure and continuing another seventeen feet (17'). The addition sets in twenty-three feet (23') from the right side of the house. The roof of the addition has a front-to-back ridge with a side-gabled "T" at the rear, matching the pitch and form of the original "gabled-L" roof of the house. The rear-ridge sits one foot (1') below the original roof, and the side-gabled roof would match the height of the original roof. Staff found the height and scale of the addition to be appropriate and to meet guideline III.B.2.b, and that the connection to the original form meets guideline III.B.1.b.

The proposed modification is for a portion of the rear addition between the original front-to-back ridge and the new front-to-back ridge to be one foot (1') taller than the original roof. The taller roof will be approximately forty feet (40') behind the front of the house

and three feet (3') in from the original side roof ridge, sloping down to tie in with the new front-to-back ridge of the addition. This modification will not disturb any portion of the ridge or visible side of the historic structure, and will not alter the appearance of the house from the right-of-way. Staff finds that this meets guideline III.B.1.a.

Materials

The exterior finishes of the addition include: split-faced concrete block foundation, cement-fiber siding matching the exposure of the original siding, and a 5-V crimped metal roof. The windows in the addition will be aluminum-clad wood. These materials are appropriate for new construction and meet guideline III.B.2.g.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that if they are not remaining in their present location, that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Recommendation:

Staff recommends approval of increased height of the previously approved addition, finding it to meet the design guidelines for additions in the Edgefield Historic Preservation Zoning Overlay.

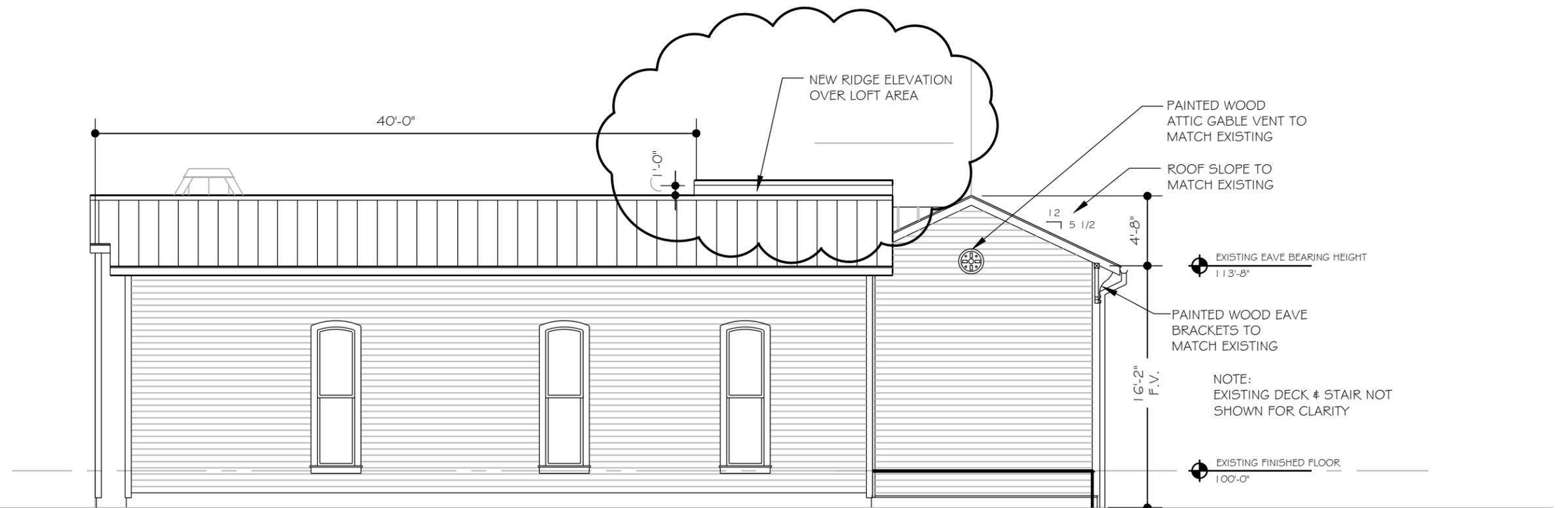


712 Fatherland Street, front-right.

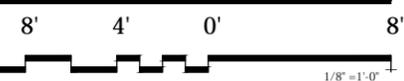


712 Fatherland Street, front-left.

- NOTE:
 EXTERIOR FINISHES FOR ADDITION ARE:
 1. FOUNDATION TO BE UNPAINTED SPLIT-FACED CMU SIDING TO BE PAINTED WOOD OR CEMENTUOUS MATERIAL -SIDING EXPOSURE TO MATCH EXISTING
 2. TRIM BOARDS TO BE PAINTED WOOD OR CEMENTIOUS MATERIAL WIDTHS TO MATCH EXISTING.
 3. ROOF AT SLOPED AREAS TO BE GALVANIZED 5-V TO MATCH EXISTING.
 4. ROOF AT LOW SLOPE AREA TO BE MEMBRANE PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS- HALF-ROUND PROFILES TO MATCH EXISTING.
 5. NEW WINDOWS TO BE ALUMINUM CLAD WOOD WINDOWS.

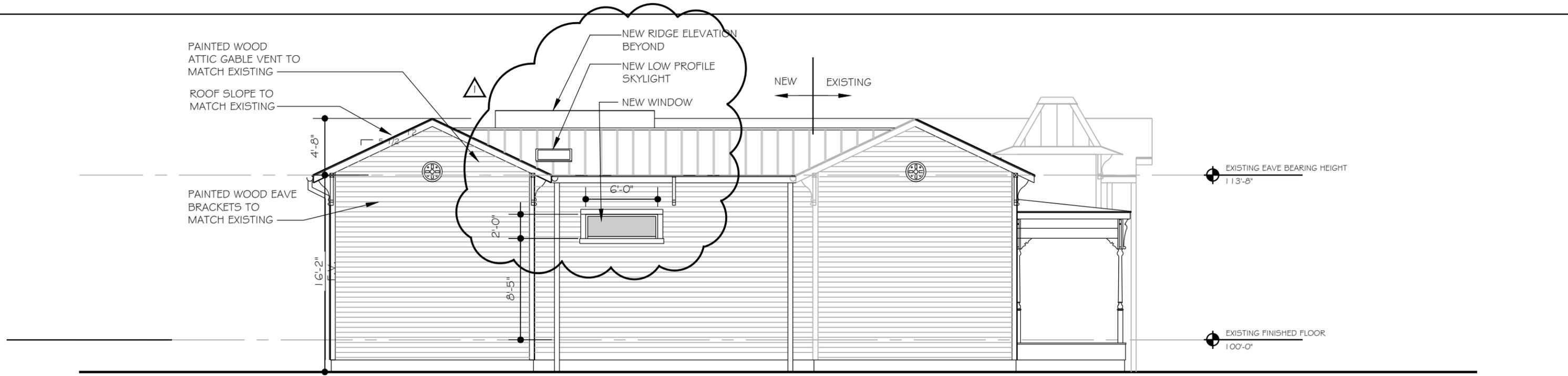


WEST ELEVATION



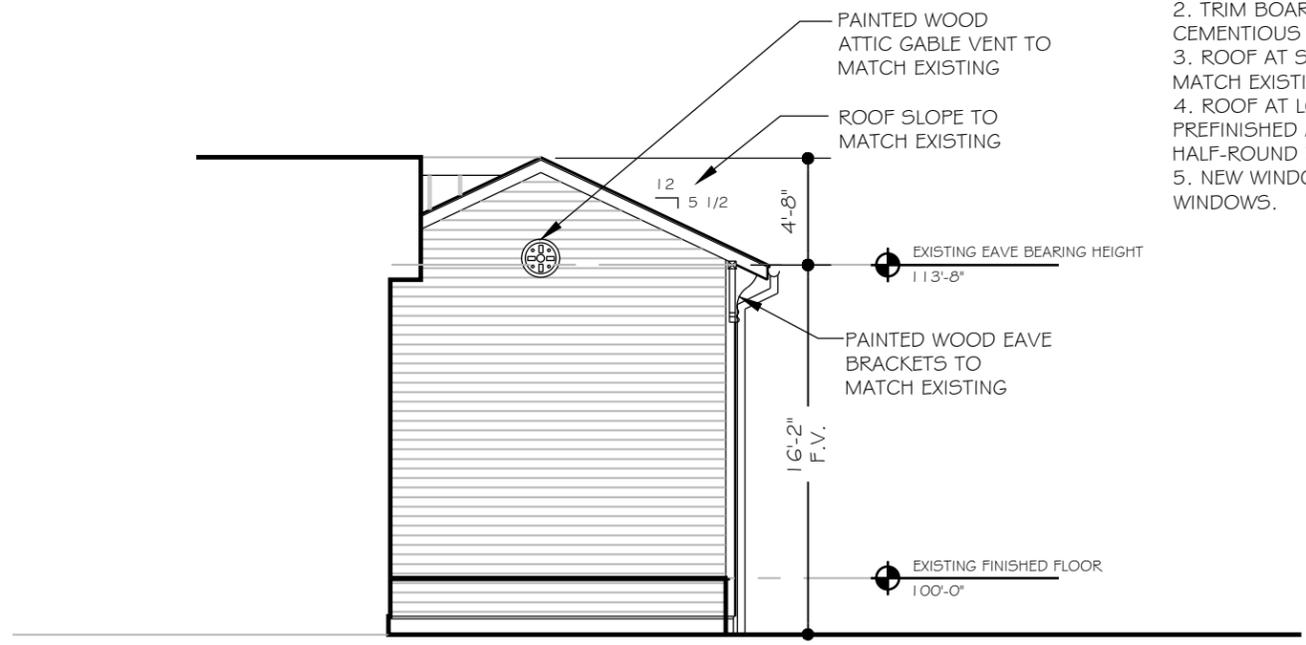
712 FATHERLAND STREET

ELEVATIONS



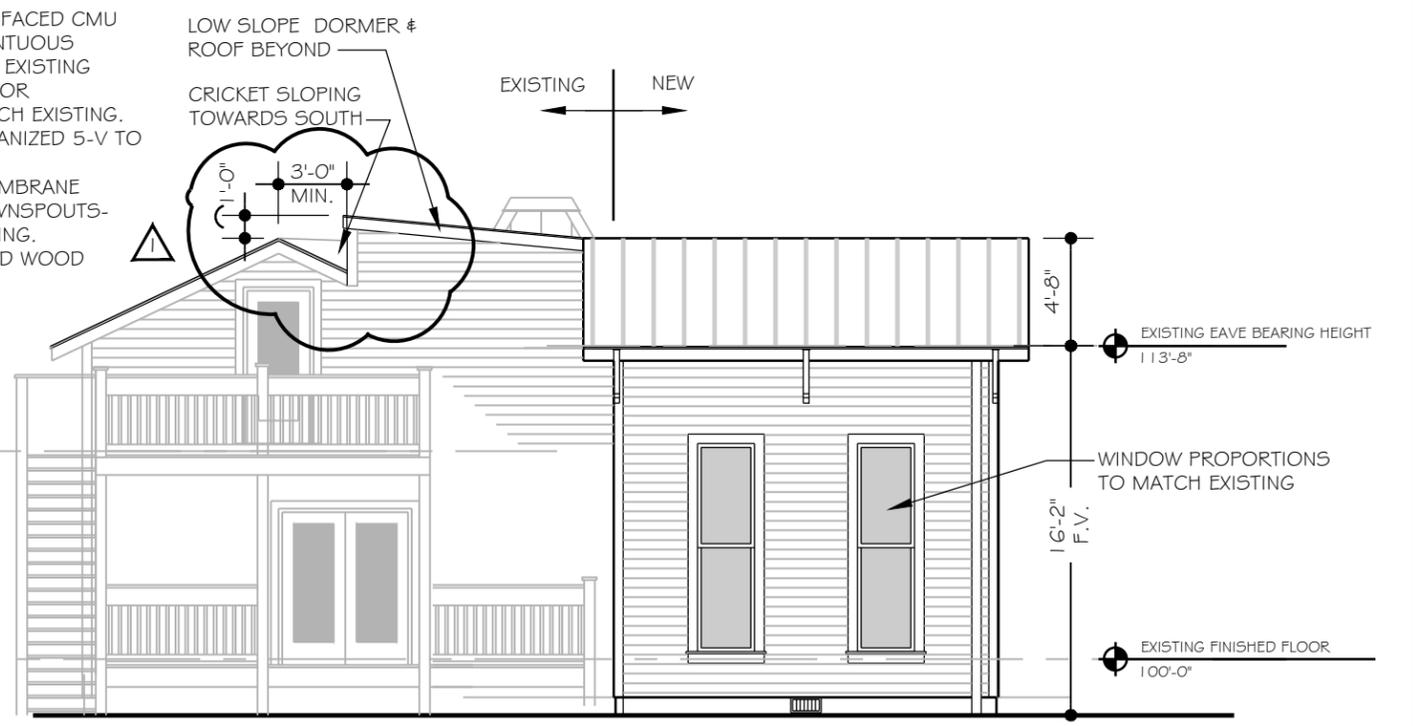
EAST ELEVATION

NOTE:
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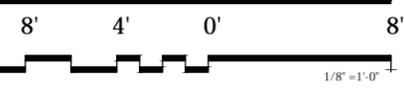


WEST ELEVATION

NOTE:
 SEE EXTENDED WEST ELEVATION OTHER SHEET

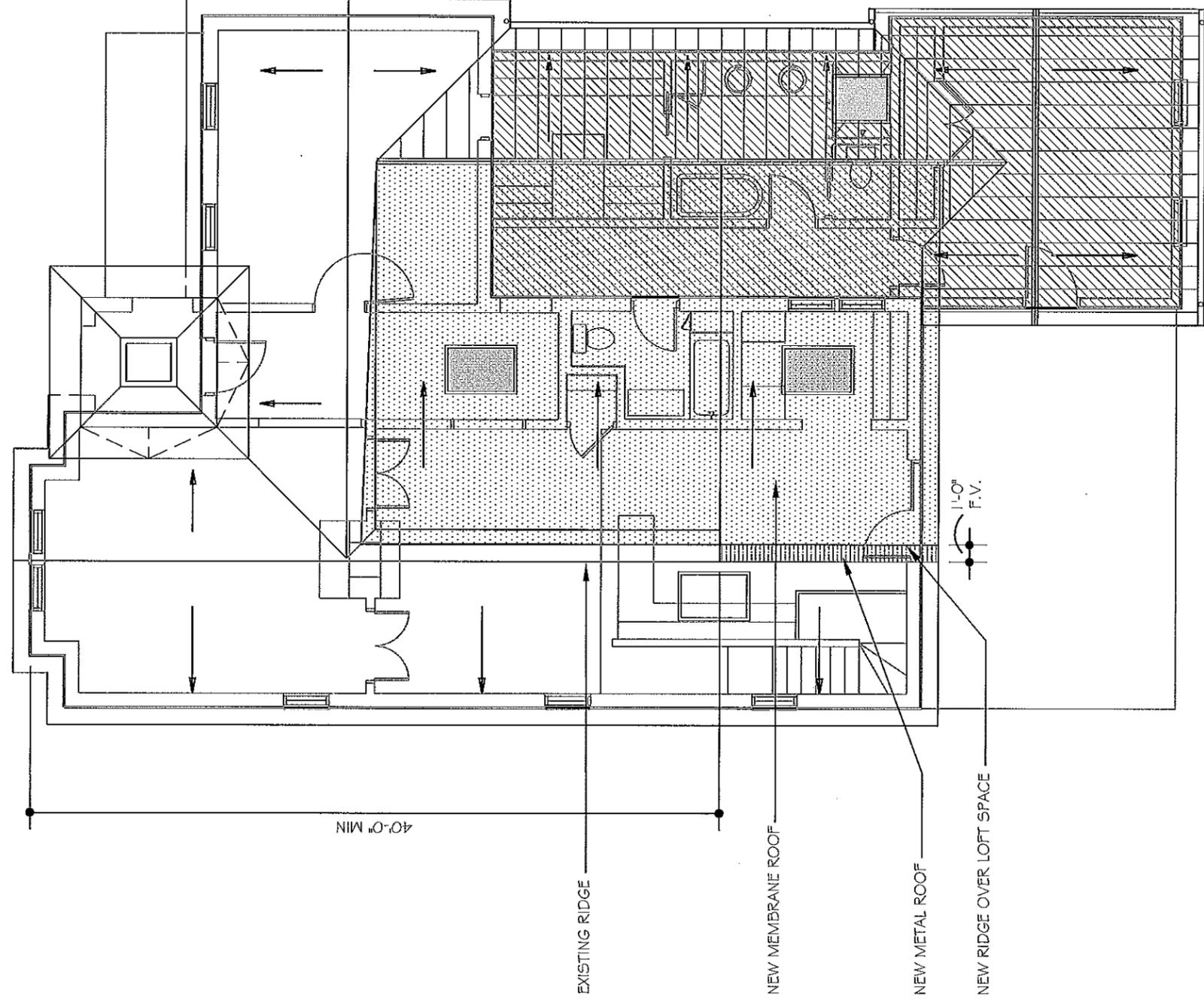


SOUTH ELEVATION



712 FATHERLAND STREET

ELEVATIONS



8' 4' 0' 8'

1/8"=1'-0"

712 FATHERLAND STREET

ROOF PLAN