



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

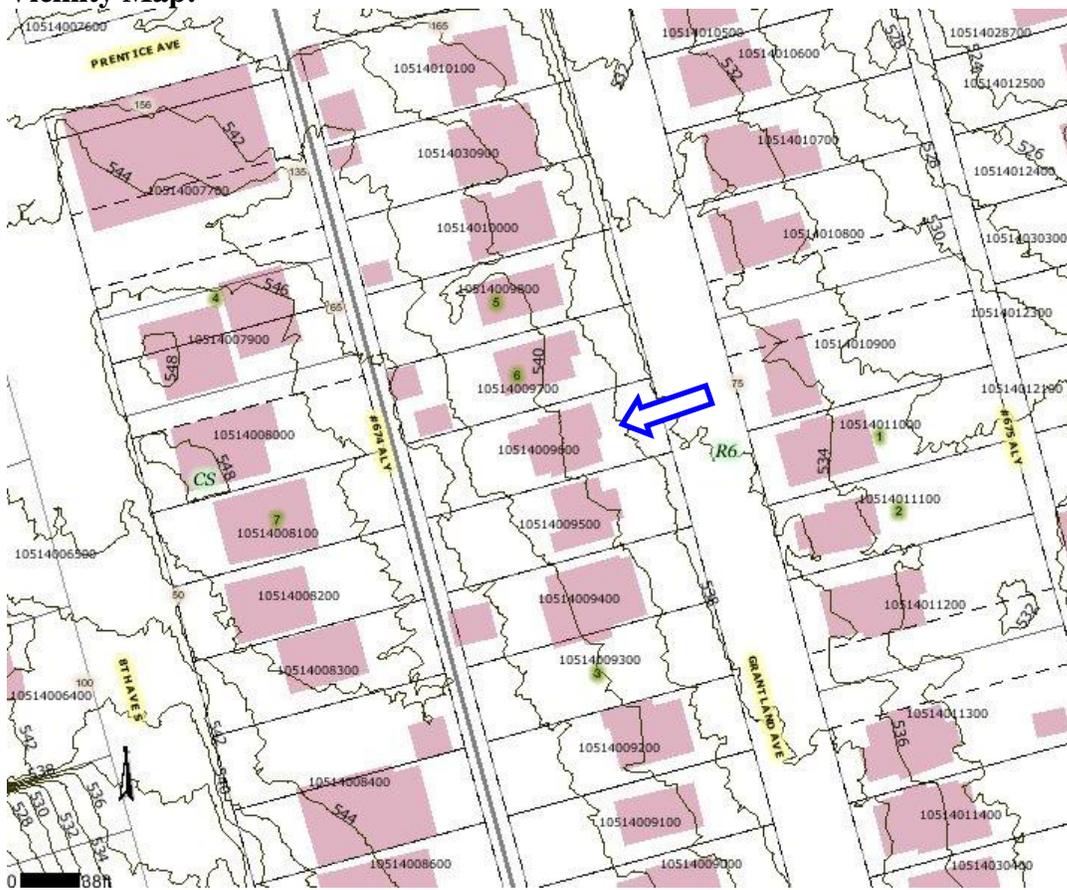
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
2211 Grantland Avenue
December 18, 2013

Application: New construction—outbuilding; Setback determination
District: Woodland in Waverly Historic Preservation Zoning Overlay
Council District: 17
Map and Parcel Number: 10514009600
Applicant: Lynn Taylor, designer
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: Application is to build a new carport and relocate an existing outbuilding to this lot from 2203 Grantland Avenue. The structure requires a rear setback determination.</p> <p>Recommendation Summary: Staff recommends approval with the conditions that the applicant seek final approval of the garage door, and that lap siding have a reveal no greater than five inches (5"). With these conditions, staff finds that the project meets section III.B.2 of the <i>Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Site Plan B: Elevations</p>
--	--

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.2 New Construction

h. Outbuildings:

1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board - and -batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim). Generally, the minimum roof pitch appropriate for outbuildings is 12:4. Decorative raised panels on publicly visible garage doors are generally not appropriate. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels. Publicly visible windows should be appropriate to the style of the house.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Historic garages are usually located as near to a rear corner of a parcel as possible.

i. Appurtenances: Appurtenances related to new buildings, including driveways, sidewalks, lighting, fencing, and walls, shall be compatible, by not contrasting greatly, with the characteristics of the surrounding historic buildings.

Background: 2211 Grantland Avenue is a one-and-a-half story Queen Anne cottage in a front-facing cross plan, with a wrap-around porch and a hipped roof with gabled projections. It is a contributing structure to the Woodland-in-Waverly Historic Preservation Overlay.



Figure 1. 2211 Grantland Avenue

Analysis and Findings:

This application is for relocation of an existing outbuilding and construction of a new carport. The new structure requires a setback reduction. In May 2013, the Commission approved demolition of an outbuilding at 2203 Grantland Avenue. The applicant proposes to relocate that building to 2211 Grantland Avenue.



Figure 2. Shed at 2203 Grantland Avenue.

Setback and Rhythm of Spacing: The carport will be located at the rear of the property, appropriate for an outbuilding. The structure has a footprint of five hundred and twenty-eight square feet (528 sq. ft.). It will be open to the interior of the lot and have a garage door facing the alley. Bulk zoning requires that an outbuilding be three feet (3') from the side property lines and ten feet (10') from the rear property line. In this case, the outbuilding will be three feet (3') from the property line on the north side and six feet (6') from the rear property line. Staff determines that a rear setback of six feet is appropriate because historically this property had an outbuilding on it that sat on the rear property line. In addition, the 1914 Sanborn map shows that several properties in this neighborhood had outbuildings on the rear property line and less than five feet (5') from the side property lines (See Figure 3).

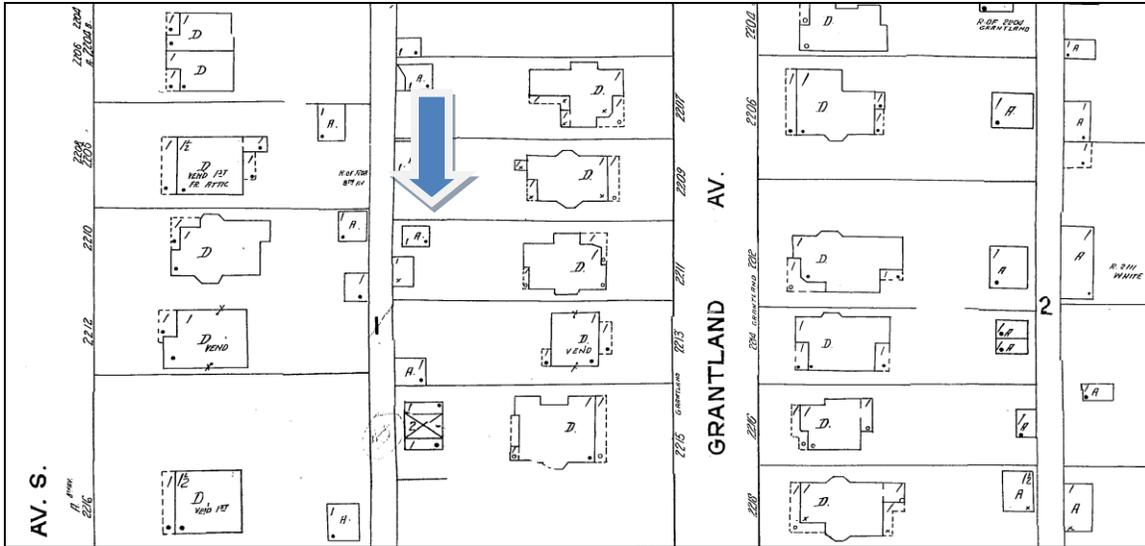


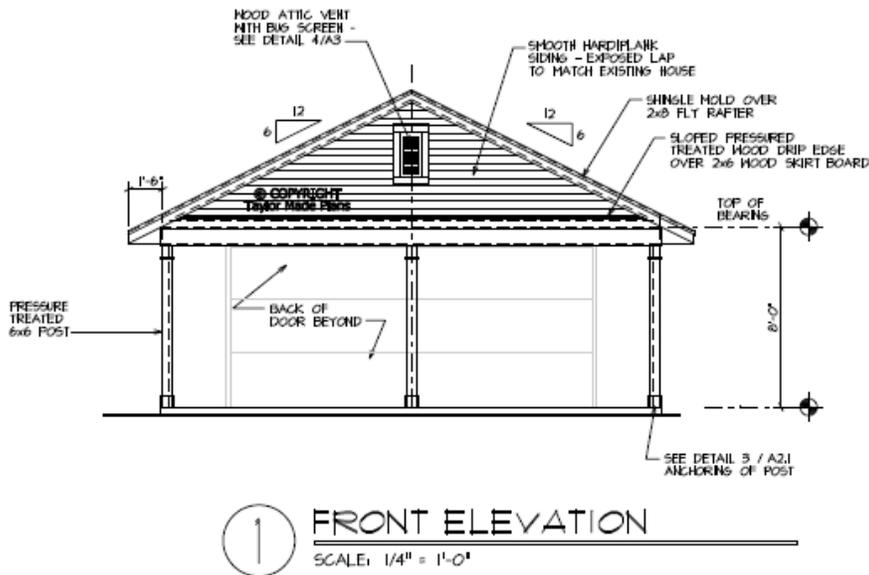
Figure 3. Sanborn map of 1914 shows outbuildings directly on the alley.

Staff finds that the location of the outbuilding with the setback determination meets sections III.B.2.c and III.B.2.h of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.

Orientation: The carport will be oriented so that its garage doors face the alley, which is appropriate. The shed will be facing the house. Staff finds that the orientation of the structures meets Section III.B.2.f and III.B.2.h of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.

Height and Scale: The carport is one-story reaching a ridge height of fourteen feet (14') with an eave height of eight feet (8'). Its foundation is solely the concrete slab. The carport measures twenty-four feet (24') by twenty-two feet (22') for a footprint of five hundred twenty-eight feet (528 sq. ft.). The footprint of the outbuilding is subordinate to that of the house, which has a footprint of approximately two thousand, one hundred square feet (2,100 sq. ft.). Staff also finds that the height of the outbuilding is subordinate to that of the house and does not differ greatly from other outbuildings in the district.

Staff finds that the height and scale of the outbuilding meet Sections III.B.2.a, III.B.2.b, and III.B.2.h of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.



Materials: The primary cladding material will be Hardiplank lap siding with a maximum five inch (5”) reveal. The trim will be wood, the foundation will be a concrete slab, and the roof will be architectural shingles to match the house. The garage door details were not specified; staff asks to approve the door prior to purchase and installation. With the staff’s final approval of the door, staff finds that the materials meet Sections III.B.2.d and III.B.2.h of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*

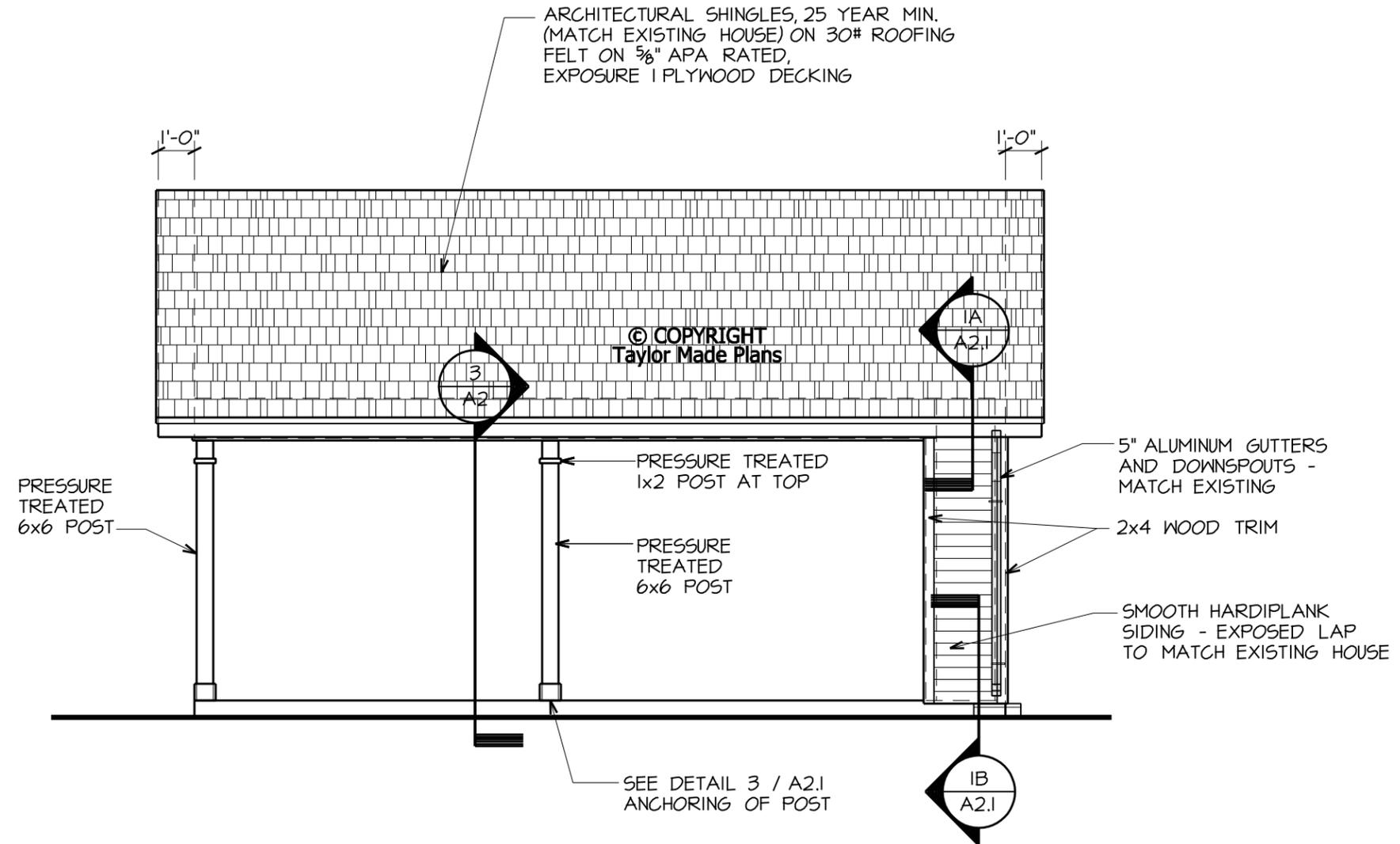
Roof Shape: The roof form for the enclosed portion of the outbuilding will be a gable with a roof slope of 6/12. The roof form is commonly found in the district and is appropriate for an outbuilding. Staff finds that the roof form meets Sections III.B.2.e and III.B.2.h of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*

Proportion and Rhythm of Openings. The structure’s proportion and rhythm of openings are appropriate for a detached outbuilding in the rear of the lot. Staff therefore finds that the structure’s proportion and rhythm of openings meet Sections III.B.2.g and III.B.2.h of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*

Recommendation Summary: Staff recommends approval with the condition that staff approve the garage door prior to its purchase, and lap siding have no more than a five inch (5”) reveal. With these conditions, staff finds that the project meets III.B.2 and V.B.2 of the *Woodland in Waverly Historic Zoning District: Handbook and Design Guidelines*.

12/2/2013

PROPERTY ADDRESS:
2211 Grantland Ave., Nashville, TN 37204



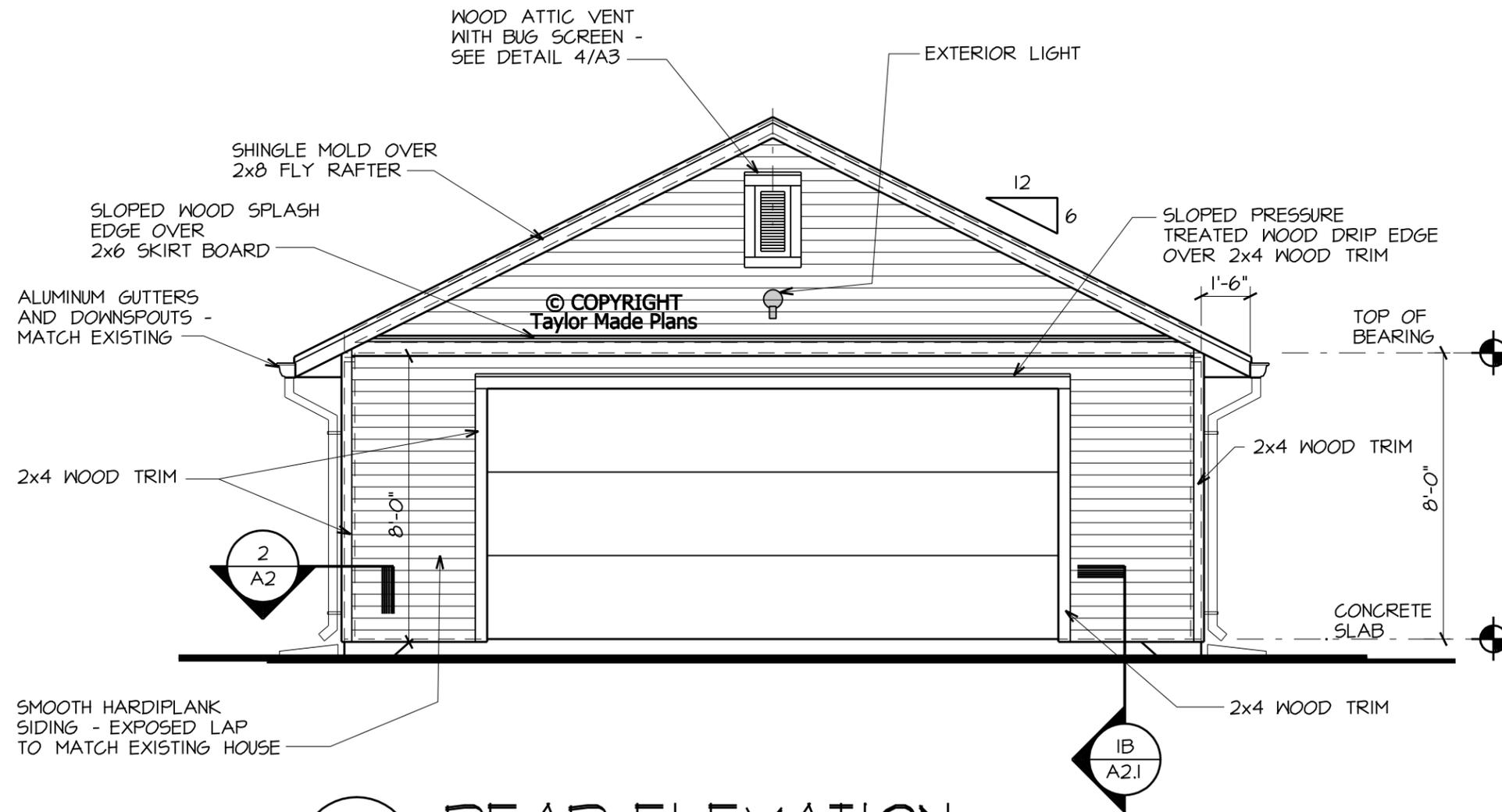
2

RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

12/2/2013

PROPERTY ADDRESS:
2211 Grantland Ave., Nashville, TN 37204



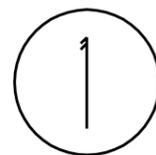
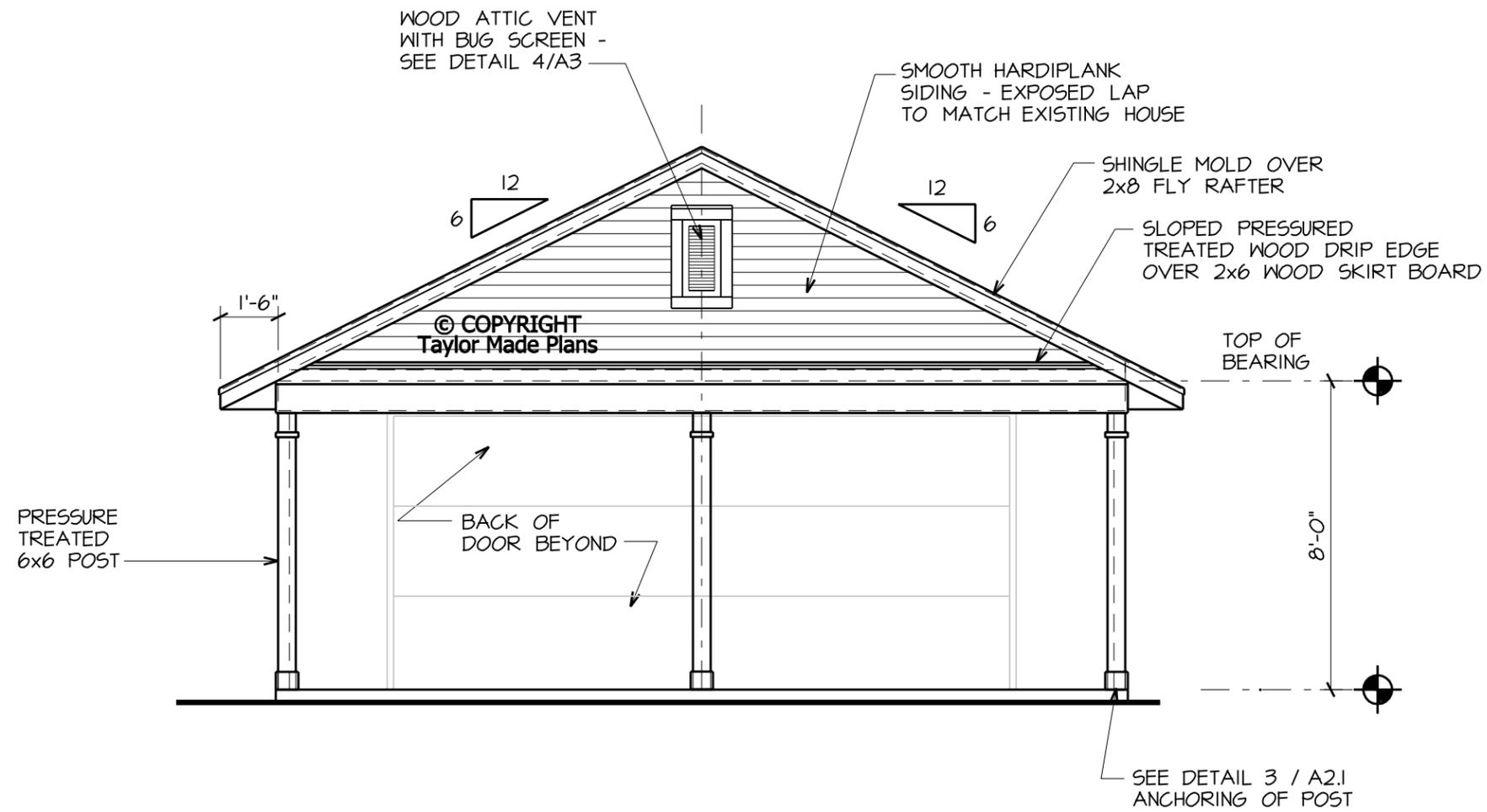
3

REAR ELEVATION

SCALE: 1/4" = 1'-0"

12/2/2013

PROPERTY ADDRESS:
2211 Grantland Ave., Nashville, TN 37204



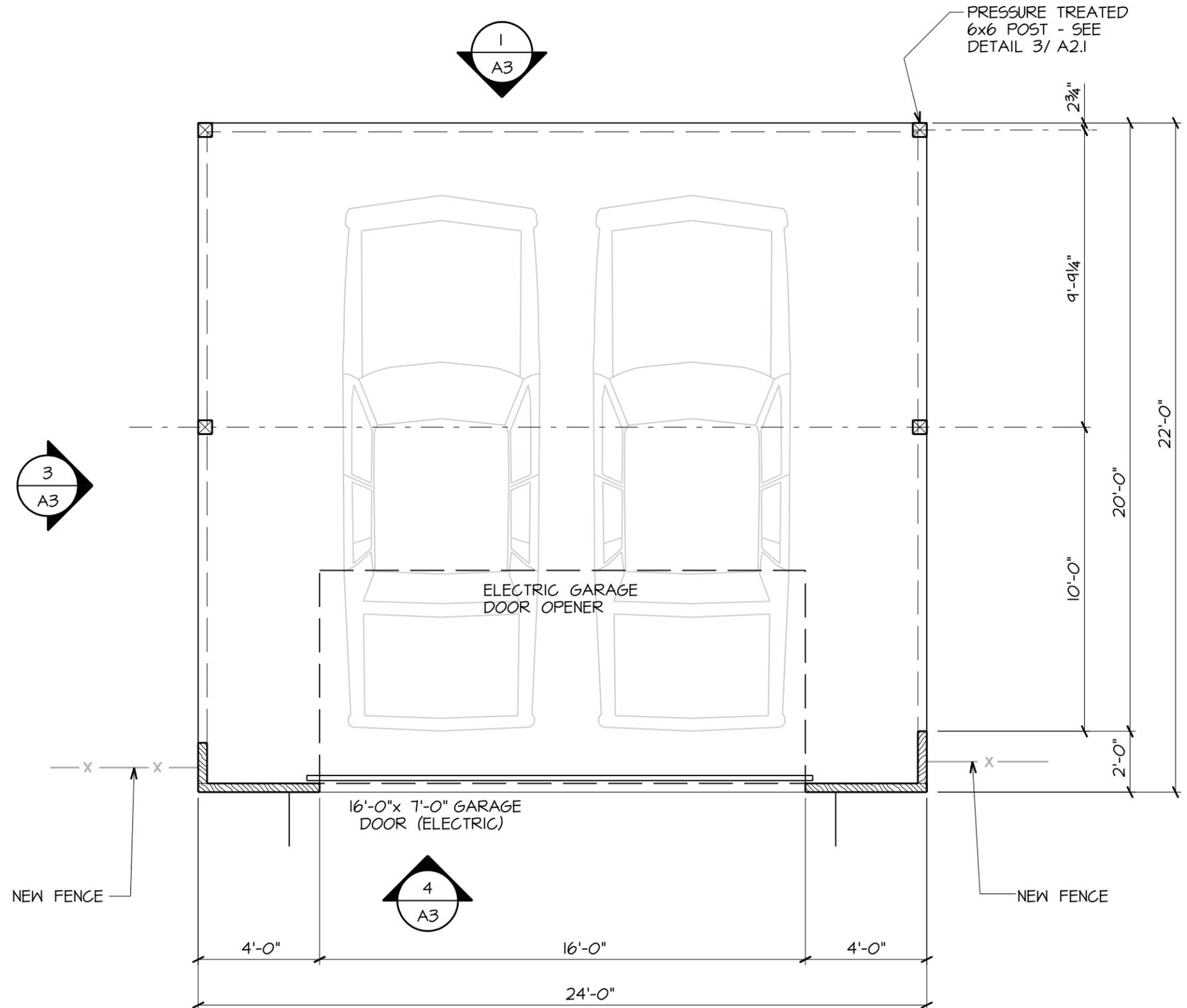
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

12/3/2013

PROPERTY ADDRESS:
2211 Grantland Ave., Nashville, TN 37204

SQUARE FOOTAGE	GROSS
CARPORT	528 SQ.FT.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"