



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
913 Fatherland Street
December 18, 2013

Application: New construction-infill and outbuilding
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08216018200
Applicant: Sandi Adams, Rigid Development
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant is proposing to construct a new two-story house and garage on a vacant lot.

Recommendation Summary: Staff recommends approval of the application to construct a new house and outbuilding, with the conditions that:

- The elevations be revised to reflect the lot grade accurately;
- A walkway be added from the porch to the sidewalk;
- The windows on the left elevation be a more appropriate proportion;
- Brick color and texture, and the materials of windows and doors be approved by Staff;
- Permanent landscape features such as pavings, fences and walls, exterior lighting, and any other appurtenances be approved by Staff.

With those conditions met, Staff finds that the application would meet the design guidelines for new construction in the Edgefield Historic Preservation Zoning Overlay.

Attachments

- A:** Photographs
- B:** Site Plan
- C:** Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- a. Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.
Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals. The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.

h. Outbuildings:

- 1) A new outbuilding should reflect the character of outbuildings contemporary with the associated house. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof form and architectural features of the associated house. Generally, either approach is appropriate for new outbuildings. Stone, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim).

Generally, the minimum roof pitch appropriate for outbuildings is 12:4; a steeper pitch is usually better. Raised panels on publicly visible garage doors are not appropriate.

Publicly visible pedestrian doors should either relate to the style of the associated house or be flush. Publicly visible windows should relate to the style of the associated house.

- 2) Outbuildings should be situated on the lot as is historically typical for the neighborhood.

Although historic outbuildings are usually located as near to a rear corner of a parcel as possible, the current building code requires deeper setbacks from the side and rear property lines. Variances to the codes standard can be requested from the Board of Zoning Appeals with the support of the MHZC.

IV.B.1 Fences

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards and can be up to 6' in height. *A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.*
- d. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is publicly visible, it should be camouflaged with plantings, or painted black or dark green.
- e. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

IV.B.2 Permanent Built Landscape Features

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

Background: The lot at 913 Fatherland Street is vacant. Adjacent on either side are non-contributing houses, the one on the left being built in 2011. The broader historic context of the street, however, is fairly intact with one- and two-story Victorian Era houses and Craftsman bungalows.

Analysis and Findings:

The applicant is proposing to construct a new house and garage on the vacant lot.

Setbacks, Orientation

The new house will sit so that the leading edge is in line with the fronts of historic structures on the street. The thirty-two foot (32') wide house will be centered on the fifty-foot (50') wide lot, with roughly nine foot (9') setbacks on each side. These setbacks are consistent with those found on nearby historic houses, and will maintain the established rhythm of the street. Staff finds that the application will meet guideline III.B.2.a.

The house will be aligned perpendicularly to the street, matching the orientation of nearby historic houses. A walkway from the porch to the public sidewalk is needed to engage the street, as is typical of other houses in the district. With the addition of a walkway, Staff finds that the proposal will meet guideline III.B.2.e.

Height

The new house will be thirty feet (30') tall from peak to existing grade, with a foundation height of two feet (2'). This height is compatible with those of historic two-story houses nearby. The closest example, four houses up at 921 Fatherland Street, is thirty-five feet (35') tall. (See image #1.) The eave height will be nineteen feet (19') above the finished floor. A brick soldier course will indicate the second floor level at ten feet (10') above the finished floor level, with



Image #1: 921 Fatherland

the exterior material changing four feet (4') above that, within the second story wallspace. This type of treatment has been approved multiple times in the overlay, and has not been found to have a greatly contrasting effect. Based on the elevations submitted, staff finds the height will meet guideline III.B.2.b.

The elevations show an estimate for lot grade that appears to be inaccurate. Staff requests that the elevations be revised to show the actual grade.

Building Shape

The shape and proportions of the house will be similar to an American Foursquare house, with a twenty-nine foot (29') wide two-story mass with a hipped roof. The proposed new house would have a recessed porch in the front-right corner. American Foursquare houses generally have projecting front porches, but recessed porches are found on several other houses forms in the area. A projecting bay on the left side of the house and a recessed doorway on the right will help to break up the sixty-foot (60') length of the side elevations.

Staff finds that the form of the new house is compatible with surrounding historic buildings and meets guideline III.B.2.c.

Roof Shape

The roof of the new house will be hipped with a ridge running from the front to the rear. The roof pitch will be 6:12. The form and pitch are compatible with historic houses nearby and meet guideline III.B.1.d.

Proportion and Rhythm of Openings

Generally, the windows of the first story are taller than those on the upperstory, as is typical of historic houses, and there are not large expanses of wallspace without any opening or articulation. In the left side, however, there is single window on a section of the wall that is disproportionate to the wall around and the window above. Staff finds that with this window enlarged to a more appropriate size, the application will meet guideline III.B.2.f.

Materials

The primary exterior material of the structure will be brick, for which staff asks to review the color, texture and dimension. In the upper half of the second story, the material will switch to smooth-faced cement-fiber siding. This type of material change is more commonly stucco over brick, but cement-fiber siding has been found to be generally appropriate for infill and will not contrast greatly in this case. The exterior trim will be a wood-composite material. The roof will be brownish-gray composition shingles, and the foundation will be split-faced concrete block, and the front steps will be concrete as well. These materials are compatible with those of surrounding historic buildings. The materials of the windows and doors are not known.

With the materials of the windows, doors, roofing selections, and a brick sample approved by Staff, along with any paving, the application will meet guideline II.B.1.g.

Outbuilding

The proposal also includes a garage to be located at the rear of the property, accessed from the rear alley. The garage will be set three feet in from the right property line and twenty-feet (20') from the rear. This location is compatible with the locations of historic outbuildings and meets guideline III.B.2.h.2.

The outbuilding will be twenty-one feet (21') tall, and will have a footprint of less than five hundred, fifty square feet (550 sq. ft.). The character of the building will reflect that of the primary building, with matching exterior materials and a hipped roof. Staff finds that the garage will meet guideline III.B.3.h.1.

Appurtenances

The proposal shows the HVAC unit as being on the left side of the house behind the midpoint, which is in appropriate location. No other appurtenances are shown. Staff shall review any appurtenances, including but not limited to pavings, fences and walls, and exterior lighting in order to ensure compliance with guideline IV.B.2-3

Recommendation:

Staff recommends approval of the application to construct a new house and outbuilding, with the conditions that:

- The elevations be revised to reflect the lot grade accurately;
- A walkway be added from the porch to the sidewalk;
- The windows on the left elevation be a more appropriate proportion;
- Brick color and texture, and the materials of windows and doors be approved by Staff;
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With those conditions met, Staff finds that the application would meet the design guidelines for new construction in the Edgefield Historic Preservation Zoning Overlay.



911, 913, and 915 Fatherland Street.



909 Fatherland Street (historic) and 911 Fatherland Street (constructed in 2011).



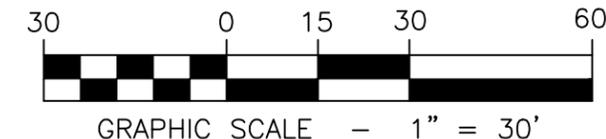
915 Fatherland Street (non-contributing) and 917 Fatherland Street (historic).

LEGEND

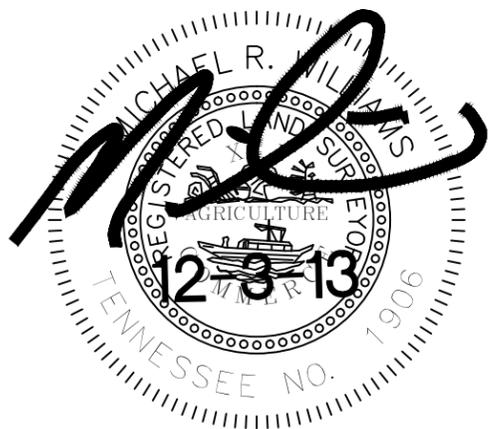
CONCRETE MONUMENT OLD	■ CM(O)
IRON PIN OLD/R.R. SPIKE OLD	● IP(O)/R.R. SPIKE(O)
5/8" IRON PIN NEW & CAP	● IP(N)
WATER VALVE	⊠
FIRE HYDRANT	⊙
WATER METER	⊞
MANHOLE	⊕
UTILITY POLE	⊞
LIGHT POLE	⊞
SEWER BOX	□ SB
EDGE OF PAVEMENT	— — — — —
CHAIN LINK FENCE LINE	— — — — —
PROPERTY/R.O.W. LINE	— — — — —
EDGE OF CONC.	— — — — —
UNDERGROUND WATER	— 12 — W —
SEWER LINE	— S — S —
OVERHEAD WIRES	— OH — — OH —
PROPOSED SILT FENCE	— SF — — SF —

NOTES:

- 1) ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
- 2) UTILITIES HAVE SCALED FROM MAPS OF RECORD ONLY AND NOT FIELD LOCATED. THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THIS SURVEYOR. SIZE AND EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY.
- 3) THIS SURVEY PREPARED FROM CURRENT PLAT OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE, AND IS SUBJECT TO ANY STATE OF FACTS A CURRENT AND ACCURATE TITLE SEARCH WILL REVEAL.
- 4) THE PROPERTY IS CURRENTLY ZONED "RSB" RESIDENTIAL MINIMUM 8,000 SQ. FT. WITH URBAN AND HISTORICAL OVERLAYS SETBACKS PER ZONING CODE TABLE 17.12.020A ARE: SETBACK: STREET= 20' MINOR/LOCAL OR 40' ALL OTHER, SIDE= 5', REAR=20' ALL ZONING AND SETBACK INFORMATION SHOULD BE VERIFIED WITH METRO CODES DEPT. 862-6500. THERE COULD BE OTHER CONTROLLING REGULATIONS.
- 5) SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE PARTIES NAMED AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITIES WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR WHOSE SIGNATURE APPEARS ON THIS SURVEY.
- 6) ALL BUILDING AND GARAGE DIMENSIONS SHOWN HEREON ARE TAKEN FROM PLANS PROVIDED BY RIDGID DEVELOPMENT.
- 7) CONTOURS SHOWN HEREON WERE TAKEN FROM MAPPING PROVIDED BY OTHERS AND WERE NOT FIELD VERIFIED BY THIS SURVEYOR.



I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



MICHAEL R. WILLIAMS R.L.S., TN. # 1906

SITE INFORMATION:

LOT 91
 BARROW'S ADDITION OF EAST NASHVILLE
 P.B. 1, PG. 93, R.O.D.C., TN.
 MAP 82-16, PARCEL 182.00
 CORNERSTONE INVESTMENTS, INC.
 INSTRU# 20130906 0094343 R.O.D.C., TN.

(See Note 5)

PREPARED FOR:

RIGID DEVELOPMENT, INC.
 ATT. BRIAN LAYTON
 9005 OVERLOOK BLVD.
 BRENTWOOD, TN 37027
 615-566-0510

SITE ADDRESS:
 913 FATHERLAND STREET
 NASHVILLE, TN 37206



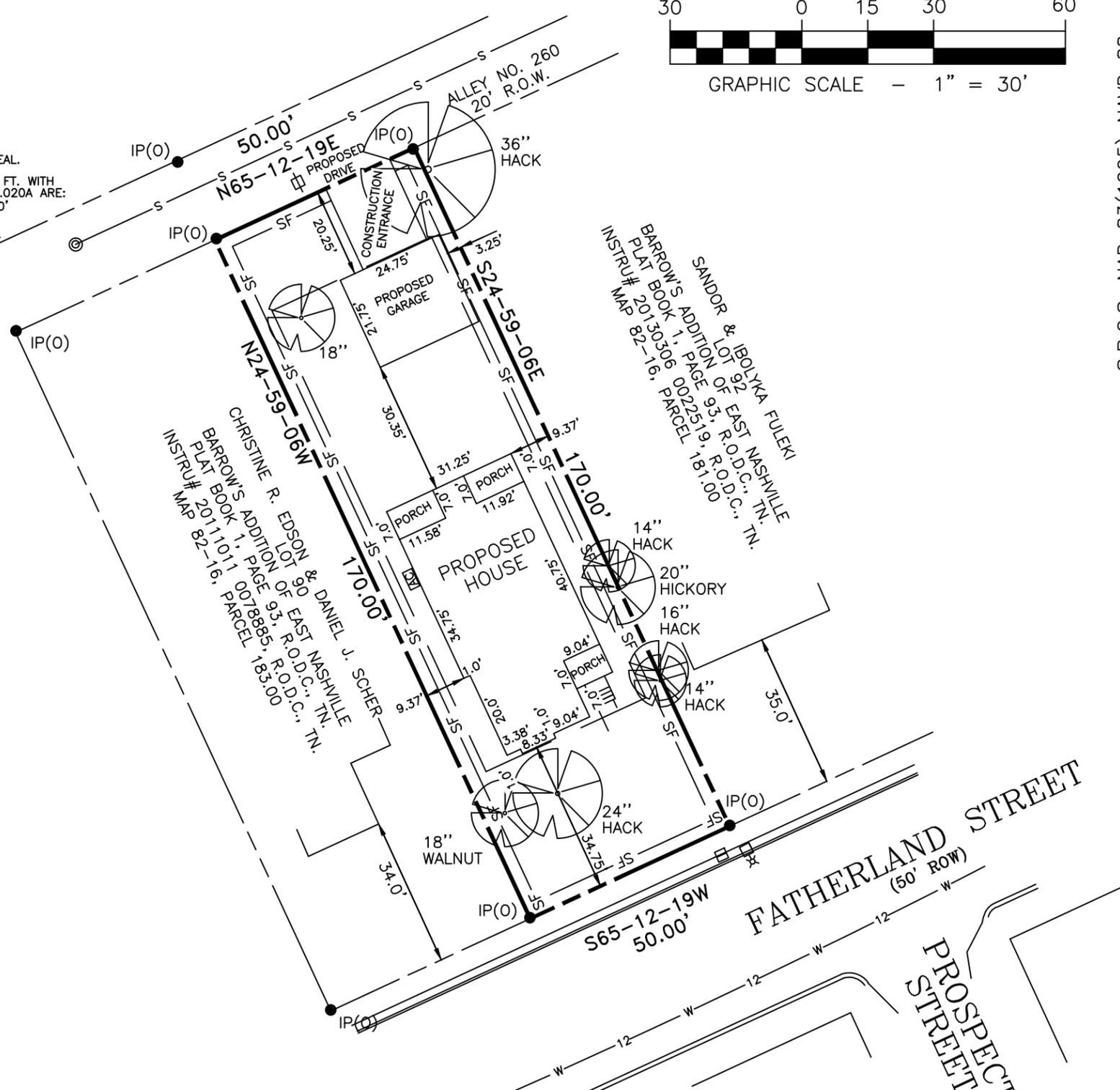
Nashville, Tennessee
 Jackson, Tennessee
 Kansas City, Missouri
 Louisville, Kentucky

ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIORS

SURVEY DIVISION

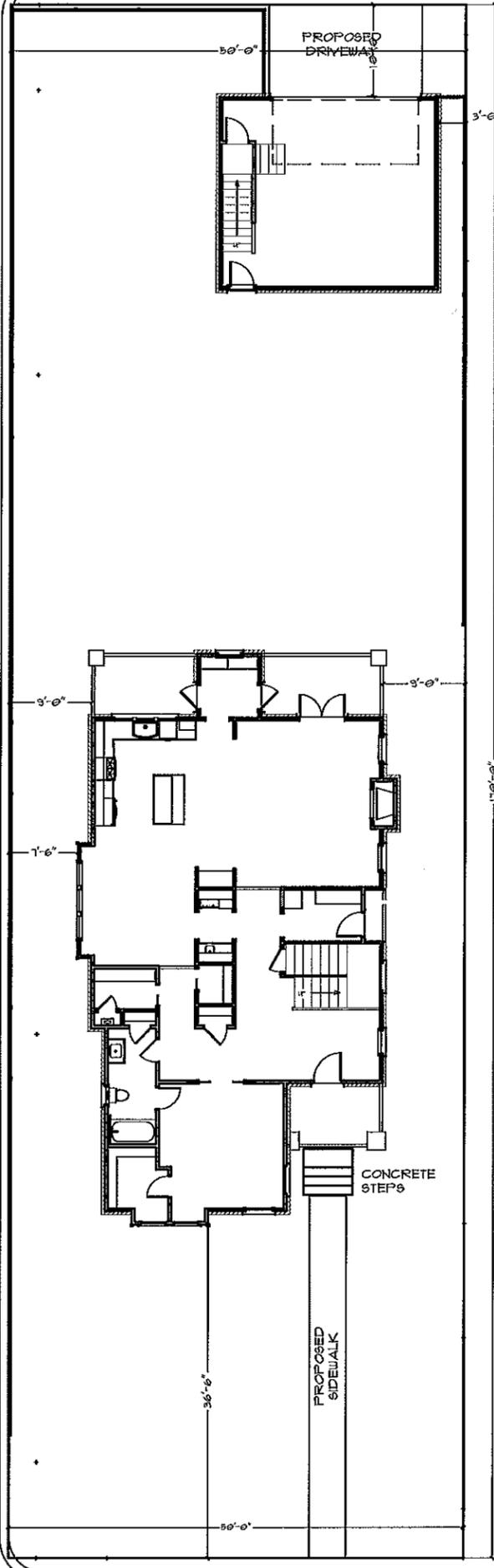
PO Box 1974, 7101 Executive Center Drive, Suite 300
 Brentwood, TN 37024-1974
 ph 370-8500 fax 370-8530 mwilliams@hfrdesign.com

TOTAL AREA: 8,500 SQ. FT. OR (0.195± ACRES)

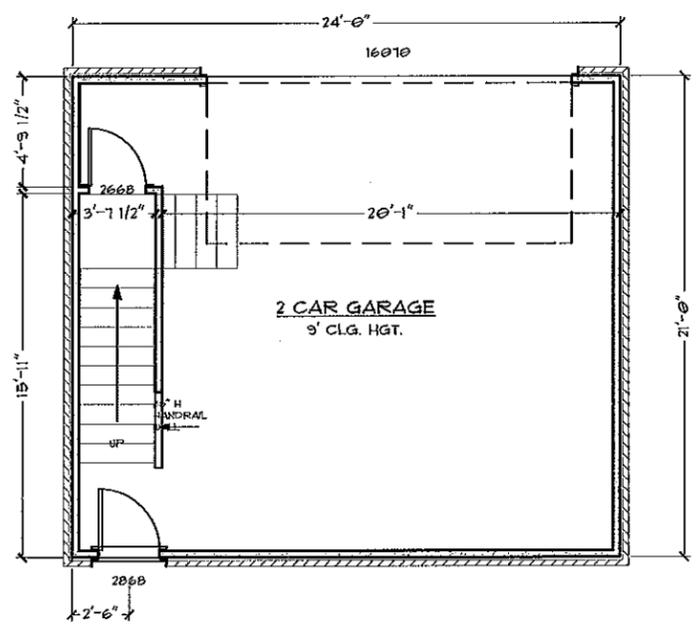


PLOT PLAN
 FOR
 LOT 91
 BARROW'S ADDITION OF EAST NASHVILLE
 PLAT BOOK 1, PAGE 93, R.O.D.C., TN.
 6TH COUNCIL DISTRICT
 NASHVILLE-DAVIDSON COUNTY-TENNESSEE
 SCALE: 1"=30' DATE: 10-9-14:REVISED 12-3-13
 HFR PROJECT NO. 2013200.52

S.P.C.S. NAD 83(1995) NAVD 88



PROPOSED LOT LAYOUT
NOT TO SCALE



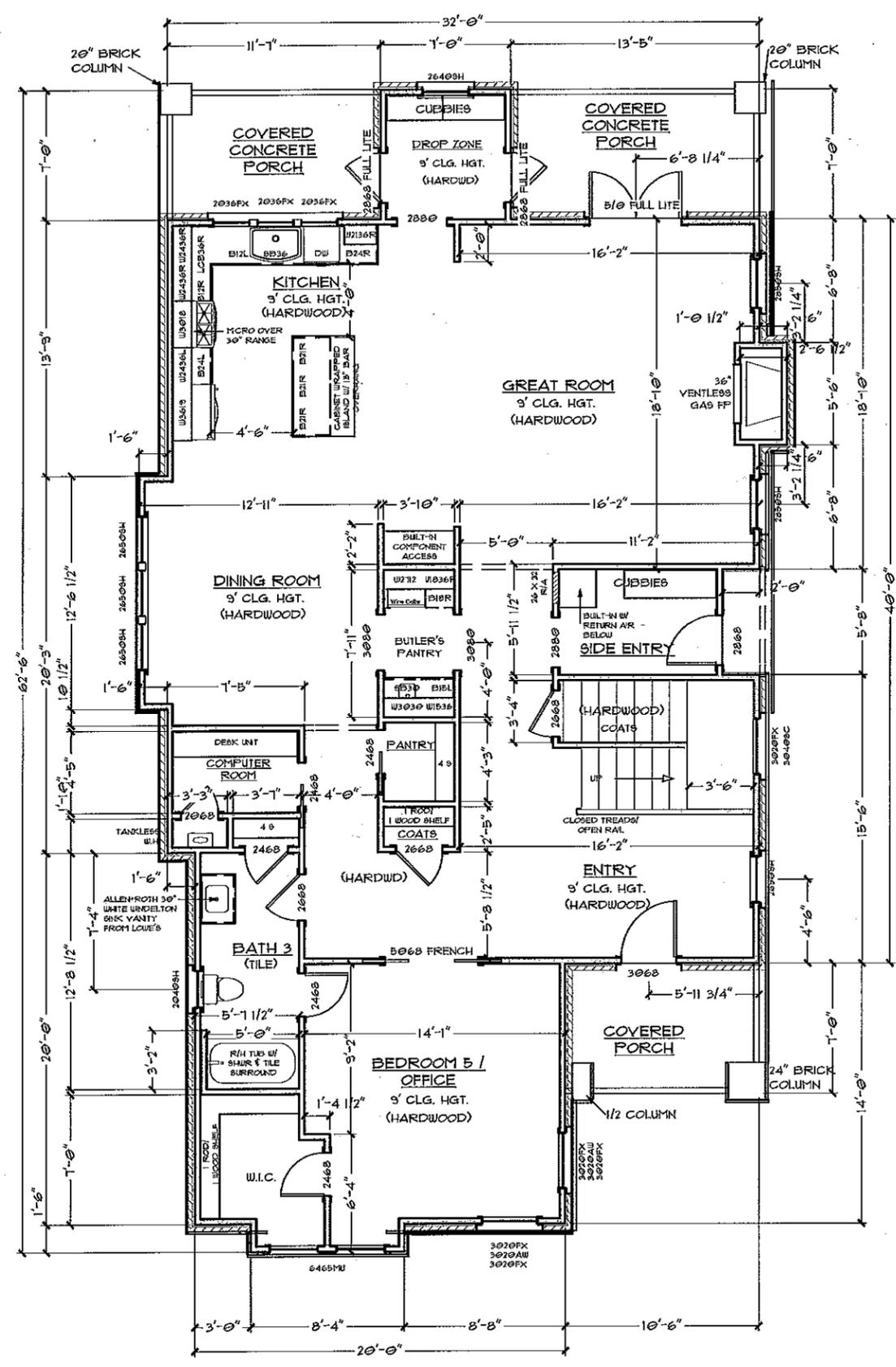
FLOORING (AREA SQ. FT.):

INTERIOR AREA OF HARDWOOD:	2128
INTERIOR AREA OF TILE:	389
INTERIOR AREA OF CARPET:	781

TOTALS ARE EXACT, AND DO NOT INCLUDE ANY OVERAGE FOR WASTE.
FLOORING TOTALS INCLUDE DETACHED BONUS SPACE

SQUARE FOOTAGE:

1ST FLOOR:	1565
2ND FLOOR:	1610
TOTAL H.S.F. HOUSE:	3175
DETACHED BONUS ROOM:	463
TOTAL H.S.F.:	3638
FRONT PORCH:	63
KITCHEN REAR PORCH:	81
GREAT ROOM REAR PORCH:	83
DETACHED 2 CAR GARAGE:	504
TOTAL U.R.S.F.:	4369
MASTER BALCONY:	83



FIRST FLOOR PLAN

TODAY'S DATE:
11 DEC 13

ORIG. DATE:
12/11/13

MOD. DATES:

THESE PLANS ARE PROTECTED FROM PLAGIARISM. ANY USE, REUSE, REPRODUCTION, OR USE FOR CONTRACTING OR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RIGID DEVELOPMENT OR SANDI ADAMS WILL BE PROSECUTED.

DRAWN BY: **SANDI**

PREPARED FOR: **RIGID DEVELOPMENT LEVEL 1 SPEC**

SCALE: **11 X 17 PRINT: 1/8" = 1'-0"**
24 X 36 PRINT: 1/4" = 1'-0"

HOUSE PLAN: **THE PRAIRIE BARTEAU** SITE ADDRESS: **913 FATHERLAND**

RIGID DEVELOPMENT

FLOOR PLAN

SHEET NO.: **2 OF 6**

TODAY'S DATE:
11 DEC 13

ORIG. DATE:
12/11/13

MOD. DATES:

THESE PLANS ARE PROTECTED FROM FLAUIRISM. ANY USE, REUSE, REPRODUCTION, OR USE FOR CONTRACTING OR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RIGID DEVELOPMENT OR SANDI ADAMS WILL BE PROSECUTED.

DRAWN BY: SANDI

PREPARED FOR: RIGID DEVELOPMENT LEVEL 1 SPEC

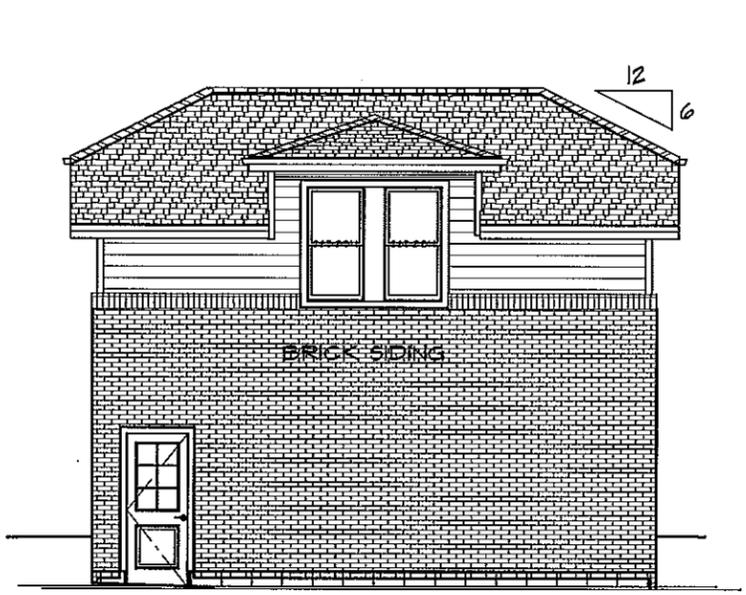
SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

HOUSE PLAN: THE PRAIRIE BARTEAU
SITE ADDRESS: 913 FATHERLAND



ELEVATIONS

SHEET NO.:
5 OF 6



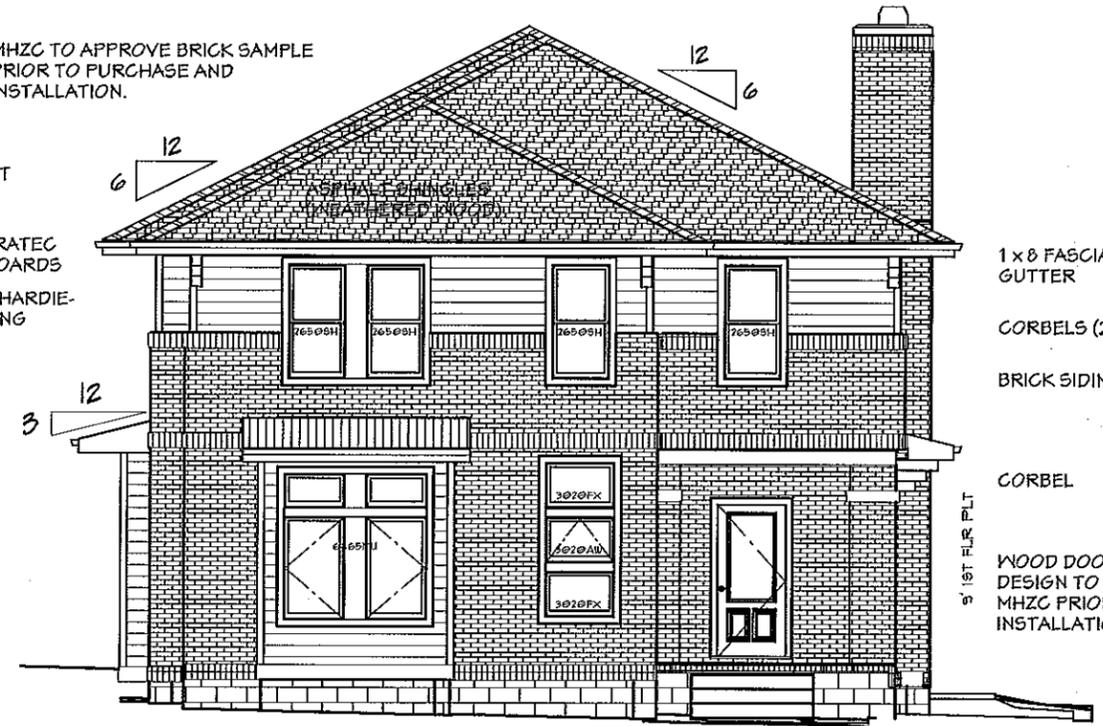
GARAGE FRONT

MHQC TO APPROVE BRICK SAMPLE PRIOR TO PURCHASE AND INSTALLATION.

RIDGE VENT

4" x 3/4" MIRATEC CORNER BOARDS

4" REVEAL HARDIE-PLANK SIDING



FRONT ELEVATION

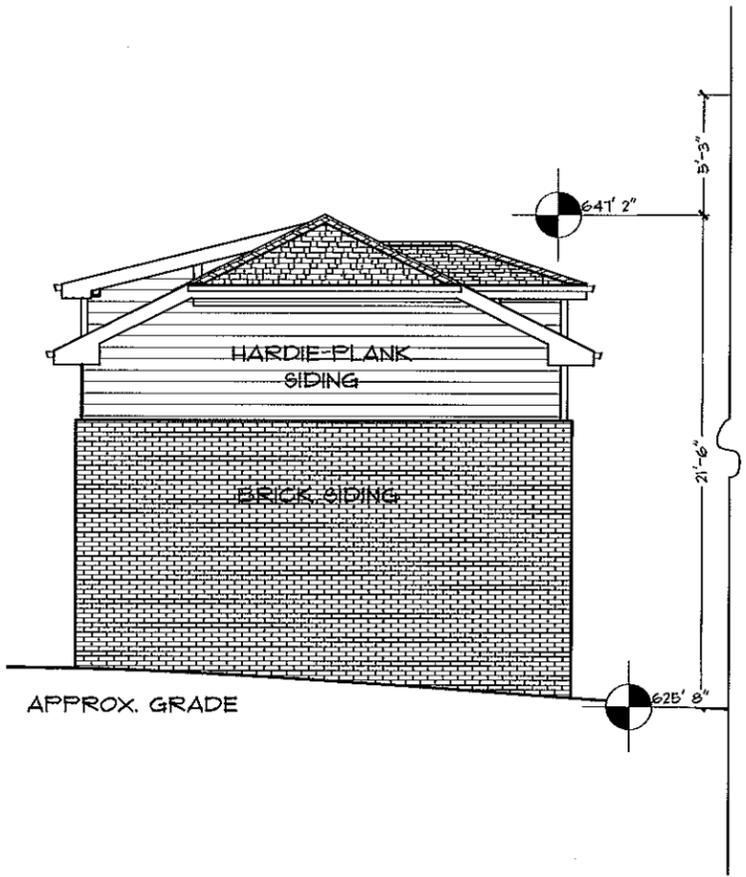
1 x 8 FASCIA w/ 5" GUTTER

CORBELS (2 PLC5)

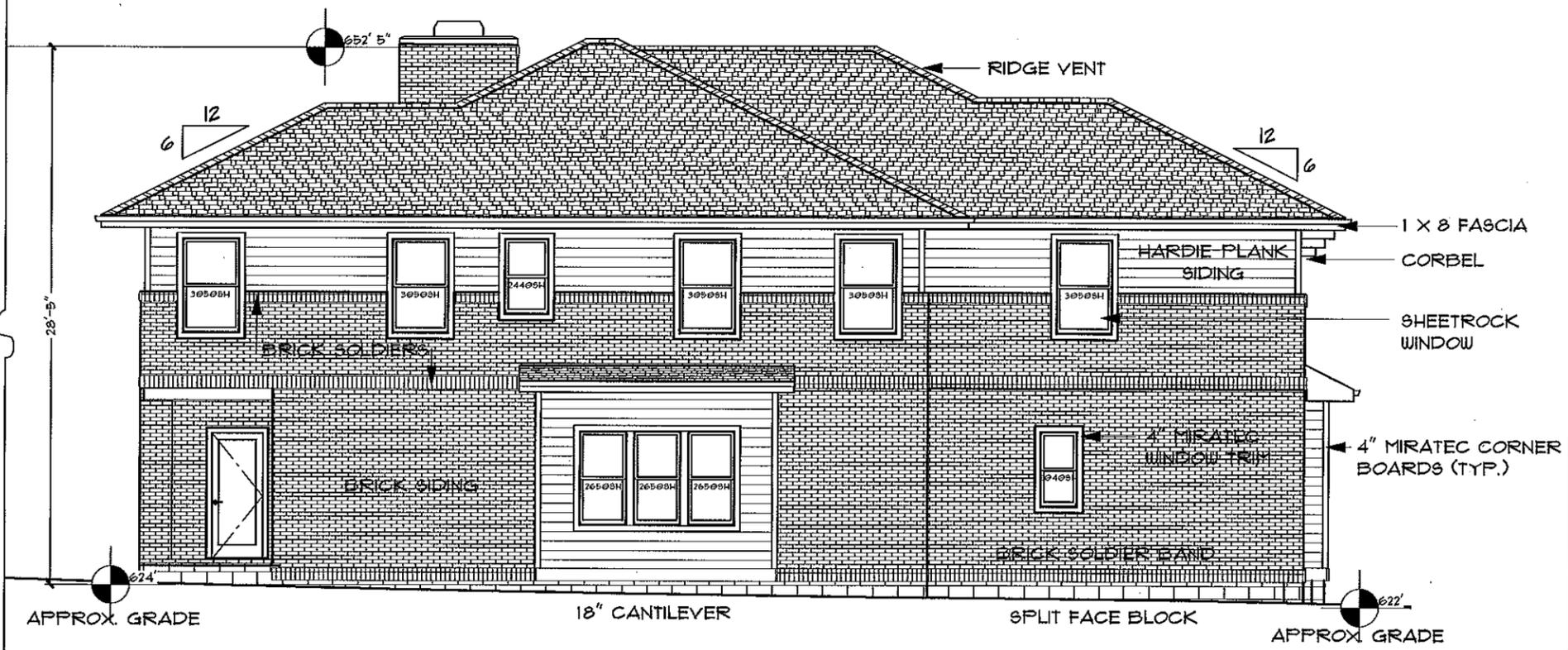
BRICK SIDING

CORBEL

WOOD DOOR MATERIAL AND DESIGN TO BE APPROVED BY MHQC PRIOR TO PURCHASE AND INSTALLATION



LEFT SIDE ELEVATION



APPROX. GRADE

18" CANTILEVER

SPLIT FACE BLOCK

APPROX. GRADE

PREPARED FOR:

SCALE:

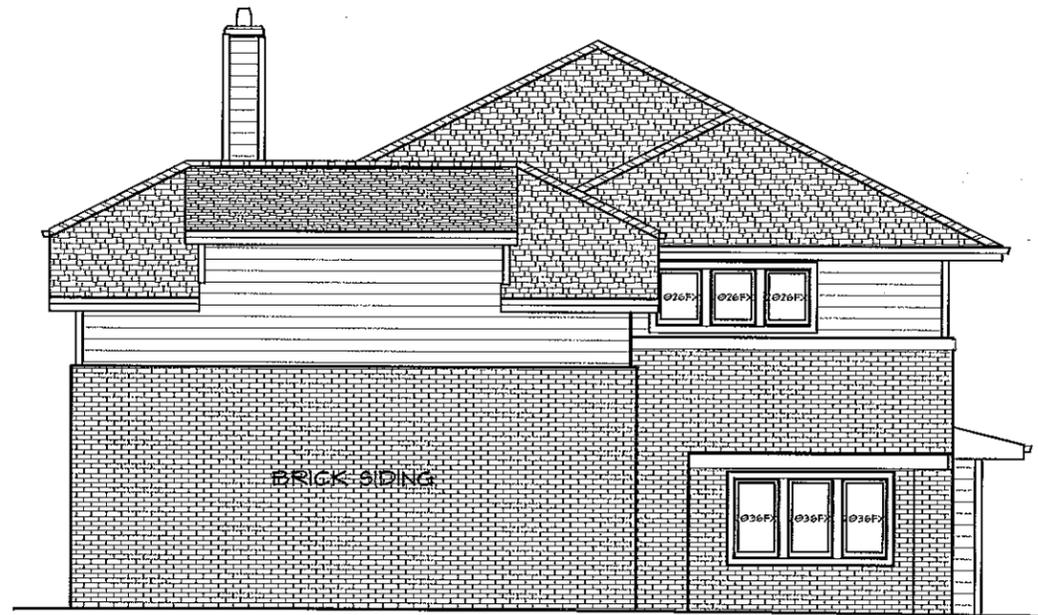
HOUSE PLAN:

SITE ADDRESS:

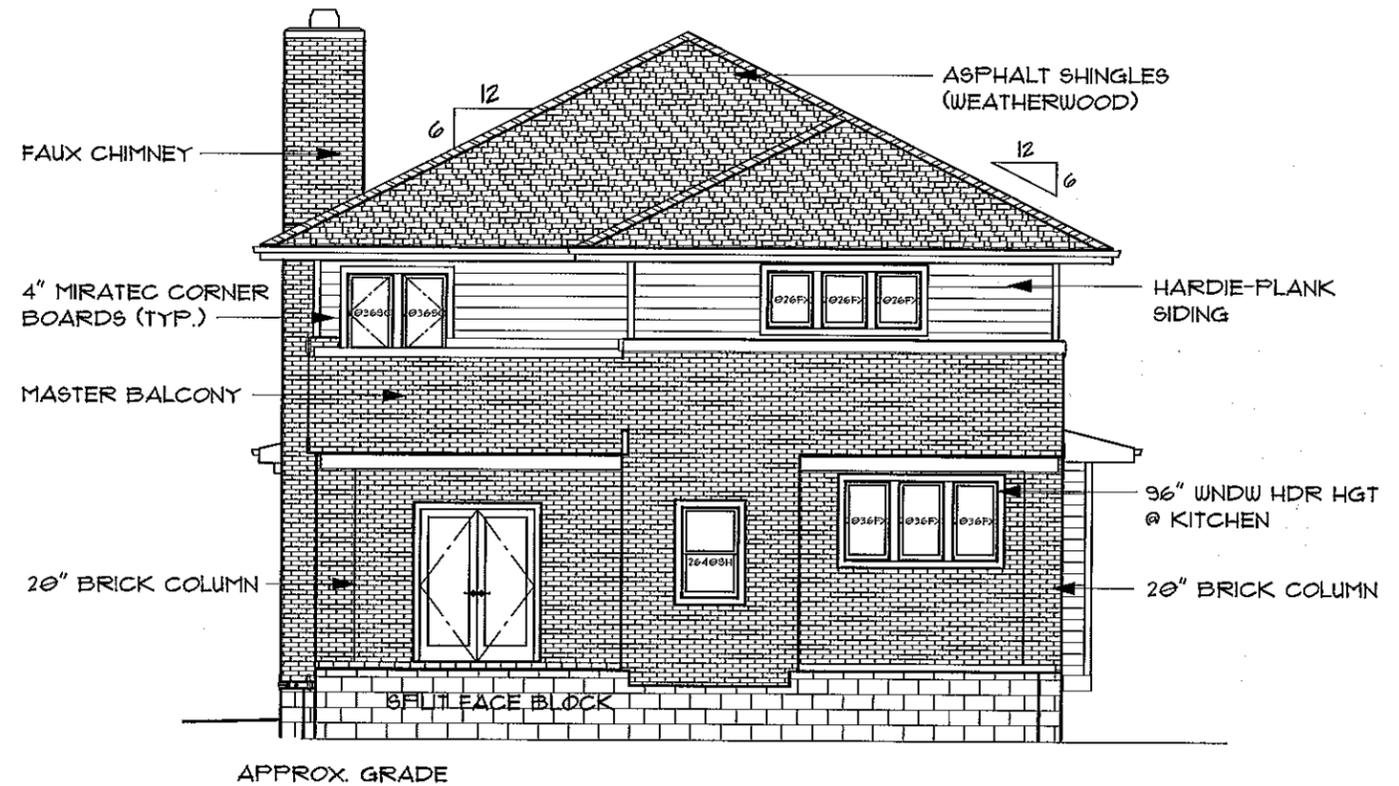
RIGID DEVELOPMENT LEVEL 1 SPEC

11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

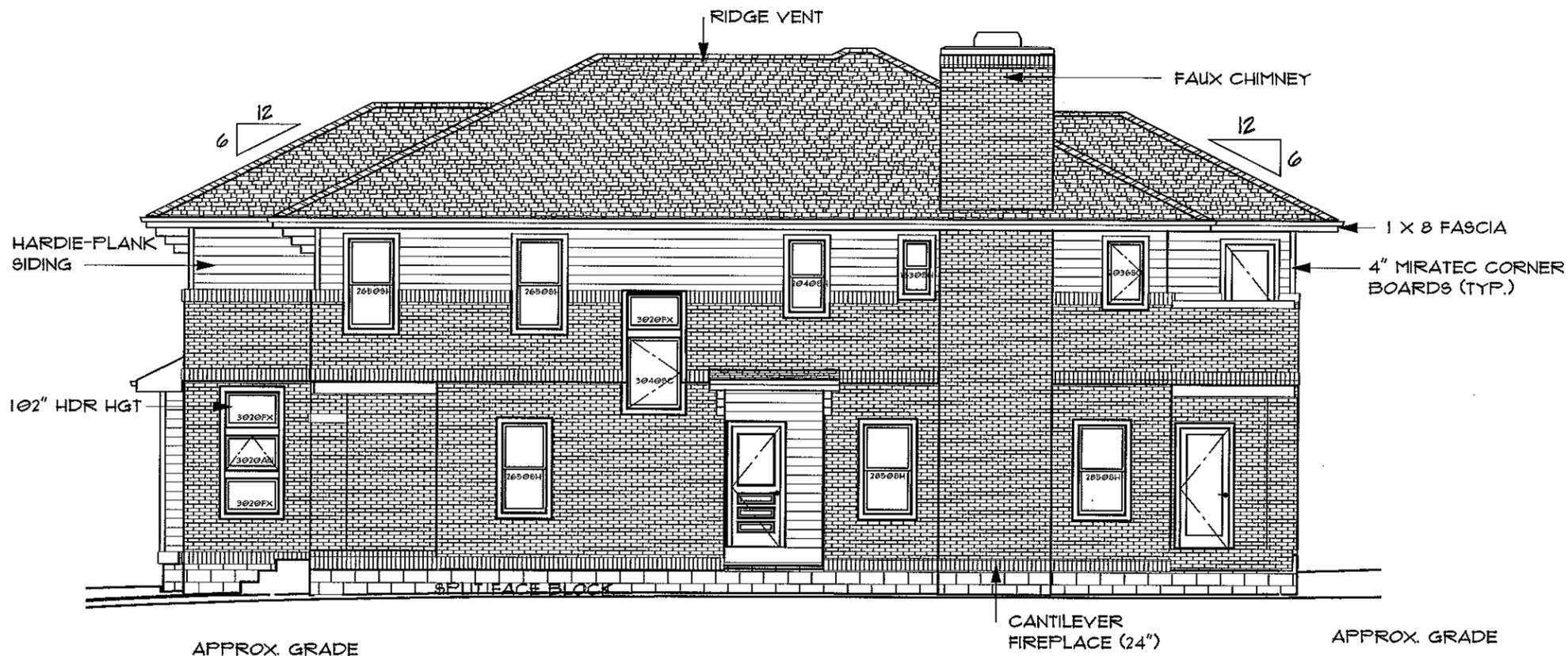
THE PRAIRIE BARTEAU
913 FATHERLAND



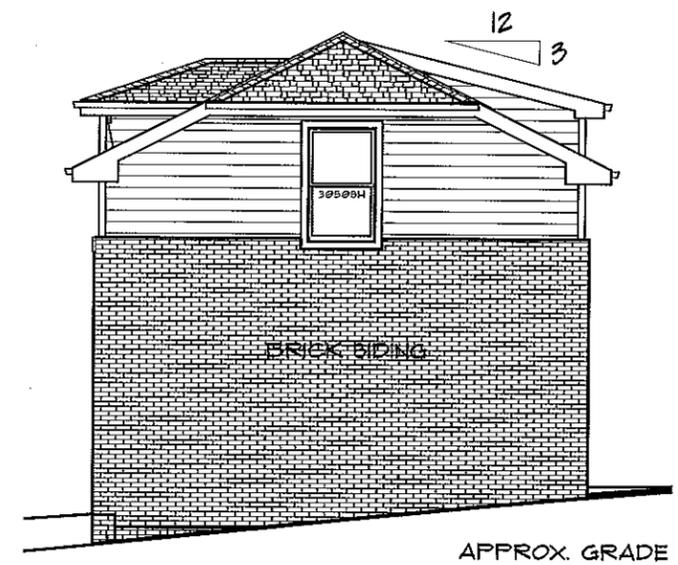
REAR ELEVATION
(SHOWN W/ DETACHED GARAGE)



REAR ELEVATION



RIGHT SIDE ELEVATION



TODAY'S DATE: 11 DEC 13	
ORIG. DATE: 12/11/13	THESE PLANS ARE PROTECTED FROM PLAGIARISM. ANY USE, REUSE, REPRODUCTION, OR USE FOR CONTRACTING OR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF RIGID DEVELOPMENT OR SANDI ADAMS WILL BE PROSECUTED.
MOP. DATES:	
DRAWN BY: SANDI	

PREPARED FOR: RIGID DEVELOPMENT LEVEL 1 SPEC

SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

HOUSE PLAN: THE PRAIRIE BARTEAU
SITE ADDRESS: 913 FATHERLAND

R
RIGID DEVELOPMENT

ELEVATIONS

SHEET NO.:
6 OF 6