



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 2008 19th Avenue South February 19, 2014

Application: New construction-addition to outbuilding and conversion to detached accessory dwelling unit

District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 10412019900

Applicant: Michael Ward, Allard Ward Architects

Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: The applicant proposes to construct an addition to an existing outbuilding and to convert the structure into a detached accessory dwelling unit.

Recommendation Summary: Staff recommends approval of the application with the following conditions:

1. The double and triple window openings have a four to six inch (4-6") mullion in between them;
2. Staff approve the metal roof color and all windows and doors prior to purchase and installation.

With these conditions, staff finds that the proposed project meets Section II.B.1.i. of the design guidelines and the standards for a detached accessory dwelling unit.

Attachments

A: Photographs

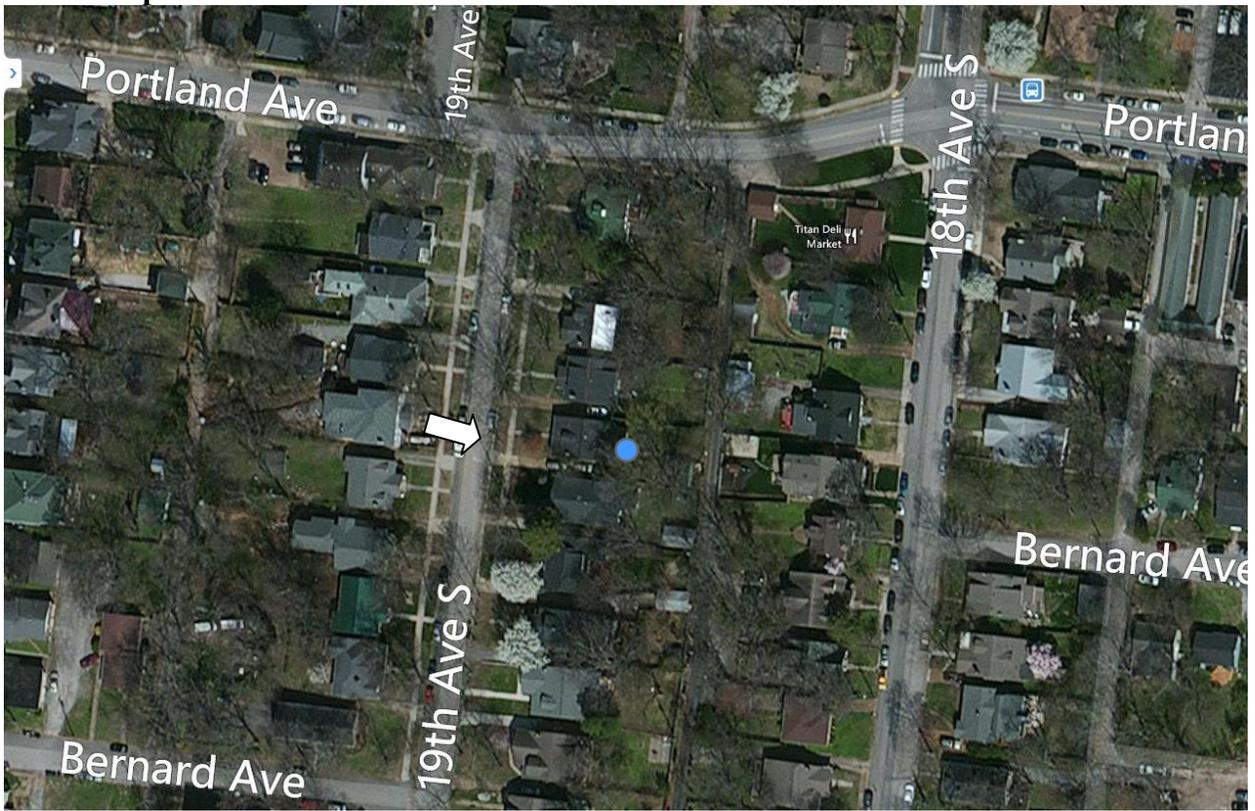
B: Site Plan

D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1.i. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

17.16.030. F. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
2. Density. A detached accessory dwelling is not allowed if the maximum number of dwelling units permitted for the lot has been met.
3. Ownership.

No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.

The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.

The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.

4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for Accessory buildings.

5. Site Requirements.

A detached accessory dwelling may only be located in the established rear yard. The detached accessory dwelling is to be subordinate to the principal structure and therefore shall be placed to the rear of the lot.

There shall be a minimum separation of ten (10) feet between the principal structure and the detached accessory dwelling.

6. Driveway Access.

On lots with no alley access, the lot shall have no more than one curb-cut from a public street for driveway access to the principal structure as well as the detached accessory dwelling.

Parking accessed from a public street shall be limited to one driveway for the lot with a maximum width of 12 feet.

If the detached accessory dwelling is part of a garage and an alley exists to the rear of the lot, the garage shall be alley loaded and no curb-cut provided from the front of the lot.

7. Bulk and Massing.

No accessory structure shall exceed 200 square feet when there is a detached accessory dwelling on the lot.

The living space of a detached accessory dwelling shall not exceed 700 square feet.

The footprint single-story detached accessory dwelling shall not exceed 700 square feet or 50% of the first floor area of the principal structure, whichever is less.

The footprint of a two-story detached accessory dwelling shall not exceed 550 square feet or 40% of the first floor area of the principal structure, whichever is less.

One partial-width, open porch, that is six feet deep or less, is not included in the footprint calculation.

The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of 10 feet for single-story and 17 feet for two-story detached accessory dwellings.

The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed 25 feet in height.

8. Design Standards.

Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rated per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.

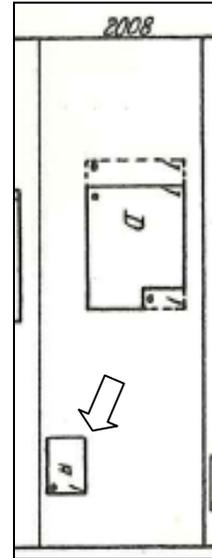
The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roof slope by covering no more than 50% of the roof.

Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

Background: The primary structure at 2008 19th Avenue South is a one-story frame bungalow constructed c. 1915 (Figure 1). It is a contributing structure to the Belmont-Hillsboro Neighborhood National Register district. The date of the existing outbuilding is unknown. It does not appear to be the same structure that appears on the 1957-61 Sanborn map, and the structure does not contribute to the historic character of the site or district (Figure 2 & 3).



Figure 1. 2008 19th Avenue South with the existing accessory structure marked with an arrow.



Figures 2 & 3. The existing outbuilding does not match the dimensions of the outbuilding shown on the 1957-61 Sanborn map. The outbuilding is non-contributing.

Analysis and Findings: The applicant proposes to build an addition to an existing outbuilding and to convert the structure into a detached accessory dwelling unit (DADU). The location, design and materials meet the design guidelines. Staff finds the proposed structure compatible with the context.

Lot Area. 2008 19th Avenue South is zoned R8 and has a lot that is approximately seven thousand, nine hundred and twenty square feet (7,920 sq. ft.). The primary structure on the lot has a footprint of approximately one thousand, nine hundred and twenty square feet (1,920 sq. ft.), and the proposed outbuilding will be approximately six hundred and eighty-one square feet (681 sq. ft.), which includes a covered porch. The total lot coverage is approximately two thousand, six hundred and one square feet (2601 sq. ft.) or about thirty-three percent (33%). Bulk zoning allows for lot coverage of up to forty-five percent (45%), and therefore the proposed lot area meets Standard 1 of the Detached Accessory Dwelling Unit regulations.

Density. The R8 zone allows for two dwelling units. Currently, there is one dwelling unit on the site in the primary structure. Adding the proposed outbuilding would result in two dwelling units, which meets the zoning. Therefore the density of the site meets Standard 2 of the Detached Accessory Dwelling Unit regulations.

Ownership. The owner of the property filed a restrictive covenant stating that he lives in the primary structure and acknowledging that he cannot separate ownership of the primary structure and the detached accessory dwelling unit. The project therefore meets Standard 3 of the Detached Accessory Dwelling Unit regulations.

Setbacks. The proposed accessory structure meets all base zoning setbacks. It is three feet, eight and a half inches (3'8.5") from the right side property line, three feet (3') from the rear property line, and over thirty feet (30') from the left side property line. The

structure therefore meets Standard 4 of the Detached Accessory Dwelling Unit regulations.

Site Requirements. The detached accessory dwelling unit is located in the rear yard of the primary structure at 2008 19th Avenue South. There will be approximately twenty-seven feet (27') between the primary residence and the accessory structure. The structure therefore meets Standard 5 of the Detached Accessory Dwelling Unit regulations.

Driveway Access. The existing accessory structure is a garage accessed via an existing curb cut and driveway on 19th Avenue South. The site does have alley access. The expanded accessory structure will not contain a garage. The project therefore meets Standard 6 of the Detached Accessory Dwelling Unit regulations.

Bulk and Massing. The accessory structure is one story tall. Its footprint is approximately six hundred and eighty-one square feet (681 sq. ft.), which includes a covered porch and which is less than the maximum footprint of seven hundred square feet (700 sq. ft.) for one-story structures. The ridge height is approximately sixteen feet, seven and a half inches (16'7.5") from grade and the eave height is approximately nine feet, two inches (9'2") from grade. These are both subordinate to the historic house and are under the maximums allowed by the standards. The structure meets Standard 7 of the Detached Accessory Dwelling Unit regulations.

Design Standards. The accessory structure has a simple, utilitarian design that is appropriate for outbuildings. Its roof form, detailing, and form do not contrast greatly with the primary structure. Its roof form is a gable with an 8/12 pitch, and the roof does not contain any dormers. The fenestration pattern is appropriate for an outbuilding, except that the double and triple windows should have a four to six inch (4-6") mullion in between them. With the addition of four to six inch (4-6") mullions, the structure meets Standard 8 of the Detached Accessory Dwelling Unit regulations and Section II.B.1.i. of the design guidelines

Materials: The foundation is a concrete slab. The roof will be standing seam metal; Staff asks to approve the roof color. The cladding material will be cement fiberboard lap siding with cement fiberboard trim. The materials for the windows and doors were not specified, and staff asks to approve the windows and doors prior to purchase. Staff finds that the known materials meet section II.B.1.i. of the design guidelines.

Recommendation Summary: Staff recommends approval of the application with the following conditions:

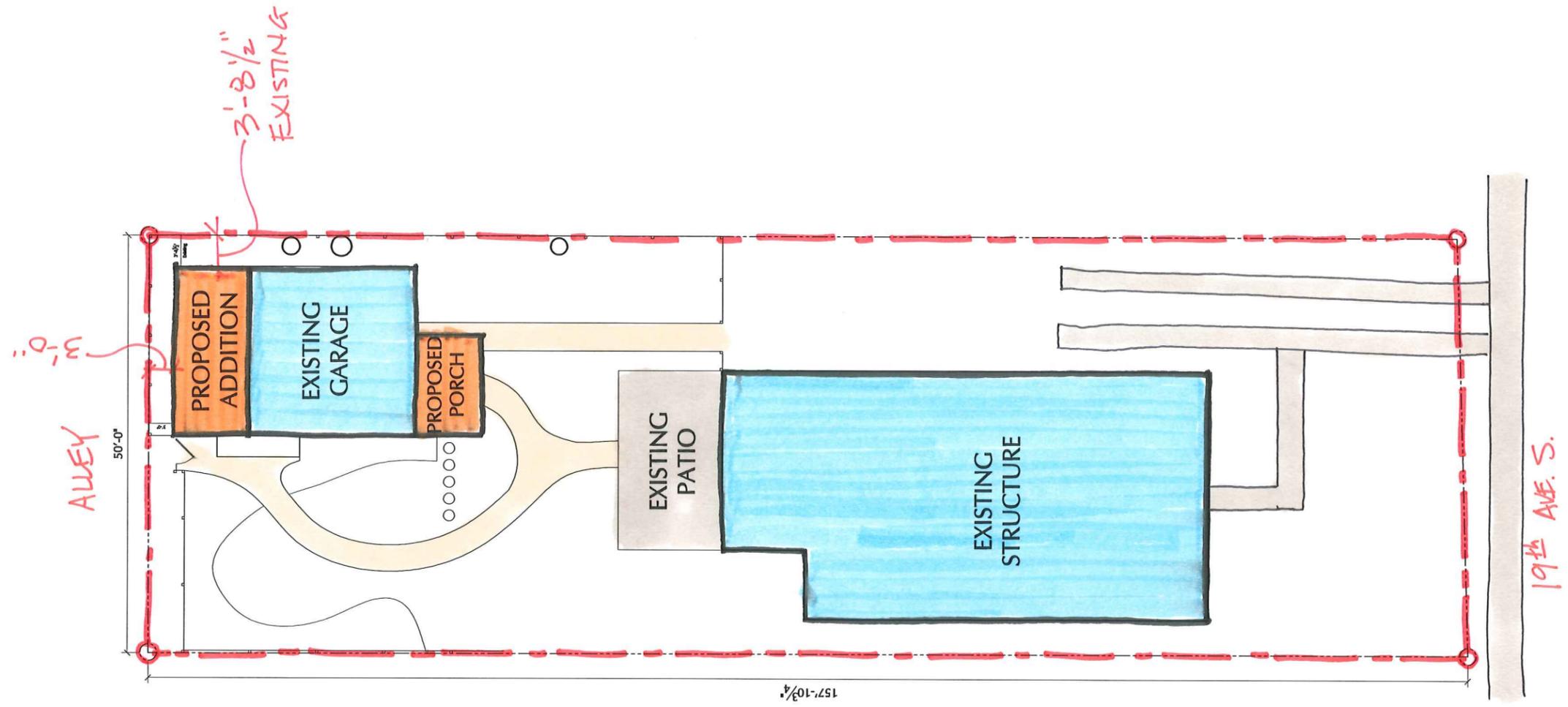
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Additional photos of accessory structure from the alley



Existing: 402 s.f.
 Proposed: 585 s.f.



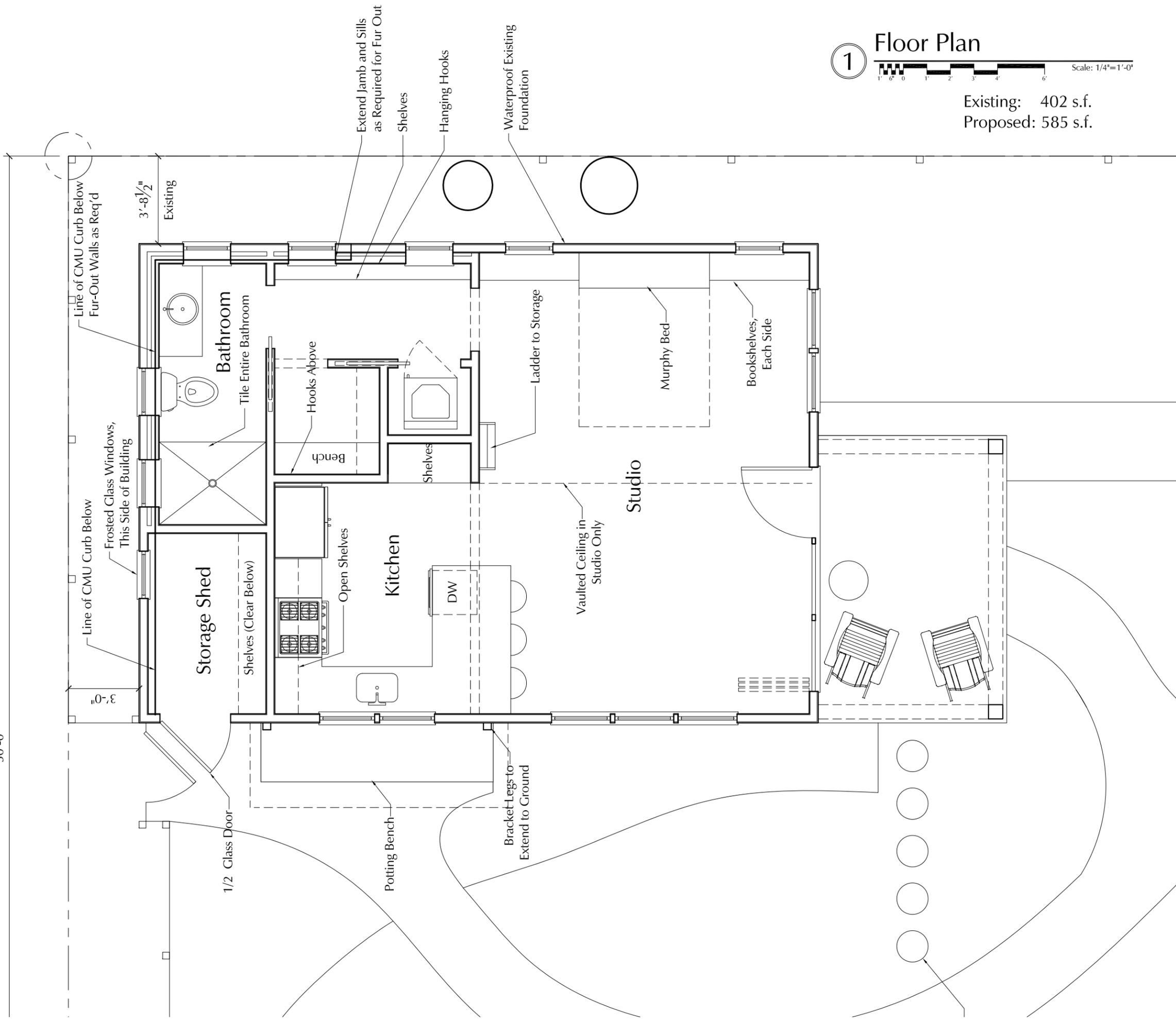
Additions and Renovations to:

The Johnson Residence

2008 19th Avenue South
 Nashville, TN 37212

A.A.
ALLARD WARD ARCHITECTS LLC
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 allardward.com
 Tel: 615.345.1010
 Fax: 615.345.1011

50'-0"



1

Floor Plan



Existing: 402 s.f.
Proposed: 585 s.f.

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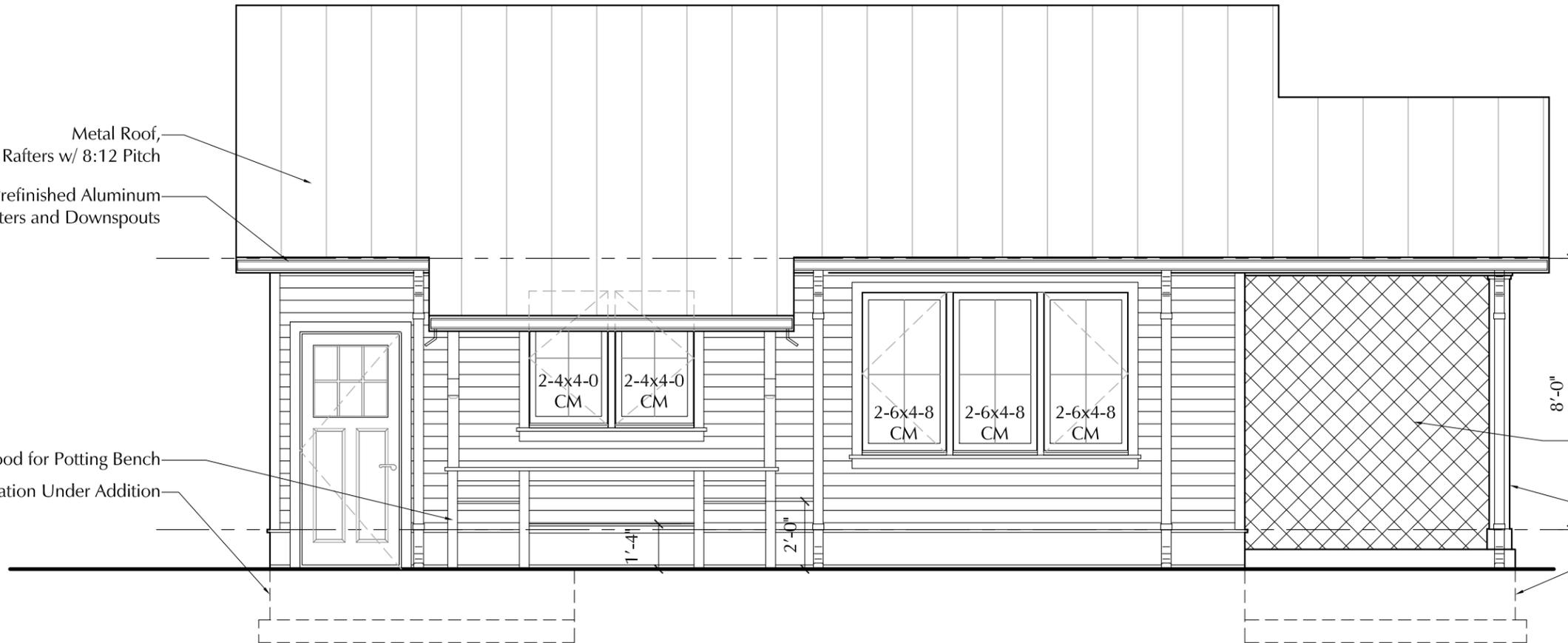
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2008 19th Avenue South
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Metal Roof,
Re-frame Rafters w/ 8:12 Pitch
Prefinished Aluminum
Gutters and Downspouts

Treated Wood for Potting Bench
New Foundation Under Addition



Lattice for Vine Plants
Painted 1x Box Column
New Foundation Under Porch

1 North Elevation
Scale: 1/4"=1'-0"

Prefinished Aluminum
Gutters and Downspouts
Lattice for Vine Plants

New Foundation
Under Addition



Hardi Siding, Painted
New Foundation Under Porch

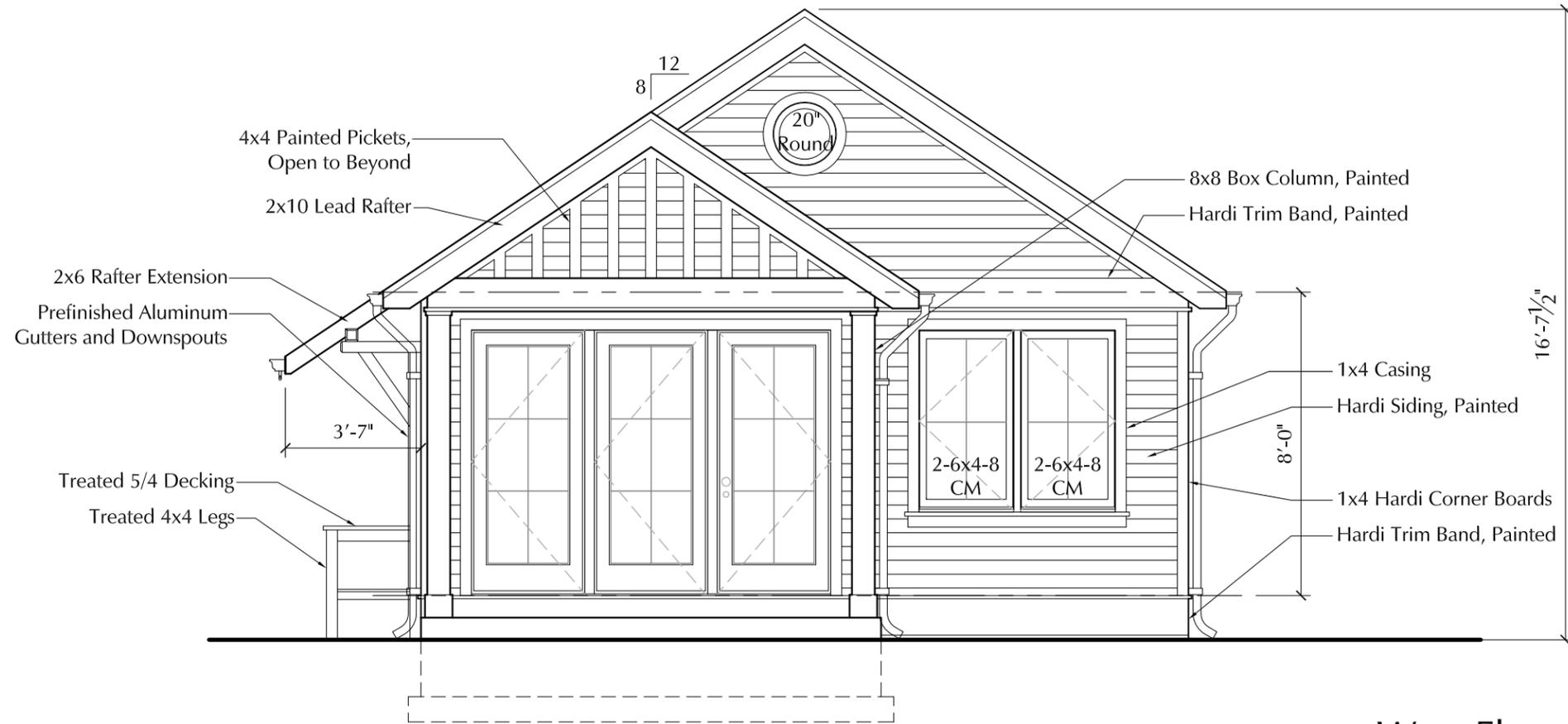
2 South Elevation
Scale: 1/4"=1'-0"

Additions and Renovations to:

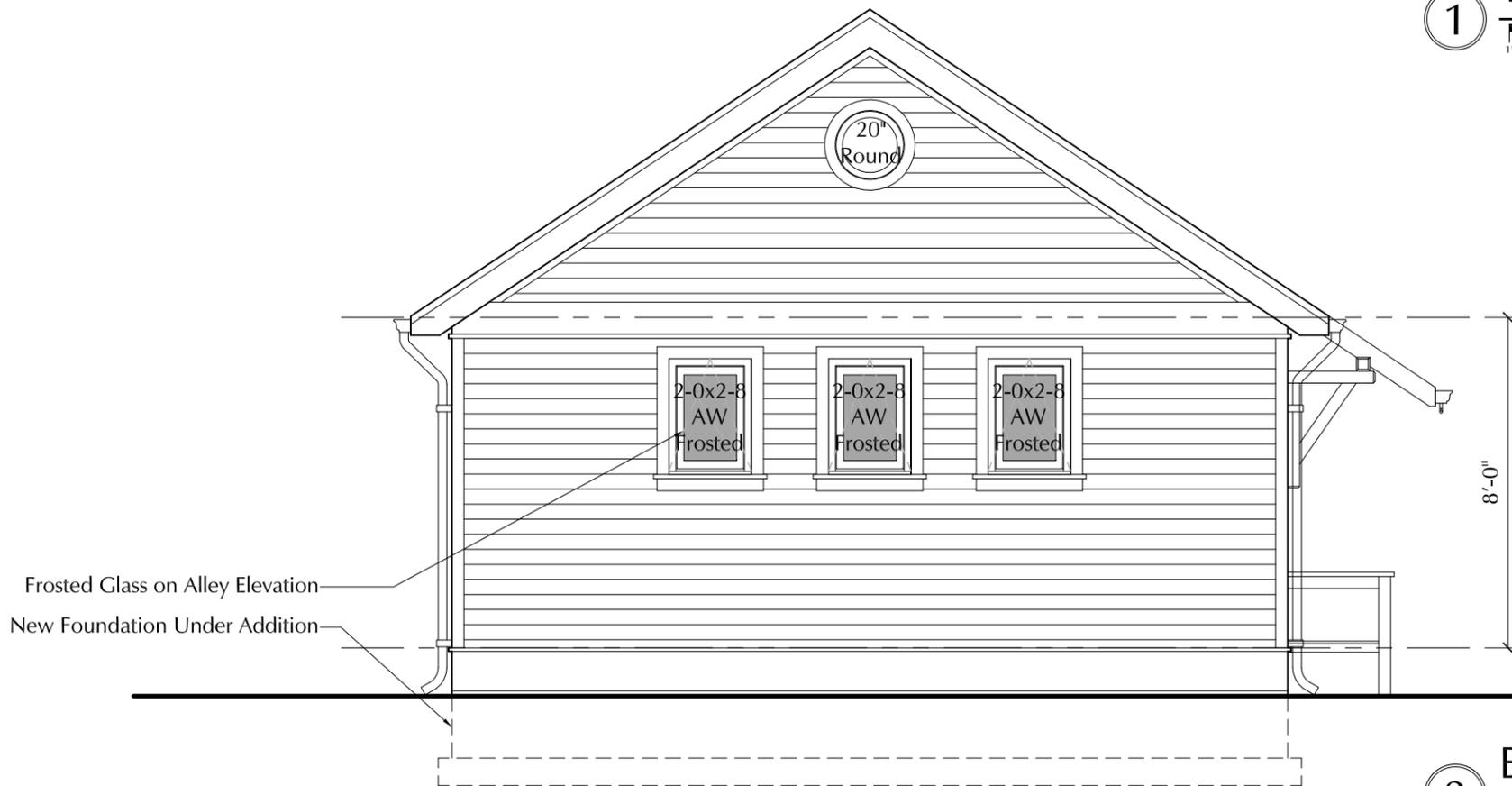
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1 West Elevation
 Scale: 1/4"=1'-0"



2 East Elevation
 Scale: 1/4"=1'-0"

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