



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
618 Fatherland Street
February 19, 2014

Application: New construction-outbuilding; Detached accessory dwelling unit
District: Edgefield Historic Preservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08216023200
Applicant: Aaron Brown, Contractor
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant is proposing to construct a new outbuilding in the rear yard. The building will have utilities and fixtures that allow it to be used as a secondary residence.</p> <p>Recommendation Summary: Staff recommends approval of the application to construct a new Detached Accessory Dwelling Unit. Staff finds that the building will meet the applicable design guidelines for outbuildings in the Edgefield Historic Preservation Zoning Overlay and the Standards for Detached Accessory Dwelling Units.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- a. Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.

Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals. The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.

h. Outbuildings:

- 1) A new outbuilding should reflect the character of outbuildings contemporary with the associated house. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof form and architectural features of the associated house. Generally, either approach is appropriate for new outbuildings. Stone, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim).

Generally, the minimum roof pitch appropriate for outbuildings is 12:4; a steeper pitch is usually better. Raised panels on publicly visible garage doors are not appropriate.

Publicly visible pedestrian doors should either relate to the style of the associated house or be flush. Publicly visible windows should relate to the style of the associated house.

- 2) Outbuildings should be situated on the lot as is historically typical for the neighborhood.

Although historic outbuildings are usually located as near to a rear corner of a parcel as possible, the current building code requires deeper setbacks from the side and rear property lines. Variances to the codes standard can be requested from the Board of Zoning Appeals with the support of the MHZC.

IV.B.1 Fences

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards and can be up to 6' in height.
A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.
- d. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is publicly visible, it should be camouflaged with plantings, or painted black or dark green.
- e. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

IV.B.2 Permanent Built Landscape Features

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

17.16.030. F. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
2. Density. A detached accessory dwelling is not allowed if the maximum number of dwelling units permitted for the lot has been met.
3. Ownership.
 - a. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.
 - b. The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.
 - c. The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for Accessory buildings.
5. Site Requirements.
 - a. A detached accessory dwelling may only be located in the established rear yard. The detached accessory dwelling is to be subordinate to the principal structure and therefore shall be placed to the rear of the lot.
 - b. There shall be a minimum separation of ten (10) feet between the principal structure and the detached accessory dwelling.
6. Driveway Access.
 - a. On lots with no alley access, the lot shall have no more than one curb-cut from a public street for driveway access to the principal structure as well as the detached accessory dwelling.
 - b. Parking accessed from a public street shall be limited to one driveway for the lot with a maximum width of 12 feet.
 - c. If the detached accessory dwelling is part of a garage and an alley exists to the rear of the lot, the garage shall be alley loaded and no curb-cut provided from the front of the lot.

7. Bulk and Massing.

- a. No accessory structure shall exceed 200 square feet when there is a detached accessory dwelling on the lot.
- b. The living space of a detached accessory dwelling shall not exceed 700 square feet.
 - i. The footprint single-story detached accessory dwelling shall not exceed 700 square feet or 50% of the first floor area of the principal structure, whichever is less.
- c. The footprint of a two-story detached accessory dwelling shall not exceed 550 square feet or 40% of the first floor area of the principal structure, whichever is less.
- d. *One partial-width, open porch, that is six feet deep or less, is not included in the footprint calculation.*
- e. The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of 10 feet for single-story and 17 feet for two-story detached accessory dwellings.
- f. The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed 25 feet in height.

8. Design Standards.

- a. Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rated per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.
- b. The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- c. The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roof slope by covering no more than 50% of the roof.
- d. Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

Background: There is a one and one-half story house at 618 Fatherland Street, constructed circa 1925.

Analysis and Findings: The applicant is proposing to construct a one-story outbuilding behind the house. The building will be equipped with utilities and fixtures that allow it to be used as a Detached Accessory Dwelling Unit (DADU). The owner has filed the requisite restrictive covenant with the Register of Deeds.

Height, Scale, Building Shape

The DADU Standards permit one-story structures to be twenty-five feet (25') tall and to have an eave height of ten feet (10') from grade. The new building will be one story tall, with a ridge height of twenty feet, six inches (20'-6") and an eave height of ten feet (10'). By comparison, the existing house is twenty-three feet (23') tall. There will be a one foot, nine-inch (1'-9") tall exposed brick foundation.

The DADU Standards permit structures to have a footprint and living space of up to seven hundred square feet (700 sf) with a partial width porch not counted against that maximum area. The new building will be a side-gabled bungalow with a nearly square footprint: twenty-five feet (25') wide at the front and twenty-seven feet (27') deep, for a footprint size of six hundred, seventy-five square feet (675') sf.

The height and scale are subordinate to the primary building and are compatible historic outbuildings. Staff finds that the building meets guidelines III.B.2.b, as well as section 7.b of the DADU Standards.

Setbacks, Orientation

The DADU Standards require structures to be behind the primary building with at least ten feet (10') of separation, and to meet the setback requirements of the base zoning. The new outbuilding will be located behind the primary building, five feet (5') from the left side property line and twenty-two feet (22') from the right. These side setbacks meet guideline III.B.2.a. The building will be twenty-five feet (25') from the rear of the house and thirty-five feet (35') from the rear property line. The rear thirty feet (30') of the lot is currently a parking pad accessed from the alley, as there is no curb cut or driveway from the street. These setbacks meet the base zoning requirements.

Staff finds that the building will meet guideline III.2.h.2 and section 5.a of the DADU Standards.

Roof Shape

The roof of the building will be a side-oriented gable with a pitch of 8:12. The building will have a small front-projecting gable over the door, with the same pitch. These roofs are compatible with other roofs in the neighborhood and meet guideline III.B.2.d.

Proportion and Rhythm of Openings:

The windows on the proposed outbuilding are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall

space on the front or side elevations without a window or door opening. Staff finds the project's proportion and rhythm of openings meet guideline III.B.2.f.

Materials, Texture, and Details and Material Color:

The primarily exterior material of the new outbuilding will be smooth-faced cement fiberboard with a five inch (5") reveal. The cornerboards, window casings, and other trim will be cement-fiberboard as well, with wooden gable vents and brackets supporting the porch roof. The foundation will be brick-to-grade, and the roof will be architectural fiberglass shingles in a brown color to match the existing roof. The front door will be wood and the windows will be aluminum-clad wood.

Staff finds that the known materials meet guidelines III.B.2.g.

Appurtenances & Utilities:

The location of the HVAC will be located on the left side of the outbuilding,

Recommendation:

Staff recommends approval of the application to construct a new Detached Accessory Dwelling Unit. Staff finds that the building will meet the applicable design guidelines for outbuildings in the Edgefield Historic Preservation Zoning Overlay and the Standards for Detached Accessory Dwelling Units.



618 Fatherland Street, front.



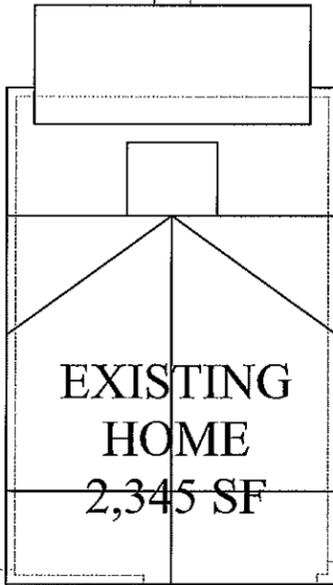
618 Fatherland Street, rear yard.

FATHERLAND STREET

PARCEL: 08216023100
OWNER: MANDY L. YOW &
ALLETLE L. VAYDA

PARCEL: 08216023200
OWNER: ELLEN WARSHAW

PARCEL: 08216023300
OWNER: WILLIAM P. & MELISSA
E. HOLDEN



NEW SHRUBS
EXISTING GRAVEL WALK
EXISTING TRELLIS
EXISTING FENCE

CONCRETE WALK
STAMPED CONCRETE TERRACE
LANDSCAPE AREA
RELOCATED WEEPING
CHERRY TREE

HVAC

REQ'D: 3'-0"
ACTUAL: 35'-3"

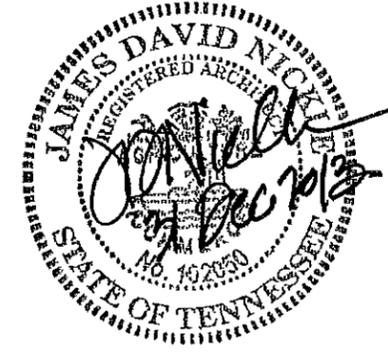
4 EXISTING PARKING SPOTS

REQ'D:
3'-0"
ACTUAL:
5'-0"

NEW SLIDING GATE

REQ'D: 10'-0"
ACTUAL: 25'-0"

ALLEY



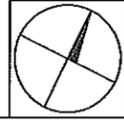
INFORM
SMALLWOOD + NICKLE LLC

WARSHAW RESIDENCE
618 FATHERLAND STREET, NASHVILLE, TN

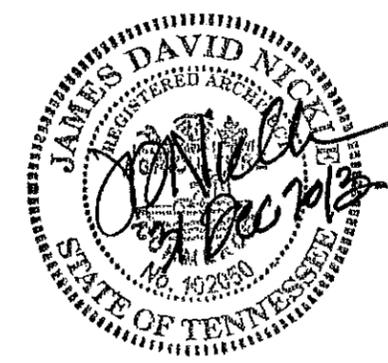
ISSUED 07 JAN 2014
PROJECT # 13047

A-REF
1.1

SITE LAYOUT PLAN



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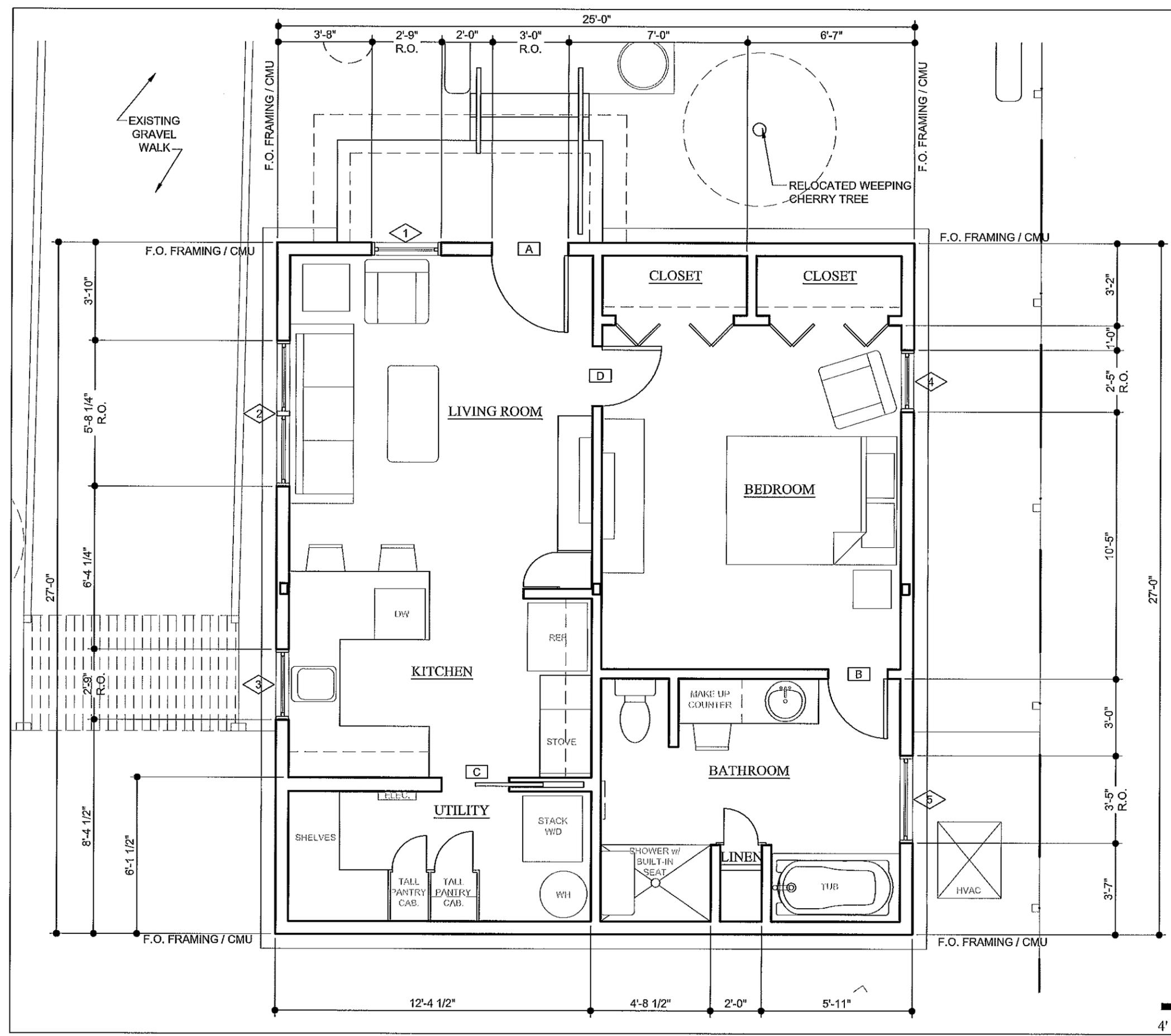
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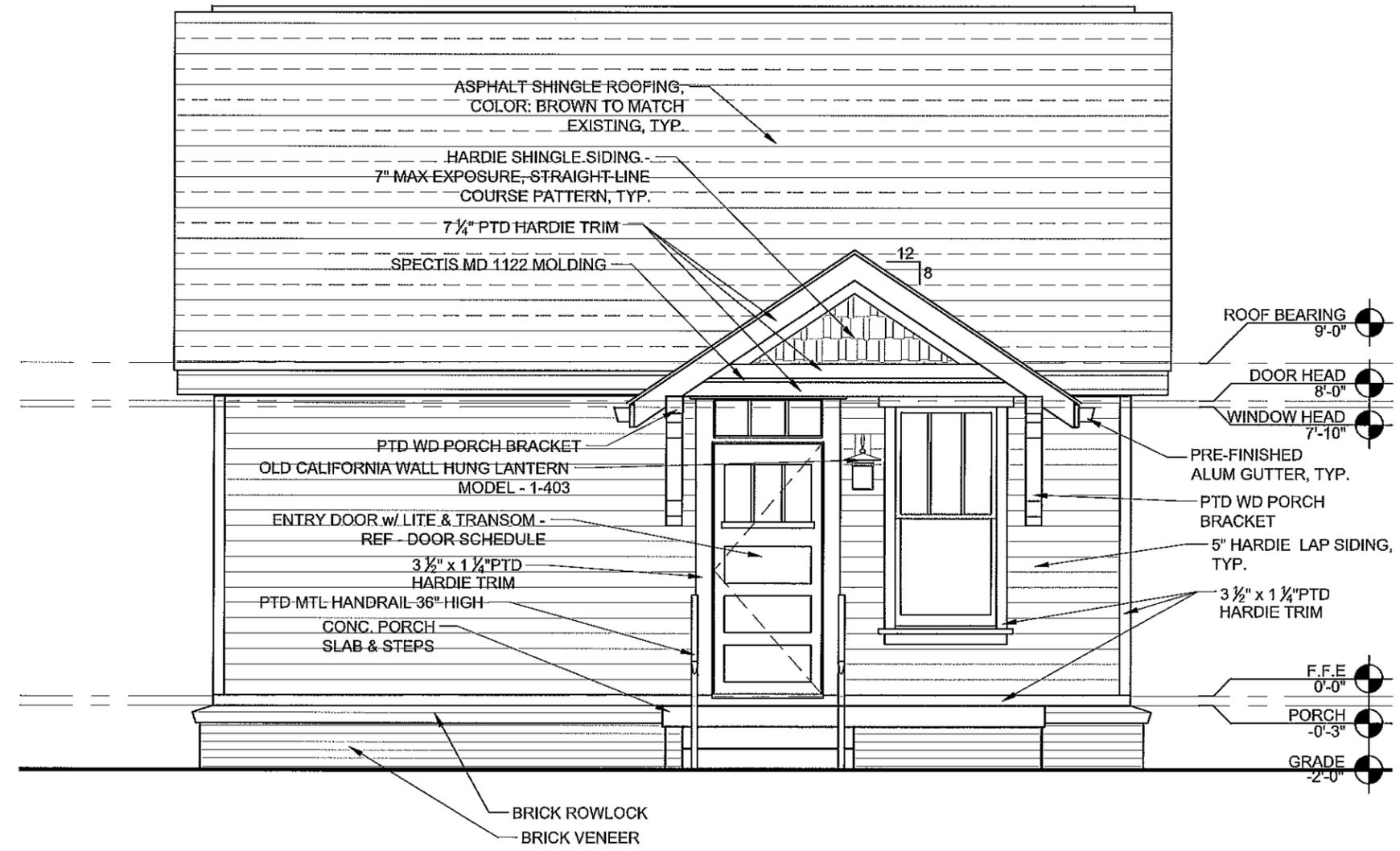
FLOOR PLAN



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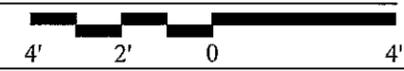


WARSHAW RESIDENCE
618 FATHERLAND STREET, NASHVILLE, TN

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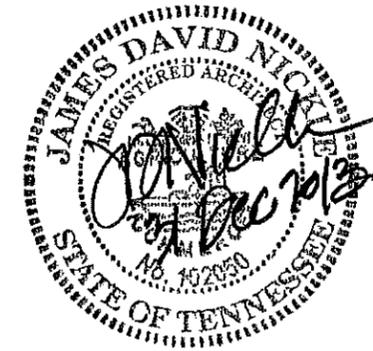
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FRONT ELEVATION

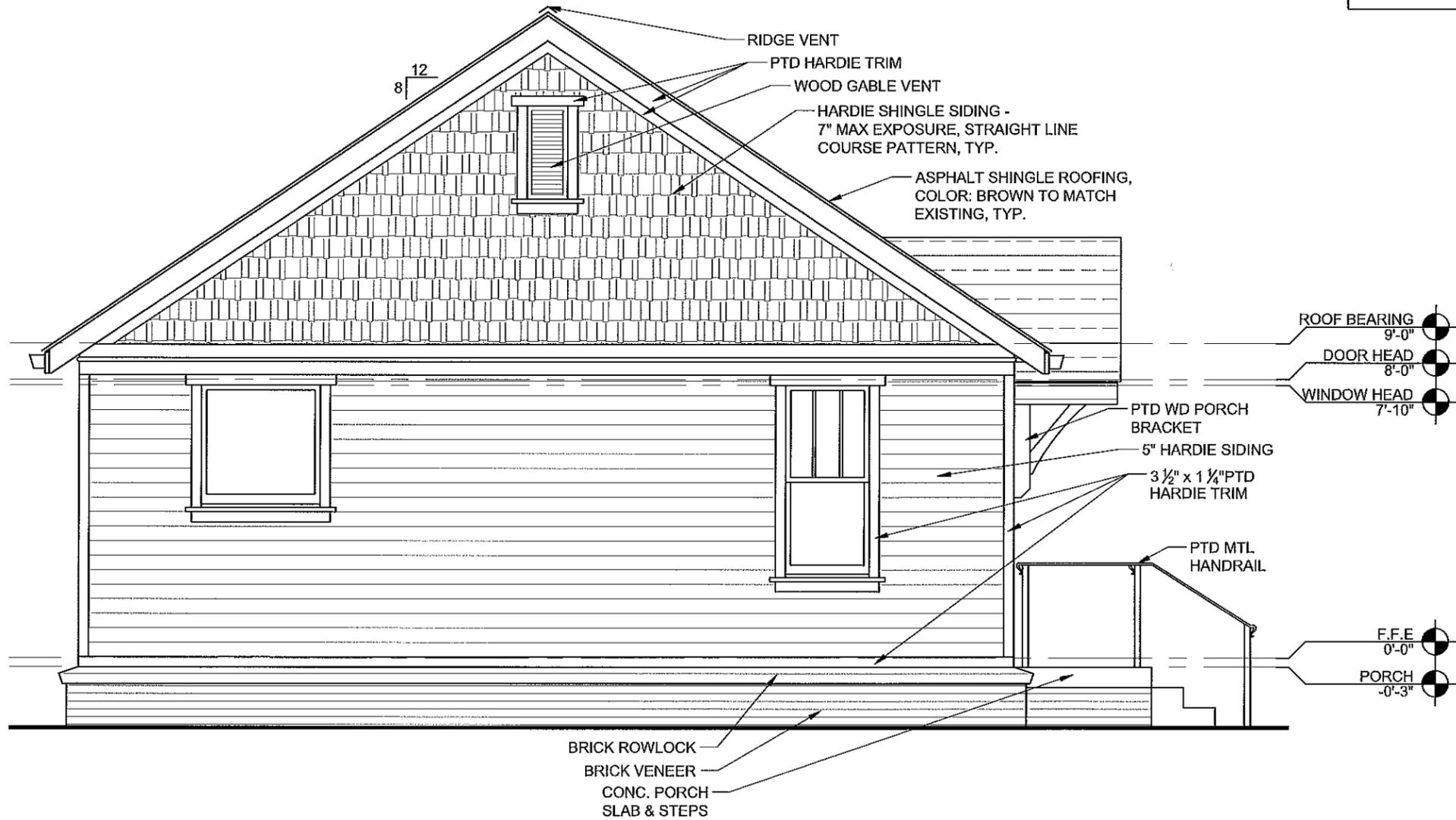


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LEFT ELEVATION



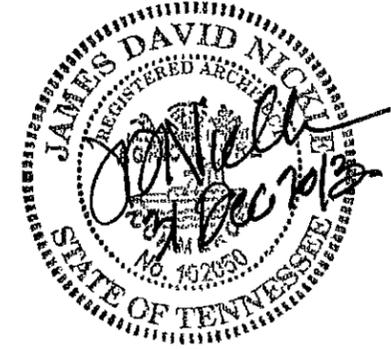
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WARSHAW RESIDENCE
618 FATHERLAND STREET, NASHVILLE, TN

ISSUED PROJECT # 07 JAN 2014 13047

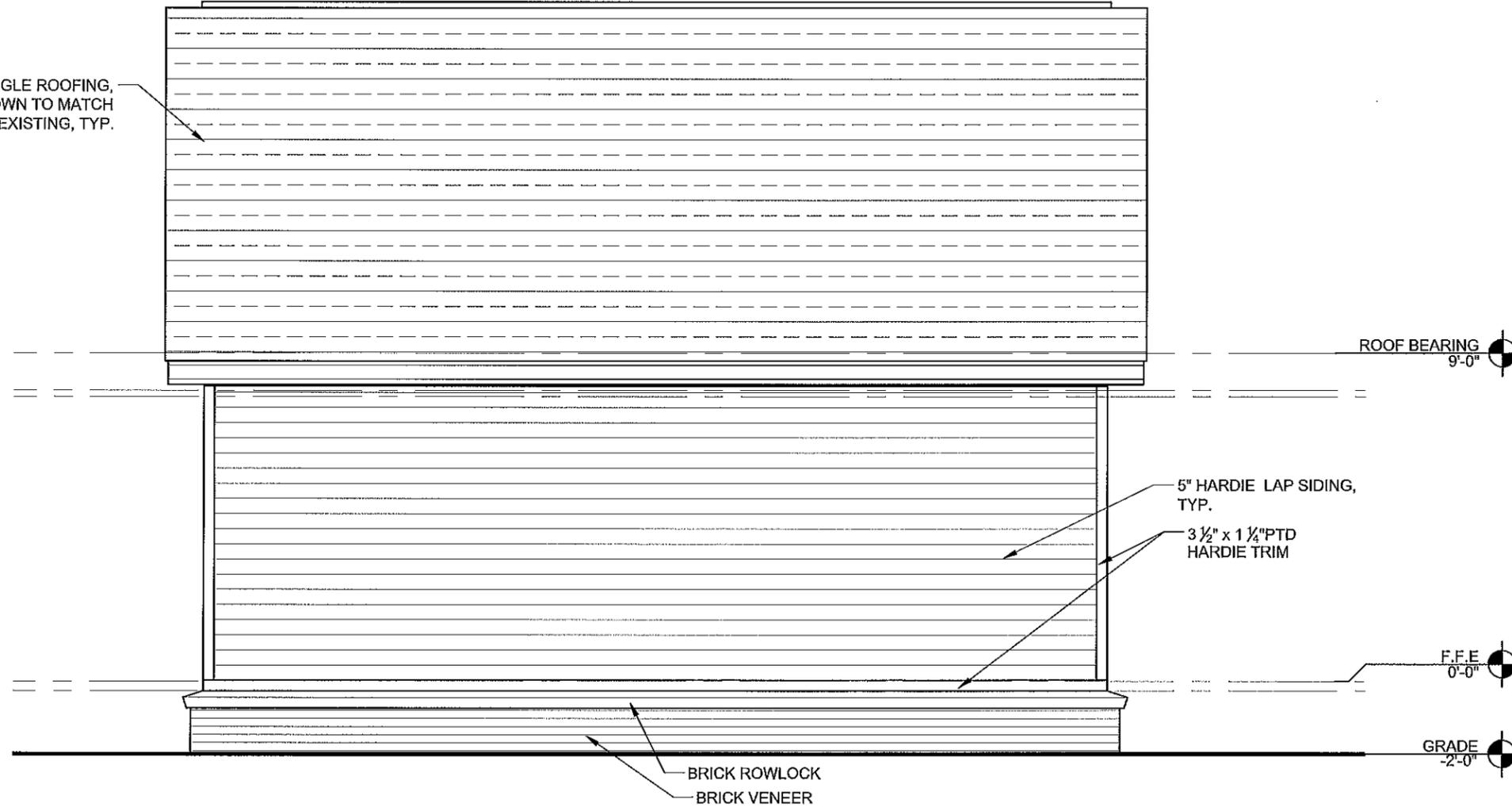
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ASPHALT SHINGLE ROOFING,
COLOR: BROWN TO MATCH
EXISTING, TYP.



REAR ELEVATION



1

WARSHAW RESIDENCE
618 FATHERLAND STREET, NASHVILLE, TN

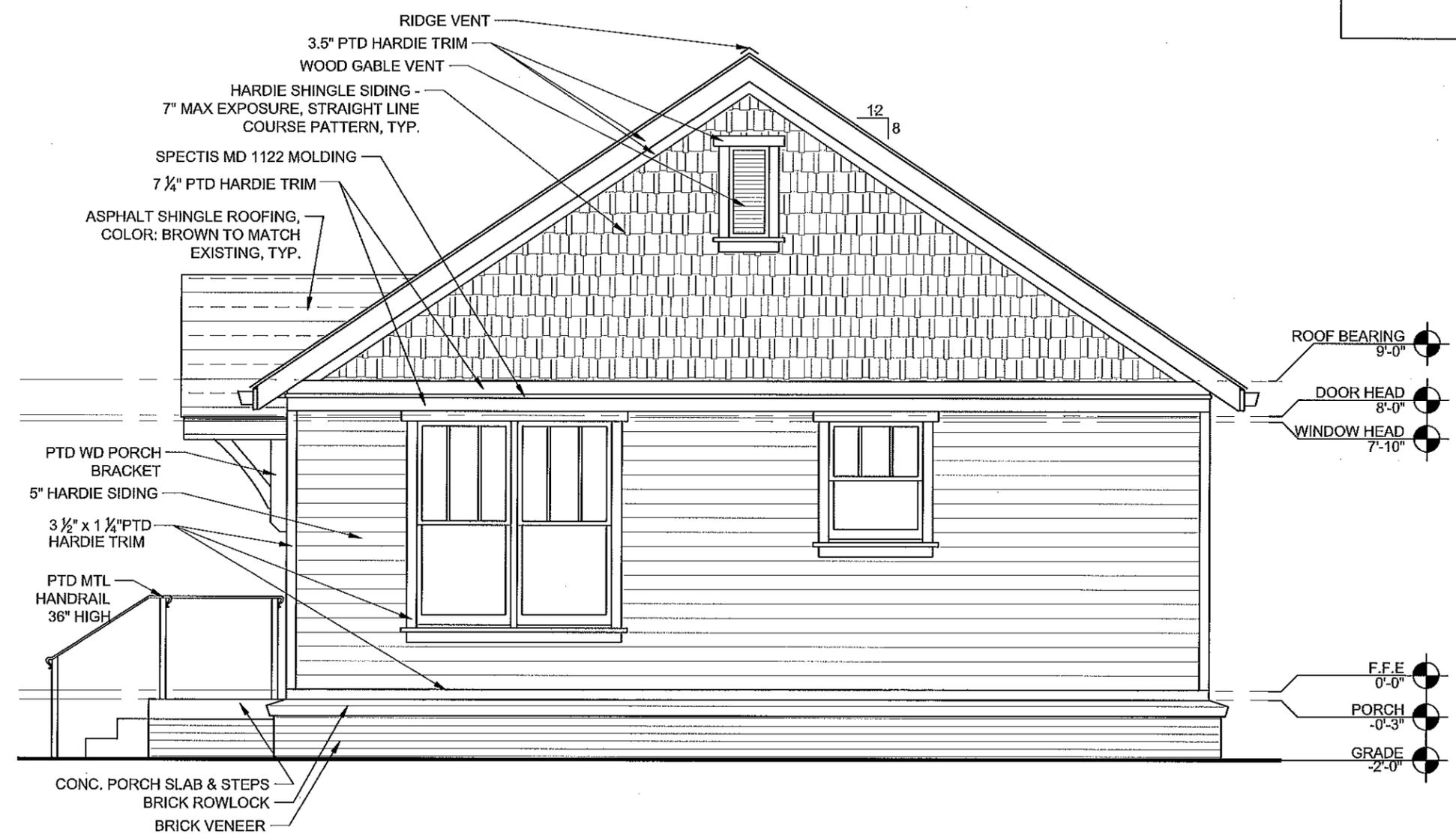
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RIGHT ELEVATION



1

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