



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION

**814 Boscobel Street
February 19, 2014**

Application: Alterations-windows and materials; New construction-addition

District: Edgefield Historic Preservation Zoning Overlay

Council District: 06

Map and Parcel Number: 08216034100

Applicant: Preston Quirk, Architect

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to replace windows and siding on the existing house, and to build a one and one-half story rear addition.

Recommendation Summary: Staff recommends approval of the proposed addition with the conditions that:

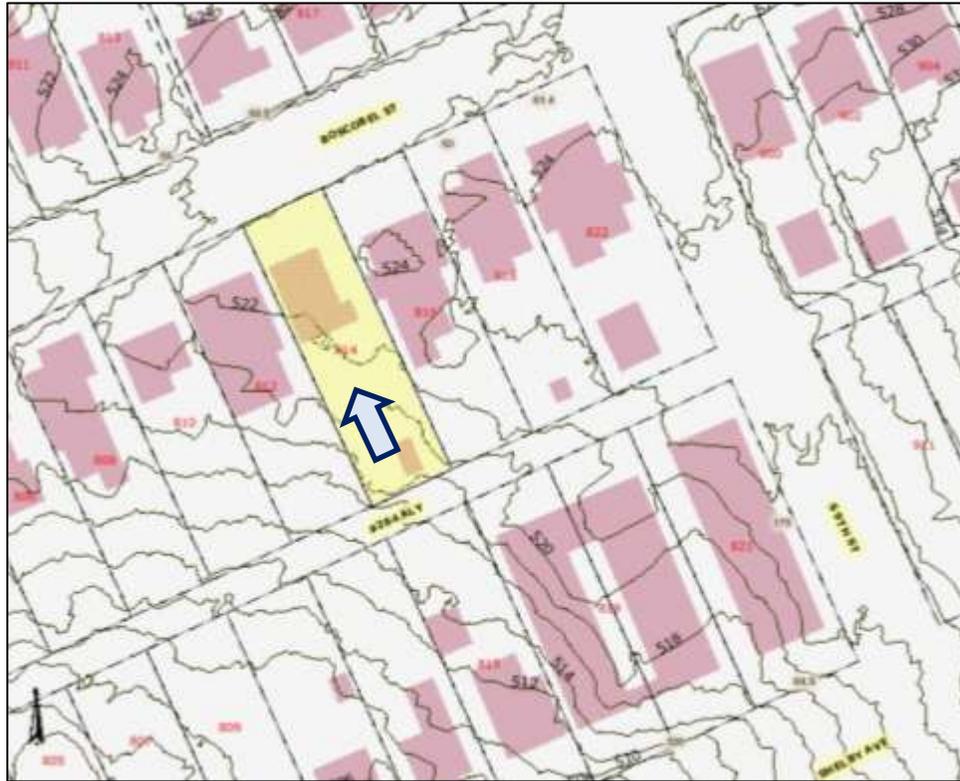
- The eaves of the dormers are lowered to the height of the ridge of the roof or lower;
- The original windows on the historic house are retained;
- The original wood siding on the historic house is retained, and that new siding is distinguished from the historic materials;
- The asphalt-shingle siding on the historic house is replaced in-kind;
- Staff approves the doors, windows, brick, roof color, paving, walls and fences, and any other exterior materials prior to selection.

Meeting those conditions, staff finds that the proposal meets the applicable sections of the Edgefield Historic Preservation Zoning Overlay Design Guidelines.

Attachments

- A:** Photographs
- B:** Site Plan
- C:** Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.3 Windows

- a. Original details, size, shape, number and arrangement of panes, and all other visual characteristics should be retained.
- b. Where replacement is necessary, new windows should match the design, dimension, details, and all other visual characteristics of the original windows.
- c. Original window openings should not be filled in.
- d. "Blind stop" storm windows, painted or anodized, are appropriate. Raw aluminum storm windows are not appropriate.
- e. Shutters, unless original to the building, should not be added. Where replacement is appropriate, new shutters should match the design, dimension, location, and other visual characteristics of the originals.
- f. Generally, security bars and grilles are not appropriate.
- g. Awnings should be appropriate to the style of the building.

II.B.4 Doors

- a. The original size and shape of door openings, transoms, sidelights, and doors should be retained.
- b. Where replacement is necessary, new doors should match the design, details, dimension, material and other visual characteristics of the originals.
- d. Original door openings should not be filled in.
- e. Generally, new door openings should not be introduced.
- f. Full-view storm doors, painted or anodized, are appropriate. New, plain wood screen doors should be appropriate to the style of the house.
- g. On front doors, full-view, painted or anodized security doors are appropriate. On other publicly visible doors, full-view or glazing proportionate, painted or anodized security doors are appropriate. Raw aluminum security doors are not appropriate.
- h. Generally, security bars and grilles are not appropriate.
Door elements may include, but are not limited to, panels, casings (trim), transoms, side lights, and number and configuration of lights (window panes).

II.B.5 Materials

- a. Original building materials should be retained.
- b. Where replacement is necessary, new materials should match the design, dimension, detail, and all other visual characteristics of the originals, based on physical or historical documentation.
- c. Masonry
 - 1) Mortar for re-pointing should match original color, joint width, depth, and tooling profile.
 - 2) Cleaning of masonry should be done with the gentlest means possible. Sandblasting causes severe damage to brick, stone, and mortar, and is not appropriate.
 - 3) Generally, the use of paint, stain, water repellent, or any other type of coating on brick is not appropriate.
 - 4) Previously unpainted stone should not be painted. Waterproof coatings shall not be used.
- d. Wood
 - 1) Original wood siding and wall shingles should be retained.
 - 2) Where replacement is necessary, new wood siding or shingles should match the dimension, profile, course width, texture, orientation, and all other visual characteristics of the original material.
Hardboard (Masonite) siding is not approved for use on historic buildings.
 - 3) Aluminum and vinyl sidings are not appropriate.

III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.
- b. An addition should connect to the associated building in such a way that the original form of the building is visually evident.

- c. An addition should be compatible, by not contrasting greatly, with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.
- d. The creation of an addition through enclosure of a front porch is not appropriate.
- e. The enclosure of side porches may be appropriate if the visual openness and character of the porch is maintained.
- f. Dormers generally should not be introduced where none existed originally.
- g. New additions should follow the guidelines for new construction.

III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- d . Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate.

Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals. The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.

Background: The house at 814 Boscobel Street is a Craftsman Style bungalow, constructed circa 1920. The house is one and one-half stories tall with a side-gabled roof and a pair of front gabled dormers. There is a small projecting gable in the left-rear corner of the house that has had some siding and window alterations, but otherwise the house has retained its original form and materials.

Analysis and Findings: The applicant is proposing to replace original windows, to replace original siding, and to construct a rear addition to the house.

Setbacks, Scale, Height, Building Shape

The addition will be one and one-half stories tall, with a front-to-back gabled roof with side shed-roofed dormers creating a usable upperstory. At the first story, the addition will set in from the primary walls of the house by two feet (2') on each side. The upperstory dormer walls will sit in an additional foot, so that they are three feet (3') from the walls of the historic house. By setting the addition behind the historic house in this manner, the original form of the house will remain evident and the addition will not disturb the front or side facades of the house. This meets guidelines III.B.1.a and III.B.1.b.

The foundation will step down two feet (2') lower than the height of the existing foundation, which helps to allow the addition to have more of an upperstory and minimize the overall height. Although the primary eave of the addition will align with the eaves of the historic house, the eaves of the upperstory dormers will be one foot (1') higher than the ridge of the historic house. Staff finds that these eaves will be visible in a manner contrasting greatly with the historic house, which does not meet guideline III.B.1.c and III.B.1.d. Staff recommends as a condition of approval that the dormer roofs should be lowered so that the eaves are not higher than the ridge of the historic house.

At the rear-left corner of the addition will be a sunroom, sitting out two feet (2') beyond the silhouette of the existing projecting gable. This component of the addition is approximately seventy feet (70') back from the front of the house, and will not disrupt the setbacks or rhythm of spacing on the street. On the right side, the entire addition sets in two feet (2') from the side of the existing house. The addition will meet guideline III.B.1.a.

The roof of the addition will be a gable with the ridge three feet (3') taller than the existing roof. This taller portion will begin at a point twenty feet (20') behind the existing ridge, or more than forty feet (40') back from the front of the house. Although taller than the historic house, the visibility will be reduced because of this distance. The front gable end of the addition's roof will be clipped, and the side-facing shed dormers will begin behind the existing structure. These attributes will further reduce the visibility of the addition and its impact on the historic house. With the dormer eaves lowered, staff finds that the addition meets guidelines III.B.1.c, III.B.2.b and III.B.2.c.

Roof Shape

The roof of the addition will be a 10:12 pitched gable, with 2:12 pitched shed-roofed dormers on each side. Staff finds that the dormer eaves will be visible in a manner contrasting greatly with the historic house, which does not meet guidelines III.B.1.c and III.B.1.d. Staff recommends as a condition of approval that the dormer roof pitches should be lowered so that the eaves are not higher than the ridge of the historic house.

Windows, Proportion and Rhythm of Openings:

The plans indicate that some of the original windows on the left and right sides of the house will be removed and replaced with new ones with different sizes. This does not meet guideline II.B.3.a, which says that “original details, size, shape, number and arrangement of panes, and all other visual characteristics [of windows] should be retained.” It also would not meet guideline II.B.5.a, which says “original building materials should be retained.” The window furthest to the rear on the existing projection, however, is not original and therefore its replacement would be appropriate.

There are no large expanses of wall space on the proposed addition without a window or door opening, and the majority of windows are generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are shorter windows on the right side of the addition, but their distance back from the front of the house minimizes their visibility. Staff finds that the proportion and rhythm of openings on the addition meet guideline III.B.2.f, but that the changes to windows on the historic house are not appropriate.

Materials, Texture, and Details and Material Color:

The proposal indicates that the existing asphalt shingle siding in the gable-fields would be replaced with cedar shakes. Asphalt-shingles were a common siding material on Craftsman houses constructed in Nashville in the 1920s, often with decorative shapes and patterns. Without physical or historical documentation to prove otherwise, the asphalt shingle siding on 814 Boscobel is likely original. Although it is appropriate to replace asphalt shingle siding when necessary, guideline II.B.5.b requires that the new materials match the original.

The plans also indicate that the siding on the existing left-side projection will be replaced. The rear portion of this projection was originally an open porch that has been enclosed. Because this portion of the house has been altered, replacing the non-historic materials would be appropriate but there should be a cornerboard or other visual distinction between the old and the new materials. Replacing the original materials on the rest of the projection, however, would not meet guideline II.B.5.a

The addition will primarily be clad in smooth face cement fiberboard with a seven inch (7”) reveal to match that of the historic house, with cement-fiber board-and-batten siding on the dormers. The trim, including rear porch columns and deck will be wood. The foundation will be brick, and the roof will be architectural fiberglass shingles. Staff will need to approve samples to verify that the color and texture of the foundation and roof are appropriate. The dormers will have a rubber membrane roof, which will not be visible because of their low slope. The windows and doors will be wood, and staff asks to

approve the final window and door selections prior to purchase and installation. The materials of any paving, fences, and retaining walls must also be approved by Staff. With the staff's final approval of the windows and doors, and other unknown materials, and with the condition that the original windows and siding be retained, and that the original asphalt shingle is replaced in-kind, Staff finds that the addition meets guideline III.B.2.g.

Appurtenances & Utilities:

The site plan indicates that the HVAC will be relocated from the left side of the house to the right, at a point beyond the midpoint of the house. This is an appropriate location.

Recommendation:

Staff recommends approval of the proposed addition with the conditions that:

- The eaves of the dormers are lowered to the height of the ridge of the roof or lower;
- The original windows on the historic house are retained;
- The original wood siding on the historic house is retained, and that new siding is distinguished from the historic materials;
- The asphalt-shingle siding on the historic house is replaced in-kind;
- Staff approves the doors, windows, brick, roof color, paving, walls and fences, and any other exterior materials prior to selection.

Meeting those conditions, staff finds that the proposal meets the applicable sections of the Edgefield Historic Preservation Zoning Overlay Design Guidelines.



814 Boscobel Street, front.



814 Boscobel Street, left. Note the non-original window and siding at the rear of the gabled projection.

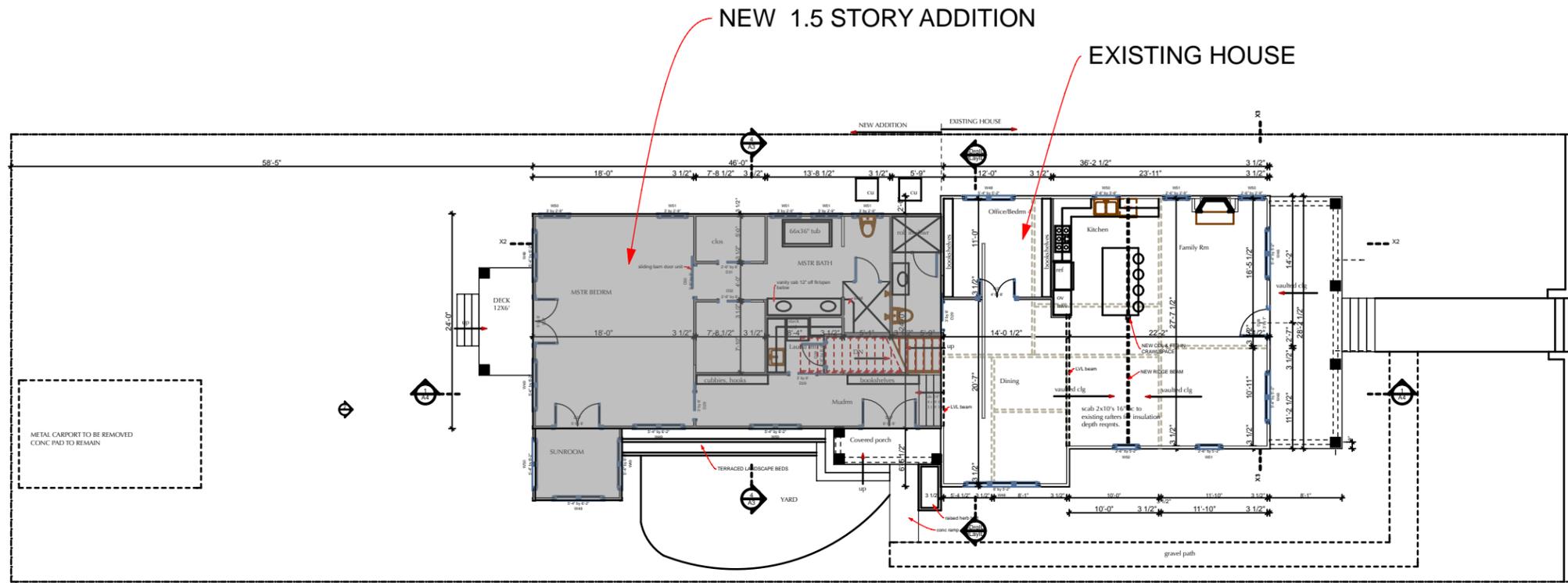


814 Boscobel Street, right. Note the modern 3-tab asphalt shingles over original asphalt single siding.



814 Boscobel Street, rear.

ALLEY



2831 BERRY HILL DRIVE
SUITE 205
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H298-1508

Addition to Residence
K. Clay Haynes
814 Boscobel St.
Nashville, TN 37206

DATE: 2/6/14
REVISION

PROJECT NO: 14-009
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QUIRK DESIGNS

SITE PLAN

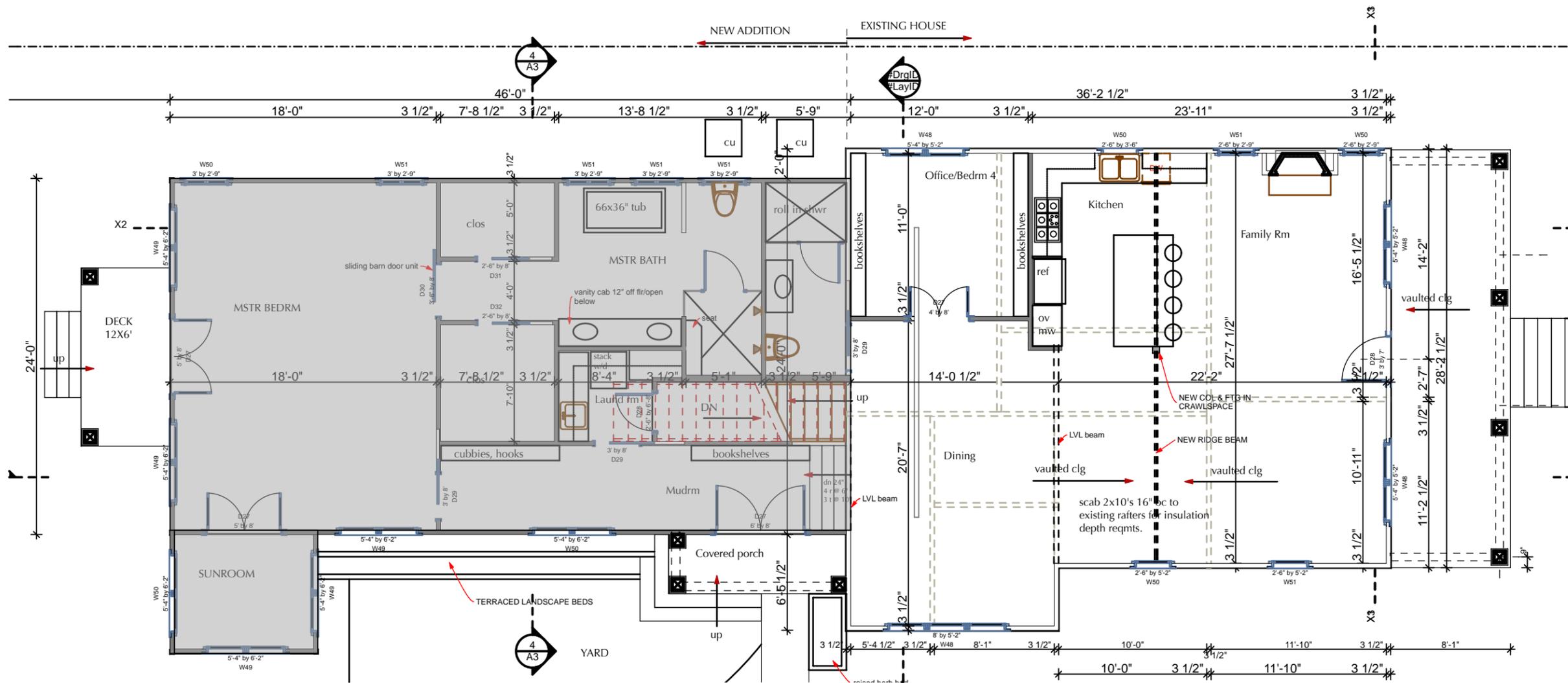
A1
SHEET 8

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1

1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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Addition to Residence
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DATE: 2/6/14
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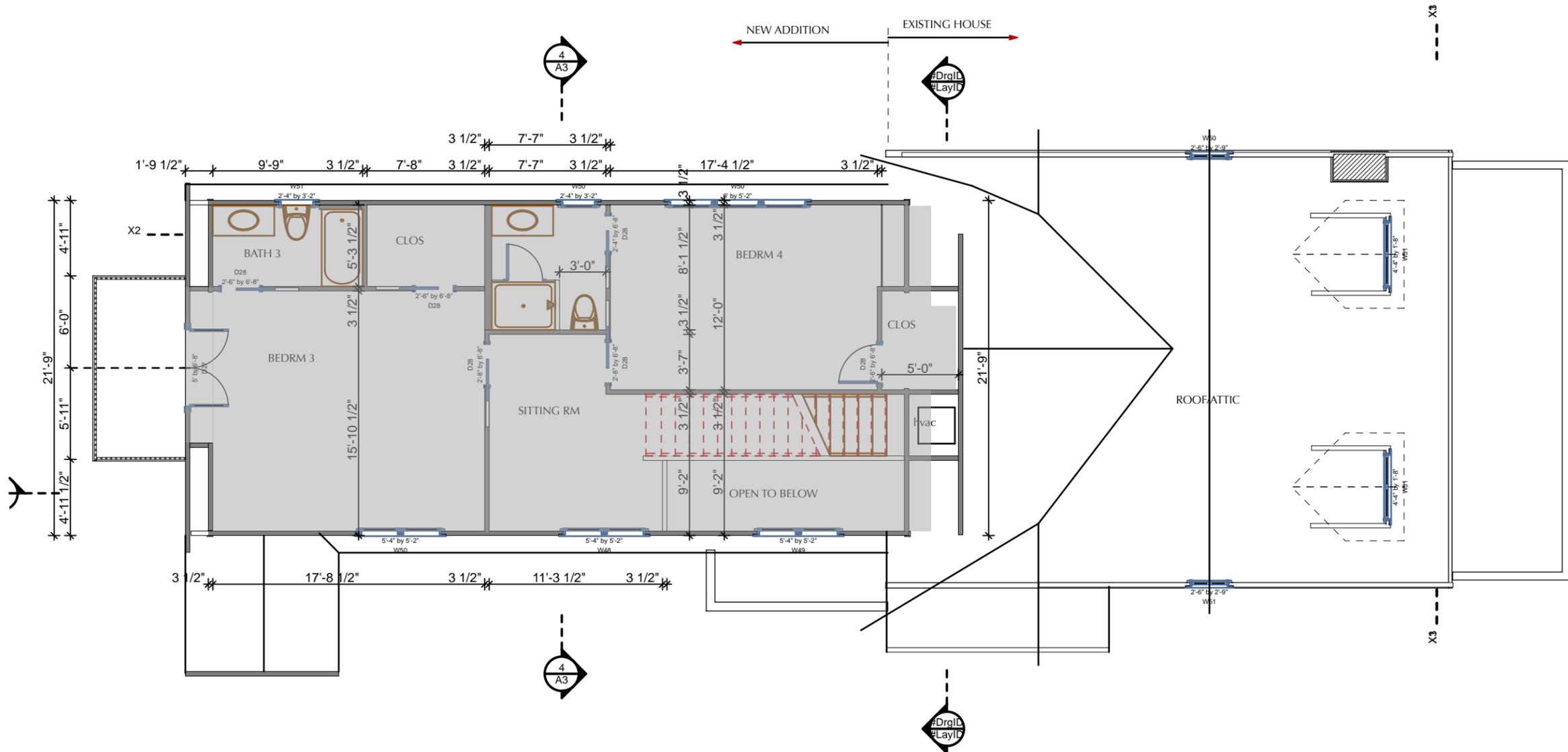
1ST FLR PLAN

A2
 SHEET 9

1

2ND FLR PLAN

SCALE: 1/8" = 1'-0"



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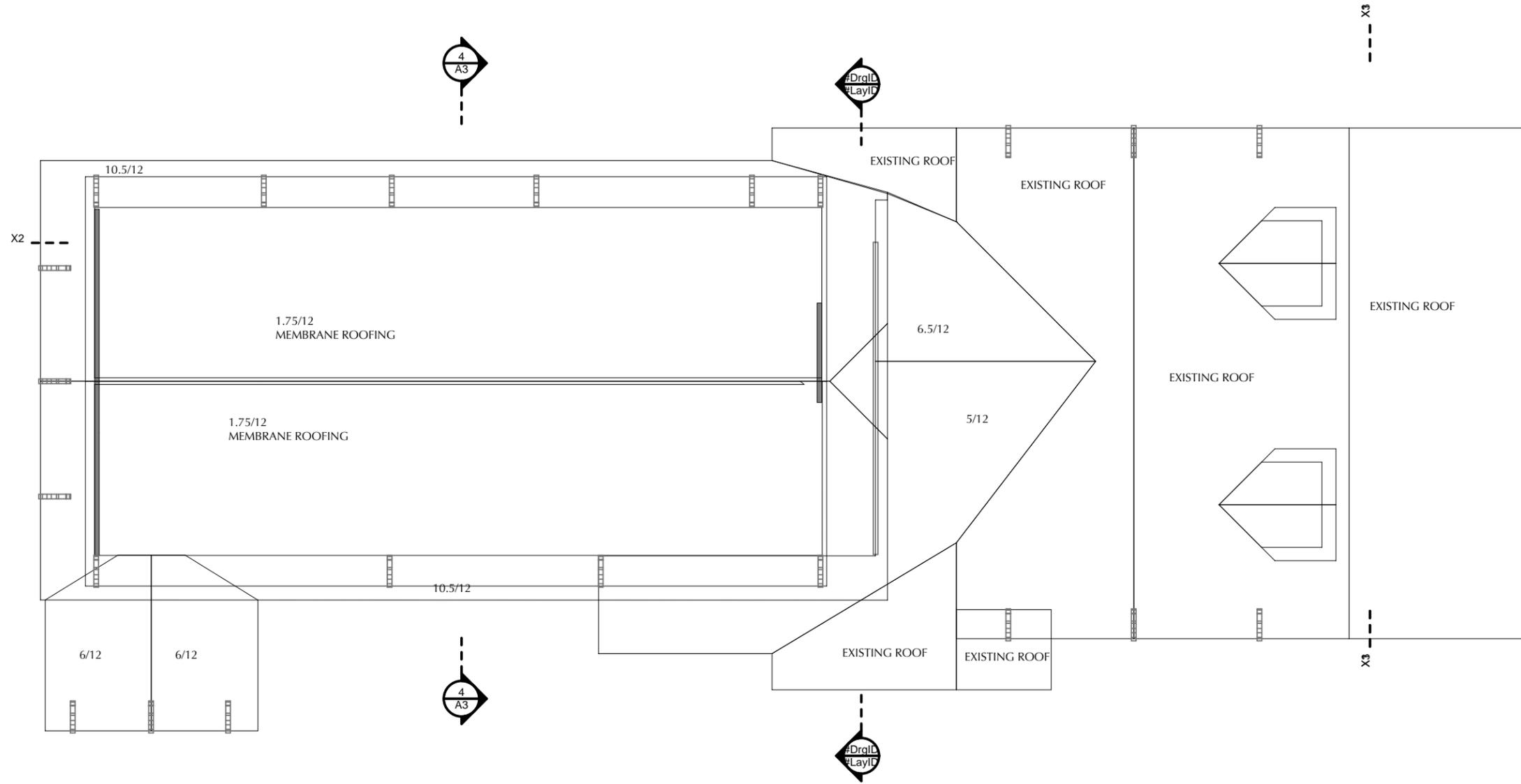
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2ND FLR PLAN

A3
 SHEET 10

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1

ROOF PLAN

SCALE: 1/8" = 1'-0"

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Addition to Residence

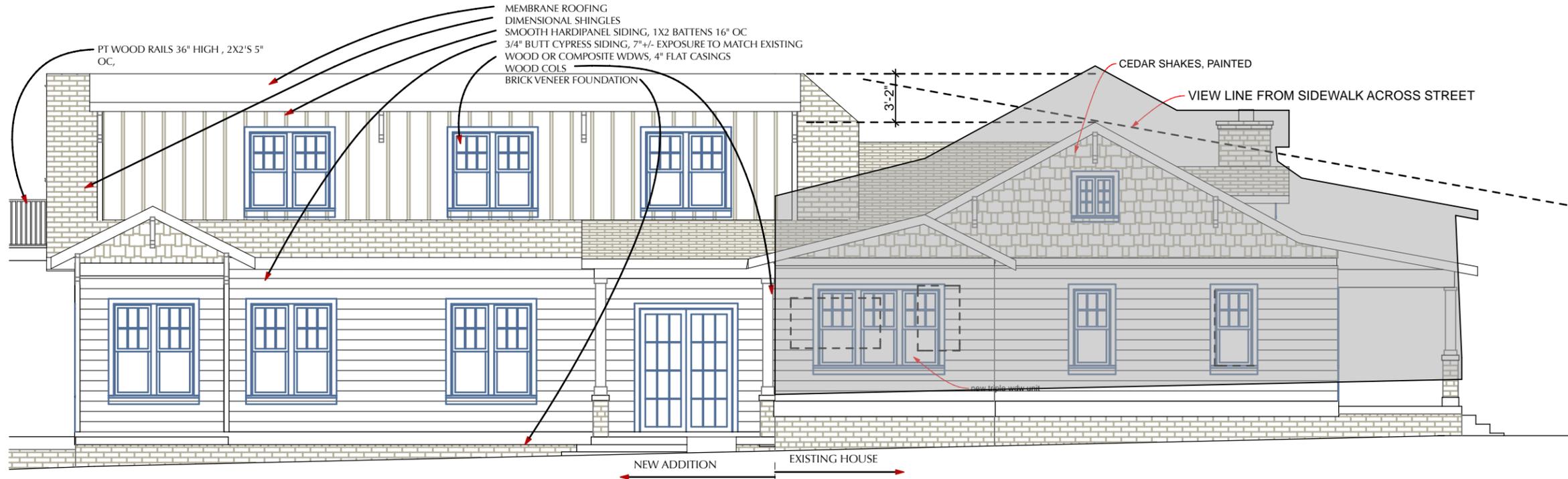
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ROOF PLAN

A4
SHEET 11



1 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

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Nashville, TN 37206

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ELEVATIONS - SIDES

A5
SHEET 12

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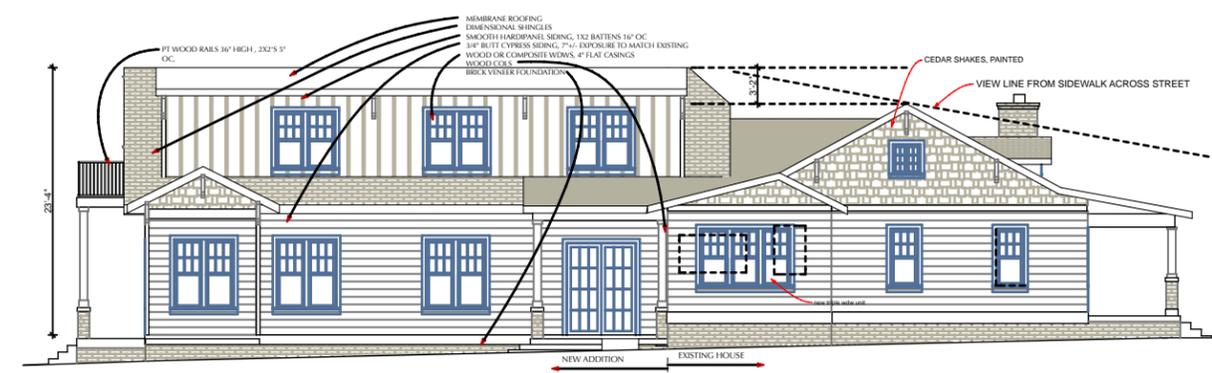
2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 PERSPECTIVE FROM ACROSS ST.



4 LEFT ELEVATION
SCALE: 1/16" = 1'-0"

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ELEVATIONS - FRONT/REAR

A6
SHEET 13