



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

## STAFF RECOMMENDATION

101 Broadway  
March 19, 2014

**Application:** Signage

**District:** Broadway Historic Preservation Zoning Overlay

**Council District:** 19

**Map and Parcel Number:** 09306210200

**Applicant:** Josh Hughes, Tuck Hinton Architects

**Project Lead:** Paul Hoffman, paul.hoffman@nashville.gov

**Description of Project:** Applicant proposes to add a projecting sign to the front of the building, a painted mural on the side and to restore two historic murals on the rear.

**Recommendation Summary:** Staff recommends approval of the signage and replacement of missing moulding with the conditions that:

- The projecting sign be located below the third-story window sills;
- Staff review final materials of replacement moulding.

Meeting these conditions, Staff finds the proposed signage meet the design guidelines of the Broadway Historic Preservation Zoning Overlay.

### Attachments

- A:** Elevations
- B:** Photographs



## Applicable Design Guidelines:

### IV. SIGNAGE INTRODUCTORY PROVISIONS

#### Allocation of Sign Area

The maximum sign area for each type of sign is established in the following tables. Specific requirements for each sign type are shown on the subsequent pages.

For each cell in the table, there is a maximum allowed sign area that may be utilized with any combination and any number of signs associated with that cell, unless otherwise noted.

The measurements for “linear feet” shall be at grade.

### GENERAL STANDARDS

#### Materials

All permanent, on-premises signs shall be constructed of a rigid, weatherable material such as hard plastic, wood, MDO plywood, aluminum, steel, PVC, glass, fiberglass and or Plexiglass. On-premises permanent signs shall not be constructed of nonrigid materials including, but not limited to, vinyl, fabric, canvas, or corrugated plastic. The provisions of this subsection shall not apply to approved, permitted canopies, awnings and porticoes.

#### Building Façade and Street Frontage Measurement

In determination of number of stories of a building, rooftop additions shall not be considered within the number of stories.

#### Building Sign: Projecting Sign

##### Description

A projecting sign is a type of building sign that projects outward from the façade, typically at a ninety degree angle. Projecting signs are typically, but not always, vertically oriented and generally mounted above the first floor.

##### General Provisions

- A projecting sign must be located at least 25 feet from any other projecting sign. When building width prohibits adherence to this standard, flexibility shall be permitted through Modification to be reviewed by staff.
- A projecting sign may be erected on a building corner when the building corner adjoins the intersection of two streets. Allocation of sign area from both streets may be used, however, in no case shall the sign exceed the maximum dimensional standards below.
- A projecting sign shall be located below the windows sills of the third story.
- The top of a projecting sign shall not extend above the building eave or top of parapet.
- A projecting sign can be externally or internally illuminated in accordance with the Illumination design guidelines.
- Projecting signs that are 3-dimensional may be permitted through a modification.
- A projecting sign cannot cover windows or architectural details.

##### Design Standards

- A** Overall area allocation (max)—see allocation of sign area
- B** Height (max)
  - 1 story buildings—10 feet
  - 2 and 3 story buildings—16 feet
  - 4 or more story buildings—20 feet
- C** Average spacing from façade (min)—1 foot
- D** Projection Width (max)—6 feet

E Depth of Cabinet (max)—2 inch or 18 inches for internally lighted or neon signs

## II. REHABILITATION

### M. Guidelines: Paint

1. Building owners are encouraged to remove paint from masonry. Gentle, non-abrasive chemical cleaning is an appropriate way to remove paint. The exceptions to this guideline are two brick buildings which were historically painted; Tootsies Orchid Lounge at 422 Broadway and Acme Feed at 101 Broadway.
2. Painting of stone and brick is generally not appropriate.
3. The painting or staining of masonry may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A brick color approximating the original color of the building's brick should be used.
4. Historic painted signage on exterior brick walls should be maintained.
5. Brick sealers are not recommended for exterior brick as it may cause damage to the brick face over time.

### II. G. Guidelines: Cornices

1. Original cornices and other detailing should be retained.
2. Deteriorated or damaged cornices or other detailing should be repaired using historically appropriate materials.
3. If replacement cornices are necessary, replacements should replicate the originals. If original cornices do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement materials include sheet metal and wood.
5. Owners are encouraged to replace cornices that were original to the building but have been removed.

**Background:** 101 Broadway, the Acme Building, was constructed circa 1890. It is individually listed in the National Register of Historic Places and is a contributing building to the Broadway Historic Preservation Zoning Overlay. The applicant proposes to add a projecting sign to the front façade, a painted mural on the east façade, and to restore an existing mural on the rear of building.

## Analysis and Findings:

### Projecting Sign

Allocation of sign area: The existing historic signage to be restored is not included in the maximum signage allocation. The proposed painted and projecting signs together are well under the maximum allowed.

Location: In its current location it does not meet the design guidelines, which requires that projecting signs be located below the window sills of the third story. It is located at least twenty-five feet (25') from all other projecting signs, does not cover architectural details, and does not extend above the parapet, as required by the design guidelines. Staff recommends that the sign be located below the third-story window sills and not cover any architectural details. The vertical distance between the third-story window sills and the molding proposed is approximately sixteen feet (16'), leaving room for the sign to be relocated.

Design: A sixteen feet (16') tall sign is proposed, which meets the maximum height allowed by the design guidelines for a three-story building. The sign is proposed to be

one foot (1') from the wall and to have a width of five feet (5') with a total projection of six feet (6'), as required by the design guidelines. The depth of the cabinet is eighteen inches (18"), the maximum allowed for internally lighted signs.

**Lighting:** The sign will have static neon lighting with open channel letters and neon over painted copy. It meets design guidelines for illumination.

Painted signs:

The applicant proposes to repaint existing signs on the rear of the building and add a new painted sign on the east elevation of the building. Restoration of historic signs meets design guideline II.M.4.

**Sign area for new painted sign:** The total area proposed for the painted sign on the First Avenue façade is two hundred square feet (200 sq.ft.). Design guidelines state that generally a painted sign should not be more than one hundred and twenty-five square feet (125'). Although the proposed painted sign is larger than design guidelines specify, Staff recommends approval of the sign given that this is a large building with a two large exposed facades. The content of the sign advertises the occupant, as required by design guidelines.

**Location for new painted sign:** Appropriate locations for painted signs include upper secondary elevations, which is the location of the proposed. The proposed sign does not cover transoms, columns, cornices, decorative elements, openings and architectural features or require the enclosure of openings. The location meets the design guidelines.

**Allocation of sign area:** See projecting signs above.

Cornice

The project includes replacing a strip of molding above the front entrance that has been removed. The detailing of the proposed cornice closely resembles that which can be seen in a 1985 photograph; however, the material was not noted. With the condition that staff review the material, replacement of the missing feature meets section II.G.3 of the design guidelines.

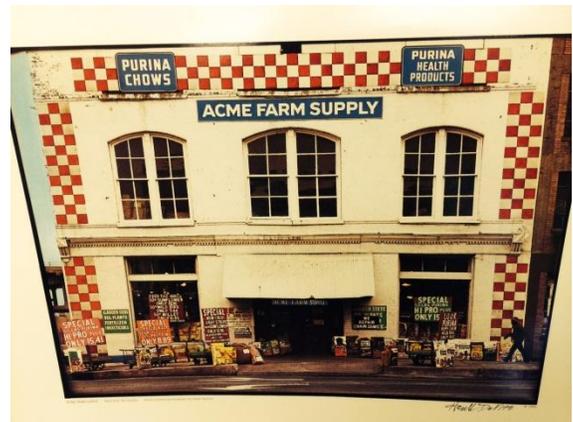
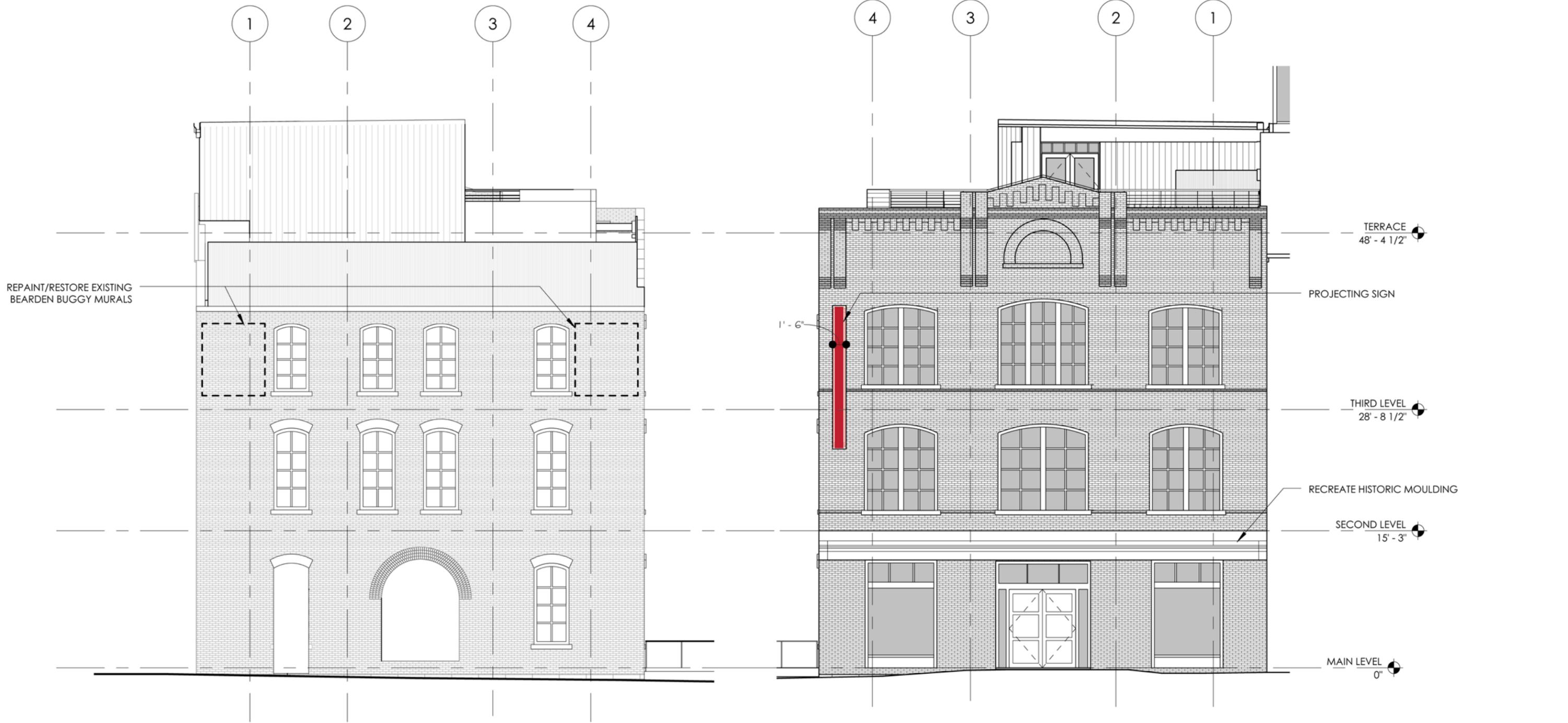


Figure 1. Acme Farm Supply circa 1985

**Recommendation:** Staff recommends approval of the signage and replacement of missing moulding with the conditions that:

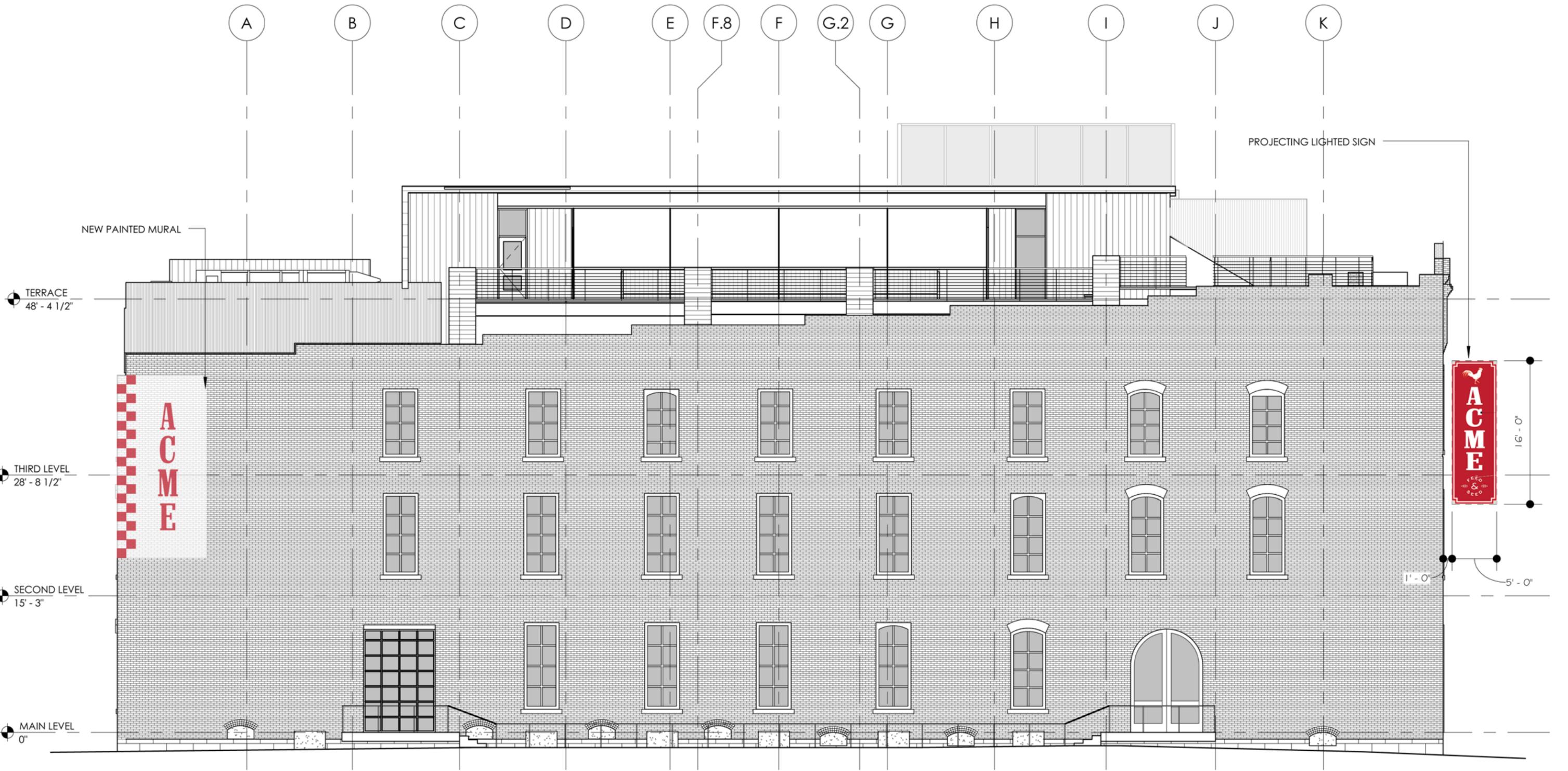
- The projecting sign be located below the third-story window sills
- Staff review final materials of replacement moulding.

Meeting these conditions, Staff finds the proposed signage meet the design guidelines of the Broadway Historic Preservation Zoning Overlay.



ACME  
TUCK·HINTON  
ARCHITECTS

NORTH AND SOUTH ELEVATIONS



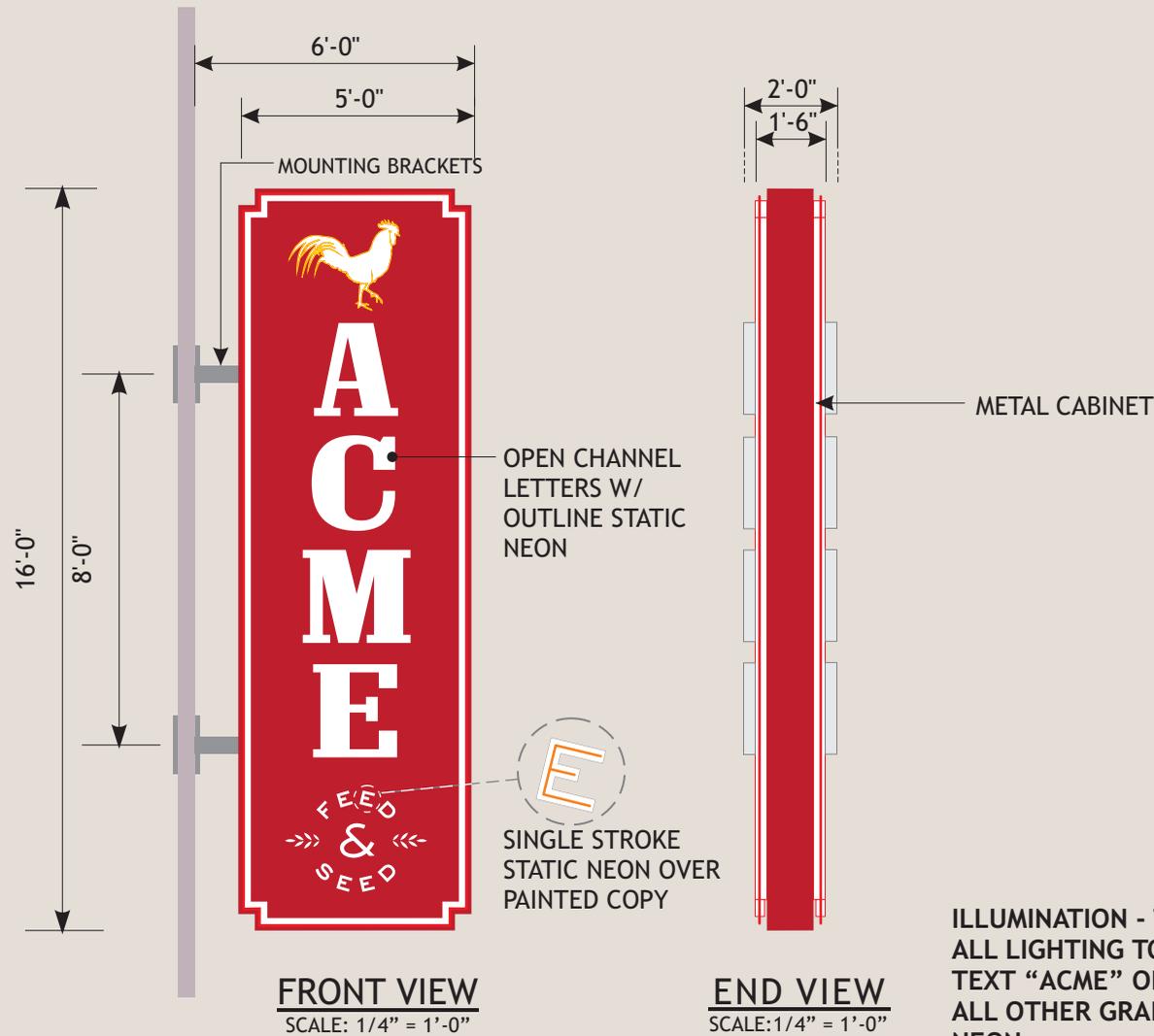
16' 12' 8' 4' 0 16'



ACME  
TUCK·HINTON  
ARCHITECTS

EAST ELEVATION

13008



ILLUMINATION - TYPICAL NEON  
 ALL LIGHTING TO BE STATIC  
 TEXT "ACME" OPEN CHANNEL NEON  
 ALL OTHER GRAPHICS TO BE OUTLINE NEON

**ACME FEED & SEED**

LOCATION: **101 BROAD STREET  
NASHVILLE, TN**

JOB CONTACT: NAME PROJECT MGR: HOUSE

DRAWING NO: **141758-H10-01**

**SPECIFICATIONS & FINISHES:**

WHITE PVC

DESIGNED BY: R. McCORD DATE: 03-10-14

WORK ORDER NO.: XXXXXX

PAGE 1 OF 1

**APPROVALS FOR MANUFACTURING**

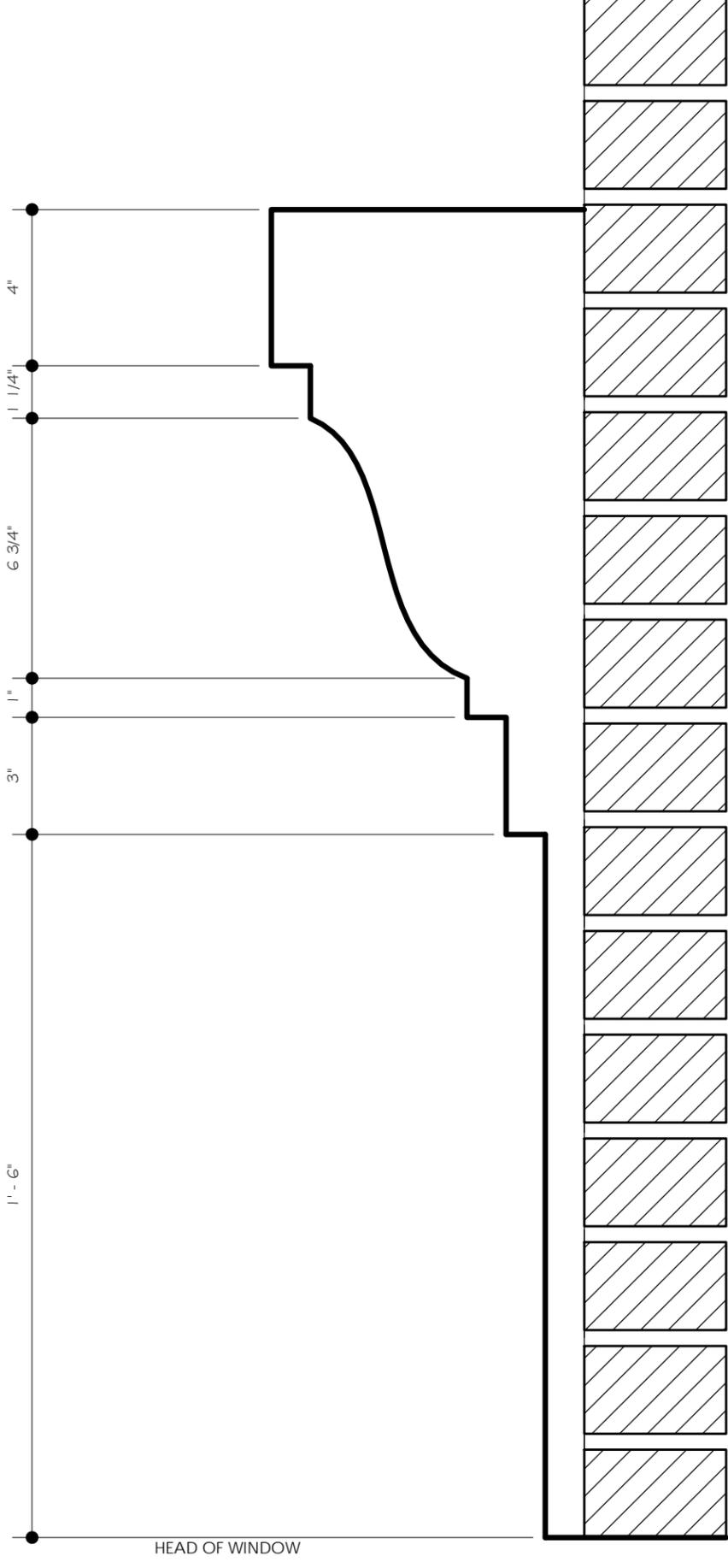
ENGINEERING:

INSTALLATION:

PROJECT MANAGER:

**JOSLIN AND SON SIGNS**

630 Murfreesboro Rd. Nashville, TN 37210  
 615.255.3463 1.800.545.9557



MOULDING PROFILE

13008

ACME

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