



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1107 Lillian Street
March 19, 2014

Application: Demolition; New construction – infill; Setback determination
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08313012800
Applicant: Troy Stackhouse, Odyssey Construction
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to demolish a non-contributing house, and to construct a new one and one-half story house on the lot at 1107 Lillian Street. The infill construction would require a ten foot (10') rear setback, whereas the current bulk zoning regulations require a twenty foot (20') rear setback.</p> <p>Recommendation Summary: Staff recommends approval of the application to demolish the existing house at 1107 Lillian Street and to construct a new one and one-half story house, with conditions that the color of the roof, the material of the windows and doors, and the location of HVAC are approved by Staff. With those conditions met, Staff finds that the application meets the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

IV. B. Demolition

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: The lot at 1107 Lillian Street was once the rear seventy-feet (70') of the property at 1106 Fatherland Street. The parcel was divided in May of 1957, creating a new lot on Lillian Street that is smaller than the standard lot-size that would be permitted today. The structure currently at 1107 Lillian Street was constructed later that year.



Analysis and Findings: The applicant proposes to demolish a non-contributing house, and to construct a new one and one-half story house on the lot at 1107 Lillian Street.

Demolition:

Because it was built after the significant historical period of the neighborhood, the structure at 1107 Lillian Street does not contribute to the historic character of the district.

The project meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

Height & Scale:

The new house will have one and one-half stories, with a roof ridge height of twenty-eight feet (28') above the front grade. The house will have a floor height at three feet (3') above grade, with approximately two feet (2') of exposed foundation and a twelve inch (12") water table band below the floor level. The eave height of the new building will be twelve feet (12') above grade. Historic houses nearby range between fifteen feet (15') and thirty feet (30') tall. These heights are compatible with surrounding historic houses.

The house will be forty feet (40') wide on the front and forty feet (40') deep, front to back. Although most houses in the surrounding area range between twenty-eight feet (28') and thirty-four feet (34') wide, there are a few wider houses including two forty foot (40') wide houses at 1107 Boscobel Street and 312 S. 11th Street. The additional width is necessary in this instance because of the smaller than usual lot.



1107 Boscobel Street



312 S. 11th Street

In matching the width of these nearby historic houses, Staff finds that the new house would be compatible with surrounding historic houses and meet guidelines II.B.1 and 2.

Setback & Rhythm of Spacing:

The front of the new house will be aligned with the adjacent houses, with a five foot (5') setback on each side. These setbacks are compatible with the surrounding context and will maintain the established rhythm of the street. The rear of the house will be ten feet (10') from the rear property line. Although the house is only forty feet (40') deep, it would encroach into the standard rear setback buffer because the lot is only seventy-feet (70') deep. Other lots on this block are greater than one hundred feet (100') deep. Staff finds that the location of the structure, in relation to other structures, is compatible and that the proposed setbacks are appropriate given the unusual size of the lot. Staff finds that the new house will meet guideline II.B.3.

Materials:

The new house will primarily be clad in smooth-face cement fiberboard with a five inch (5") reveal. The trim will be wood. The foundation will be split-faced concrete block, and the roof will be asphalt shingles in a color that has not yet been indicated. The windows and doors will be wood, and staff asks to approve specific selections prior to purchase. The porch floor and stairs will be concrete. With the staff's final approval of the roof color and of the windows and doors, staff finds that the known materials meet guideline II.B.4.

Roof form:

The roof of the new house will be a side-oriented gable, clipped at the ends, with a pitch of 12:12. To give the house a functioning second story, the front slope of the roof will have a three-part-dormer with clipped gables on each end connected by a shed-roofed section in the middle. Although not common in combination, the individual elements of the dormer are very common throughout the district. By setting the shed-roofed section back from the gables and breaking up the dormer into three components, as opposed to having one large dormer, the scale is broken up in a way that the appearance will be compatible with form of surrounding historic houses. In addition, this type of dormer, although rare, is not completely without precedent. See image above.



Staff finds that the roof form of the new house will be compatible with those of surrounding historic houses and meet guideline section II.B.5.

Orientation:

The new house will have an eight foot (8') deep by twelve foot (12') wide front porch, partly recessed into the center of the front elevation. Prominent porches engaging the street are important features throughout the district, and the recessed porch allows the form of the new house to be compatible with surrounding houses without interrupting the rhythm of the street established by consistent front setbacks. The front porch will connect to the street with concrete stairs and a paved walkway. There will be a paved

two-car parking area at the front of the property, parallel with the street. This location for parking is appropriate because of the lack of alley access and the unusual size of the lot. Although the existing non-contributing house has a driveway on the left side of the house, front parking is typical of most houses on this block. Staff finds the orientation of the new house to be compatible with the surrounding context and to meet guideline II.B.6.

Proportion and Rhythm of Openings: The windows on the proposed new house are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings to meet guideline II.B.7.

Appurtenances & Utilities:

The location of the HVAC and other utilities was not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. The project meets section II.B.9.

Recommendation:

Staff recommends approval of the application to demolish the existing house at 1107 Lillian Street and to construct a new one and one-half story house, with conditions that the color of the roof, the material of the windows and doors, and the location of HVAC are approved by Staff. With those conditions met, Staff finds that the application meets the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.



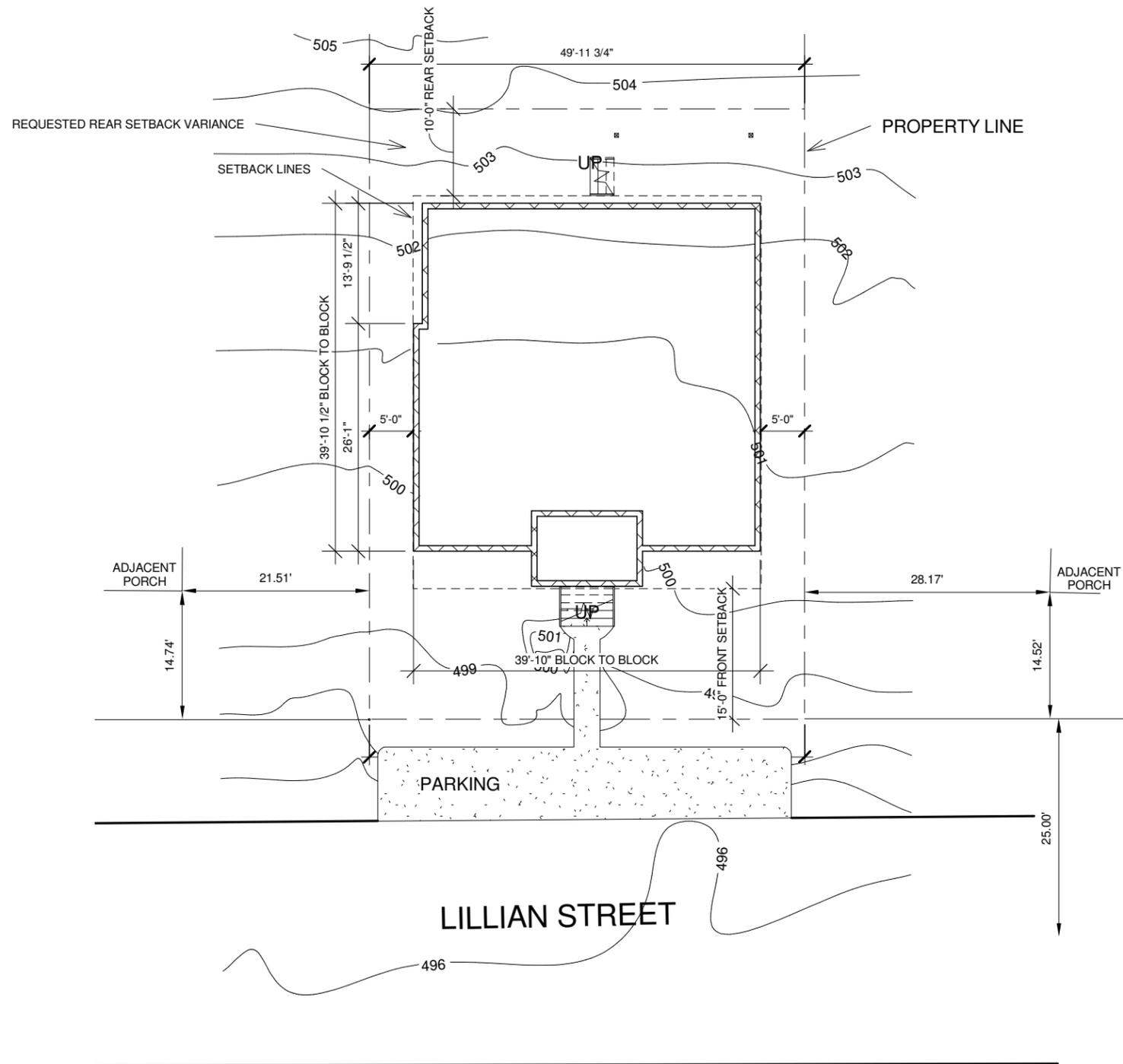
1107 Lillian



1110 and 1108 Lillian Street



1109 Lillian Street



1 Historic - Site Plan
1/16" = 1'-0"



2 Copy of 3D View 2

Sheet List	
Sheet Number	Sheet Name
H1	Site
H2	Elevations
H3	Elevations
H4	Floor Plans

PROJECT INFORMATION

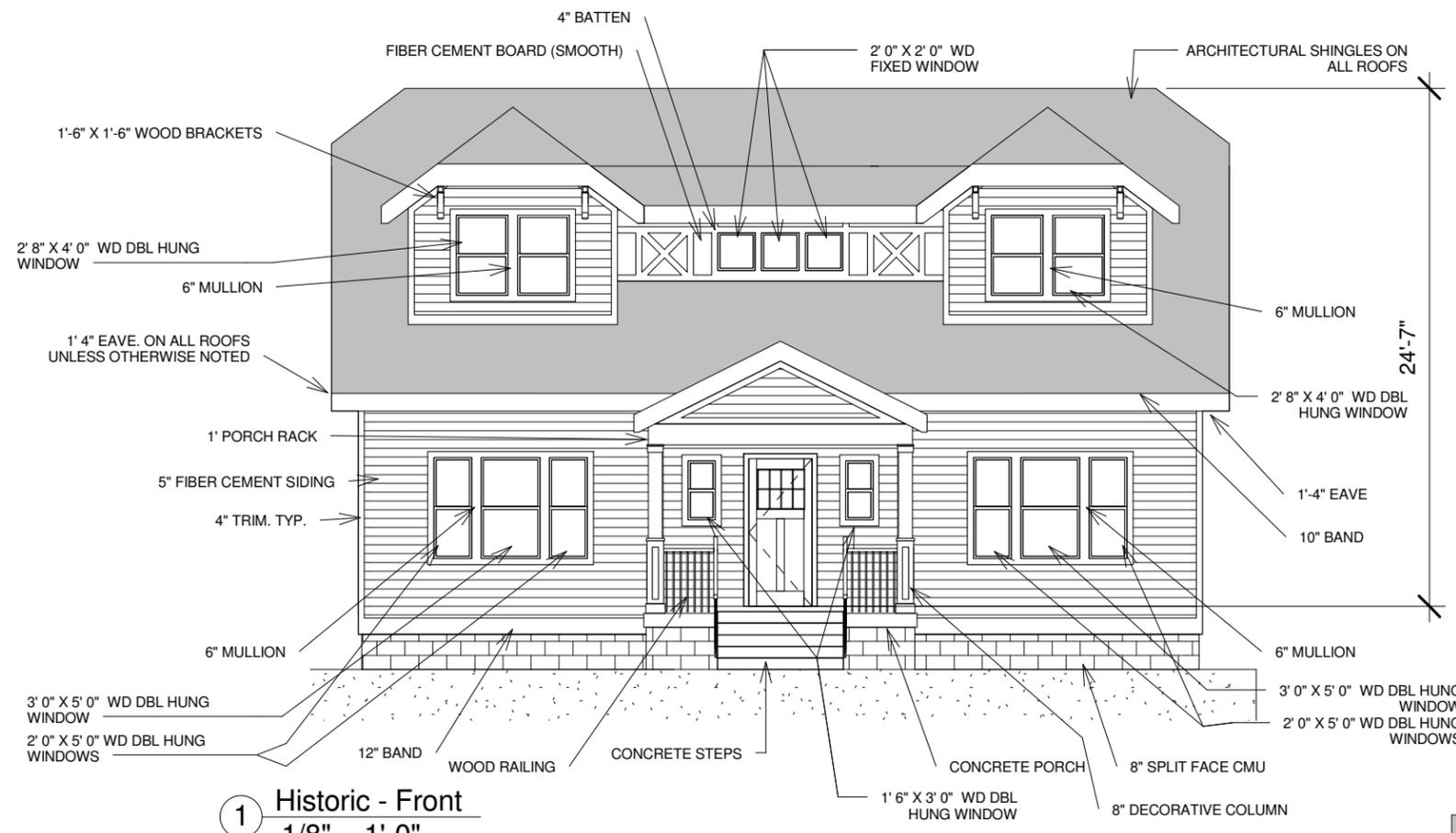
STYLE	LIVING	FOOTAGE		DETAILS
HOUSE STYLE:	BEDROOMS: 4	Heated & Cooled	Gross	OVERALL WIDTH: 40'
	BATH: 3			FIRST FLOOR: 1473 SQ FT
STORIES: 1.5	HALF BATH:	SECOND FLOOR: 915 SQ FT	970 SQ FT	OVERALL HEIGHT: 24'
		THIRD FLOOR:		CEILING HEIGHT (FIRST): 9'-0"
MASTER LOCATION: 1st	FEATURES:	TOTAL (STORIES): 2388 SQ FT	2516 SQ FT	CEILING HEIGHT (SECOND): 9'-0"
GARAGE:		ADDITIONAL FOOTAGES:		CEILING HEIGHT (THIRD):
		GARAGE:		DOOR HEIGHT (FIRST): 7'-0"
		ROOF DECK:		DOOR HEIGHT (SECOND): 6'-8"
				DOOR HEIGHT (THIRD):

Site

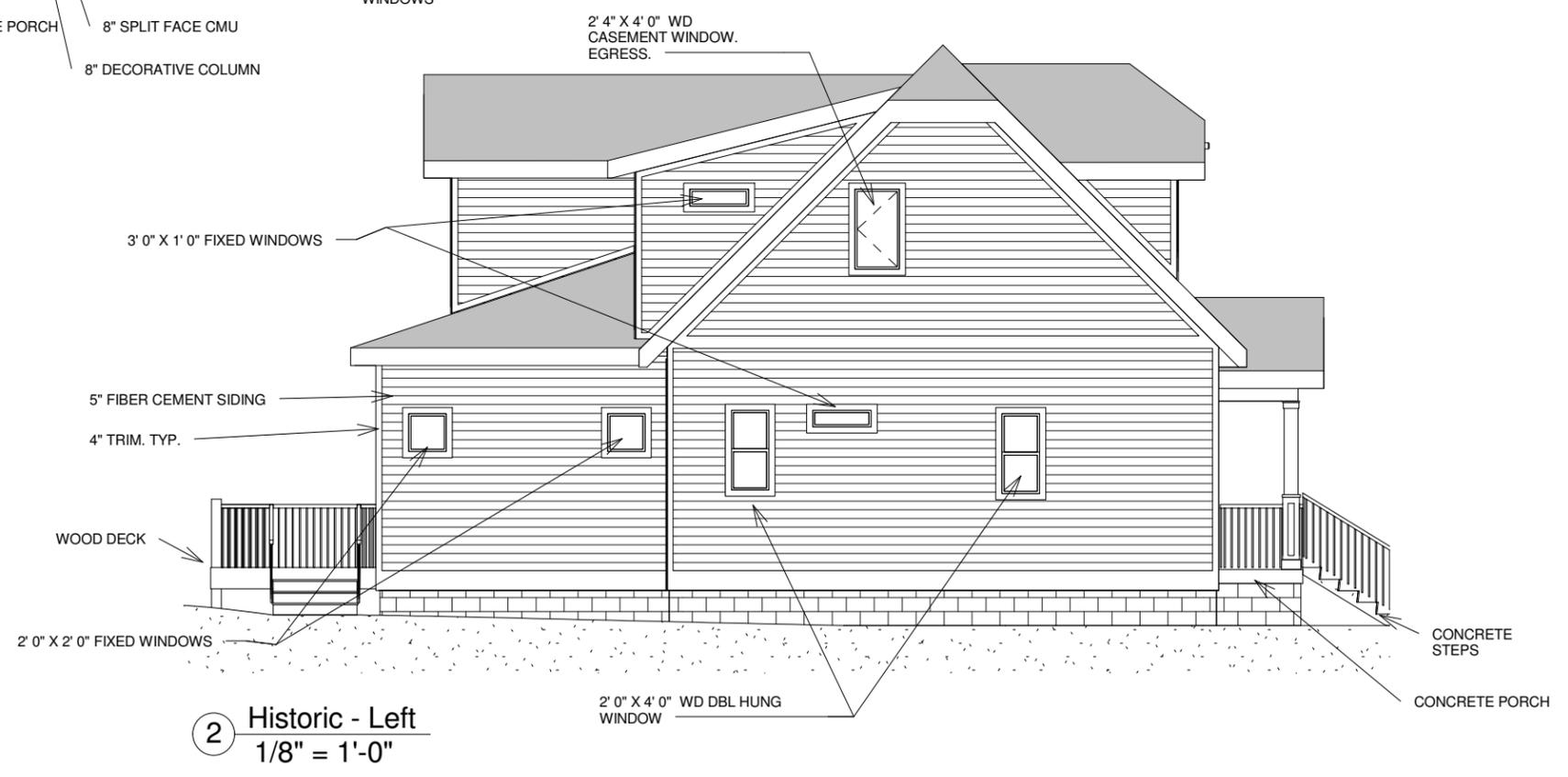
1107 Lillian St.
Nashville, TN

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1 Historic - Front
1/8" = 1'-0"



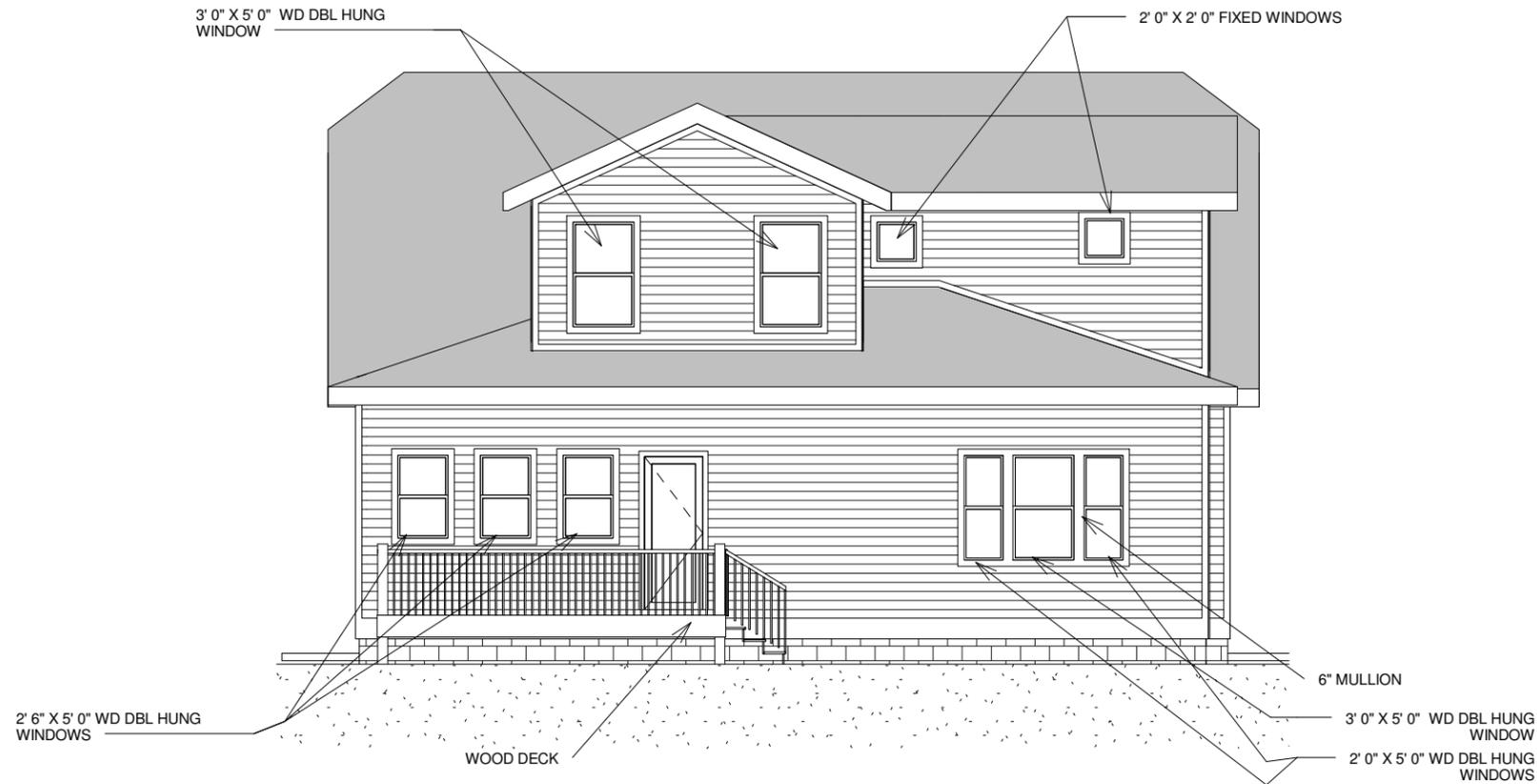
2 Historic - Left
1/8" = 1'-0"



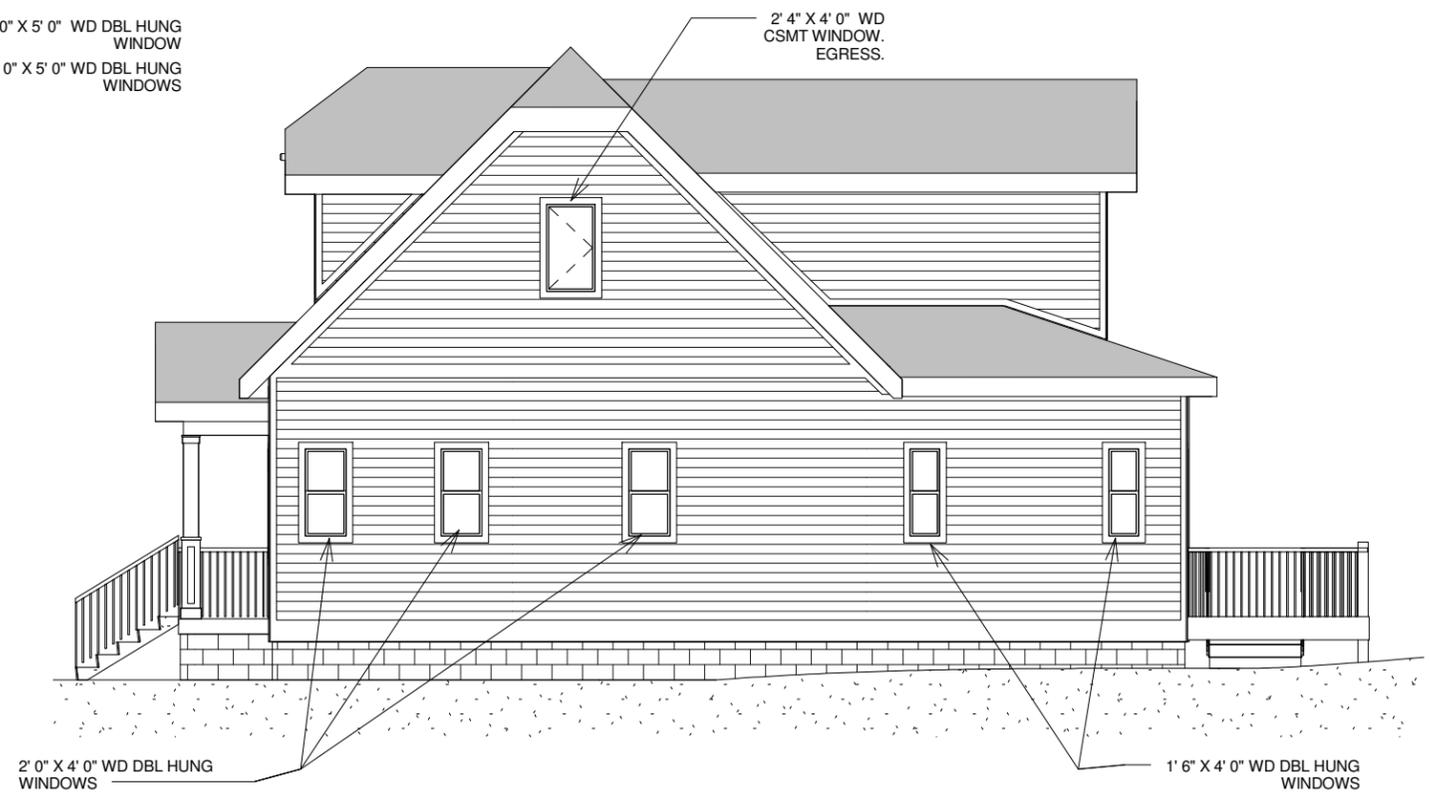
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1107 Lillian St.
 Nashville, TN

Elevations		H2
Date	3/7/13	
Drawn by	J. Feller	Scale 1/8" = 1'-0"



1 Historic - Rear
1/8" = 1'-0"



2 Historic - Right
1/8" = 1'-0"



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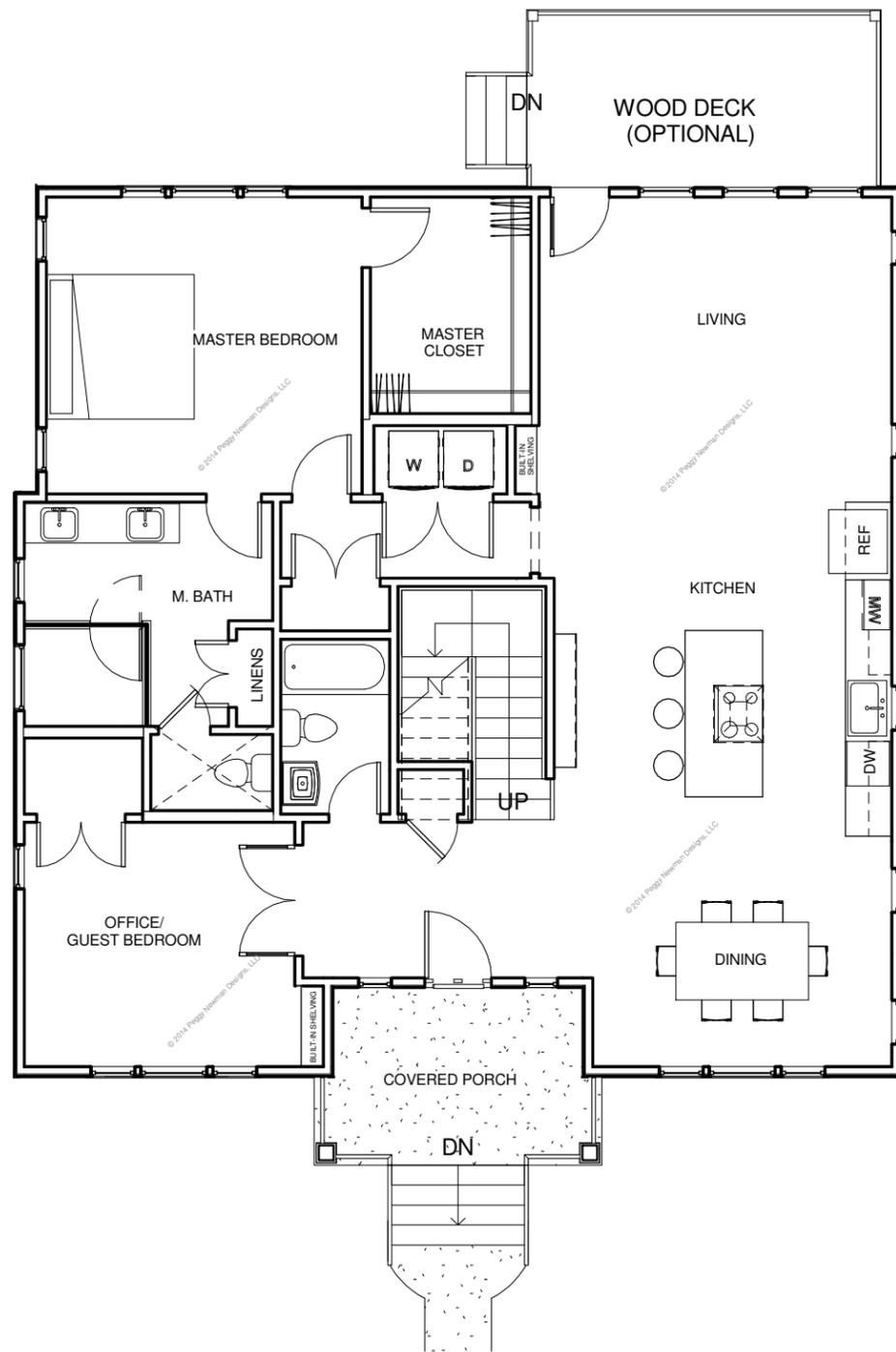
1107 Lillian St.
Nashville, TN

Elevations

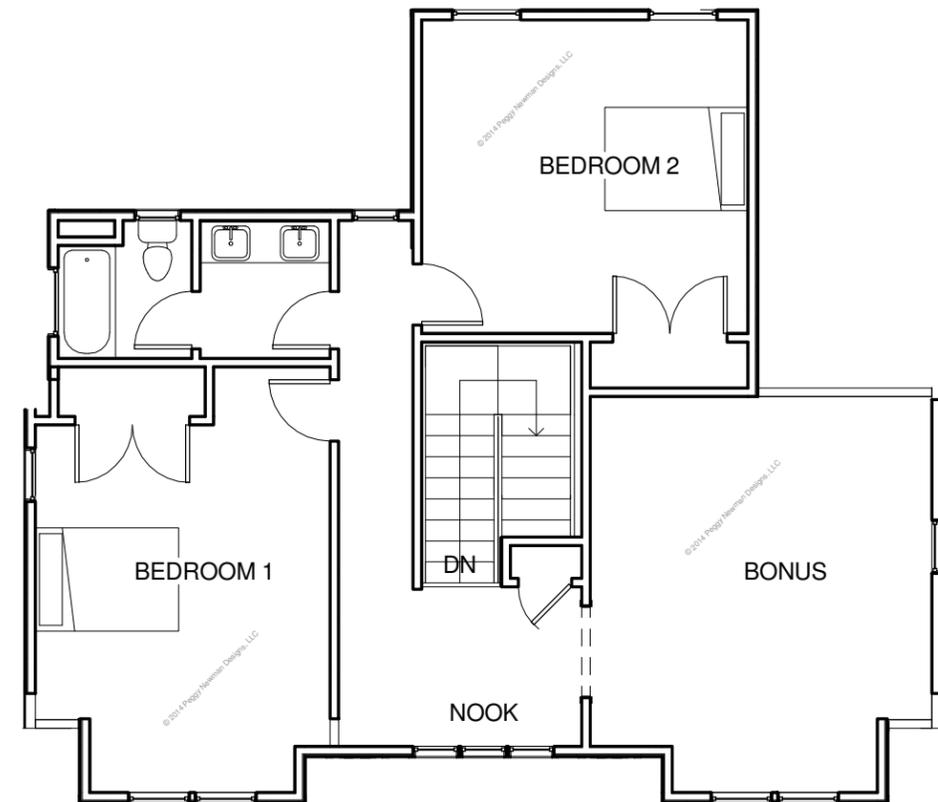
Date 3/7/13
Drawn by J. Feller

H3

Scale 1/8" = 1'-0"



1 Historic - First Floor
1/8" = 1'-0"



2 Historic - Second Floor
1/8" = 1'-0"



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1107 Lillian St.
Nashville, TN

Floor Plans		H4
Date	3/7/13	
Drawn by	J. Feller	Scale 1/8" = 1'-0"