



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1415 Forrest Avenue
March 19, 2014

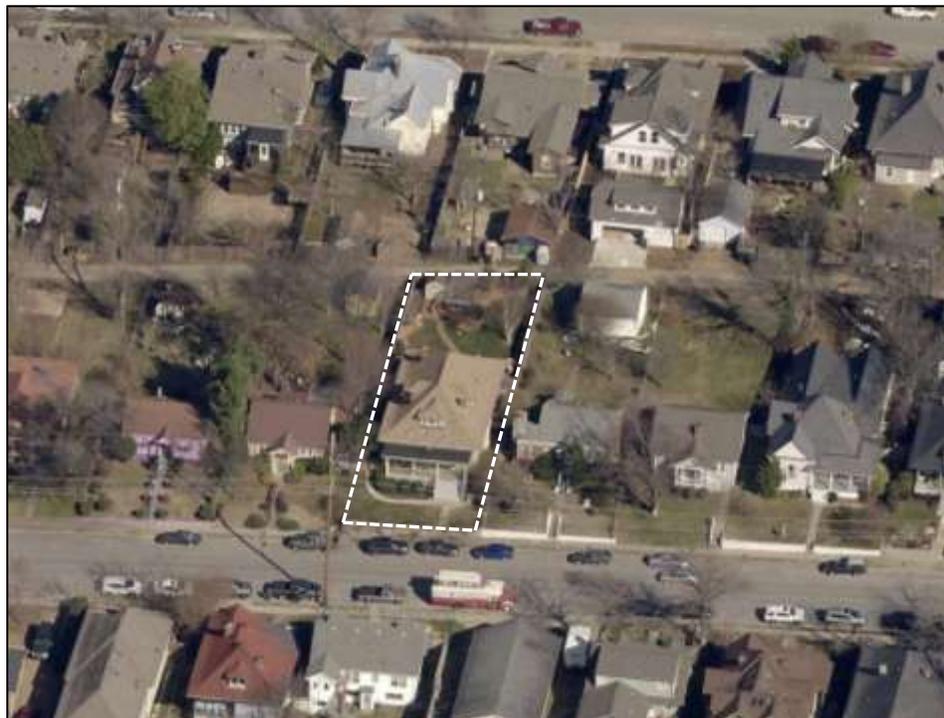
Application: New construction - outbuilding
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08309036600
Applicant: Amy Thran, Owner
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to construct a new two-car garage with a “bonus room” above.</p> <p>Recommendation Summary: Staff recommends approval of the proposed outbuilding with the condition that Staff approves the window and door selections, finding it to meet the applicable sections of the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

8. Outbuildings

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

· Where they are a typical feature of the neighborhood; or

When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Background: The house at 1415 Forrest Avenue is a one and one-half story Transitional Victorian with a hipped roof and a full-width porch. There is currently a paved parking area behind the house, accessed from the alley to the rear.

Analysis and Findings: The applicant is proposing to construct a new outbuilding. The building will have a two-car garage on the ground level with a “bonus area” above. The structure would not be used as a second dwelling.

Height & Scale:

The new garage will be twenty-two feet (22') tall, with a first-story wall height of eleven feet, one inch (11'-1"). The height is lower than the ridge of the roof on the house by three feet (3'). The eaves will overhang the walls and extend to a point ten feet, six inches (10'-6") above grade.

The building will have a footprint of approximately six hundred, twenty square feet (620 s.f.). This footprint is less than one third of the footprint of the house.

Staff finds that the height and size of the new outbuilding are compatible with surrounding buildings and subordinate to the scale of the primary building, which meets guideline II.B.8.a, as well as guidelines II.B.1 and II.B.2.

Setback, Location, Orientation:

The new building will be located behind the primary building, with garage doors facing the alley at the rear of the property. The structure will be set ten feet (10') in from the rear property line, eight feet (8') from the right boundary and roughly thirteen feet (13') from the left. This location is compatible with the location of historic outbuildings and meets the bulk zoning setback requirements. The project meets guideline II.B.8.b, as well as guidelines guideline II.B.3. The orientation of the building will also match that of the primary building, and will meet guideline II.B.6.

Materials:

The garage will primarily be clad in smooth faced cement fiberboard with a reveal of five inches (5"). The trim will be wood. The foundation will be poured concrete, and the roof will be fiberglass shingles in a color to match the existing roof. The windows will be fiberglass and the doors will be wood, and staff asks to approve the final window and door selections. With the staff's final approval of the windows and doors, staff finds that the known materials meet guideline II.B.4.

Roof form:

The primary roof of the new outbuilding will be a side-oriented gable with a pitch of 10:12. The front of the building, on the elevation facing the street, will have a pair of gabled dormers with the same pitch. The rear slope of the roof will have a shed-dormer with a 4:10 pitch. These roofs are compatible with similar surrounding buildings and meet guideline II.B.5.

Proportion and Rhythm of Openings:

The windows on the proposed addition are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings to meet Section II.B.7.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. The project meets section II.B.9.

Recommendation:

Staff recommends approval of the proposed outbuilding with the condition that Staff approves the window and door selections, finding it to meet the applicable sections of the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

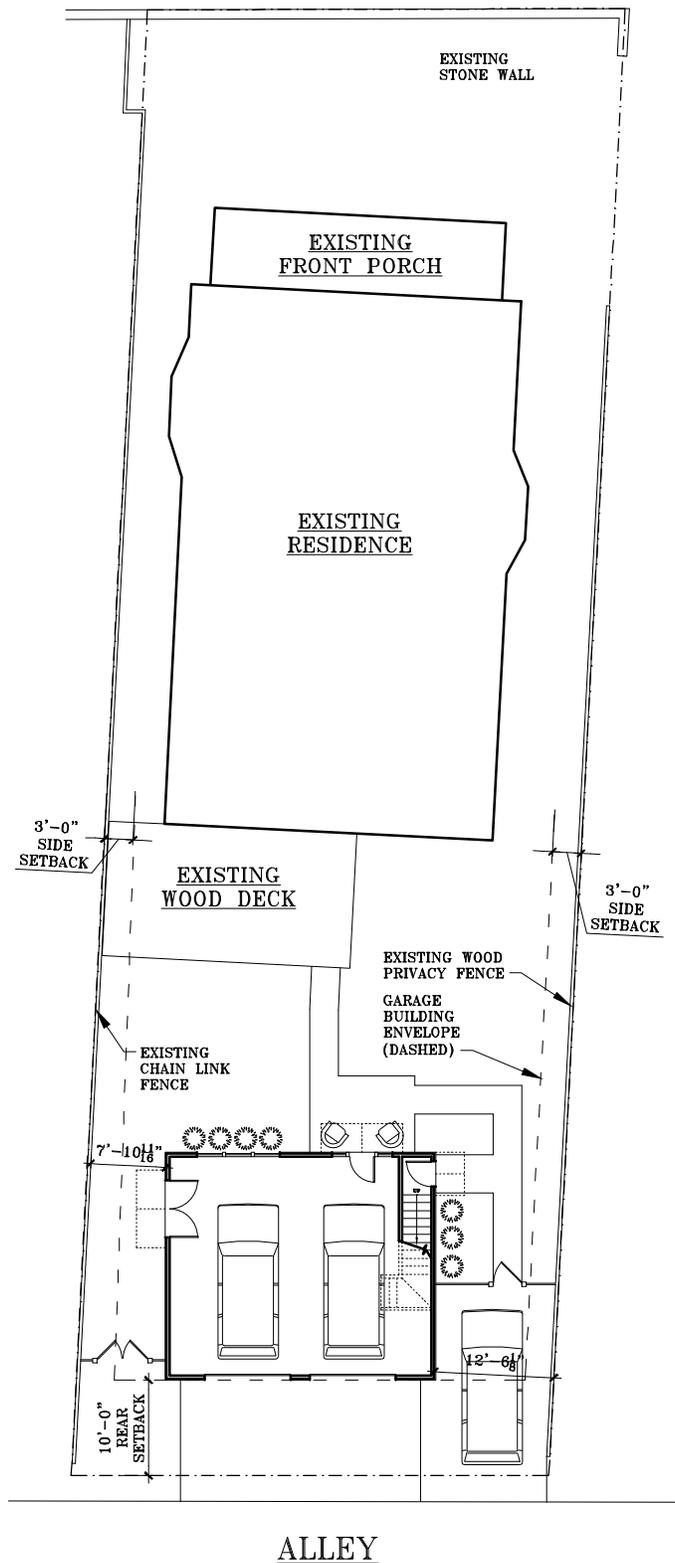
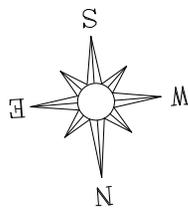


1415 Forrest Avenue



1415 Forrest Avenue, from alley.

FORREST AVENUE

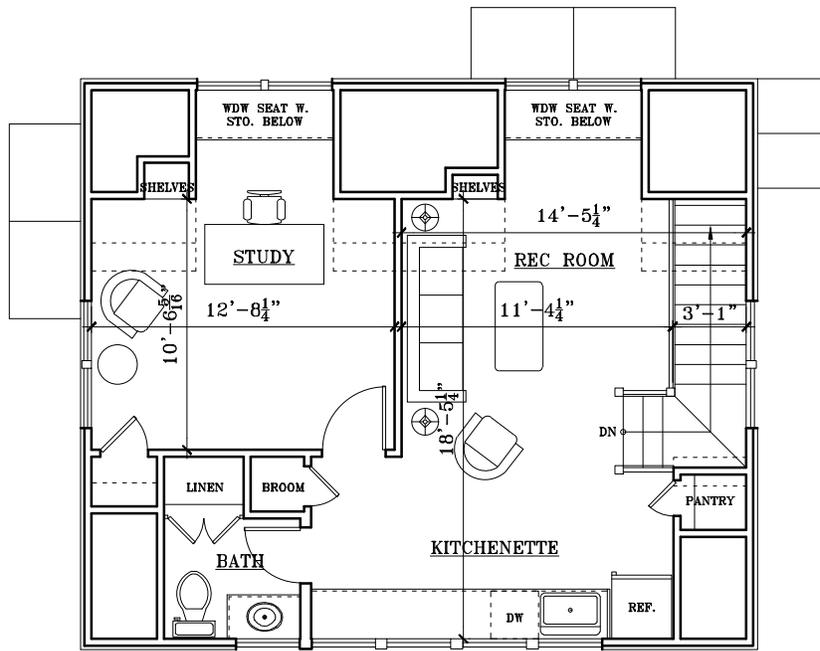


THRAN RESIDENCE
1415 FORREST AVENUE
NASHVILLE, TN

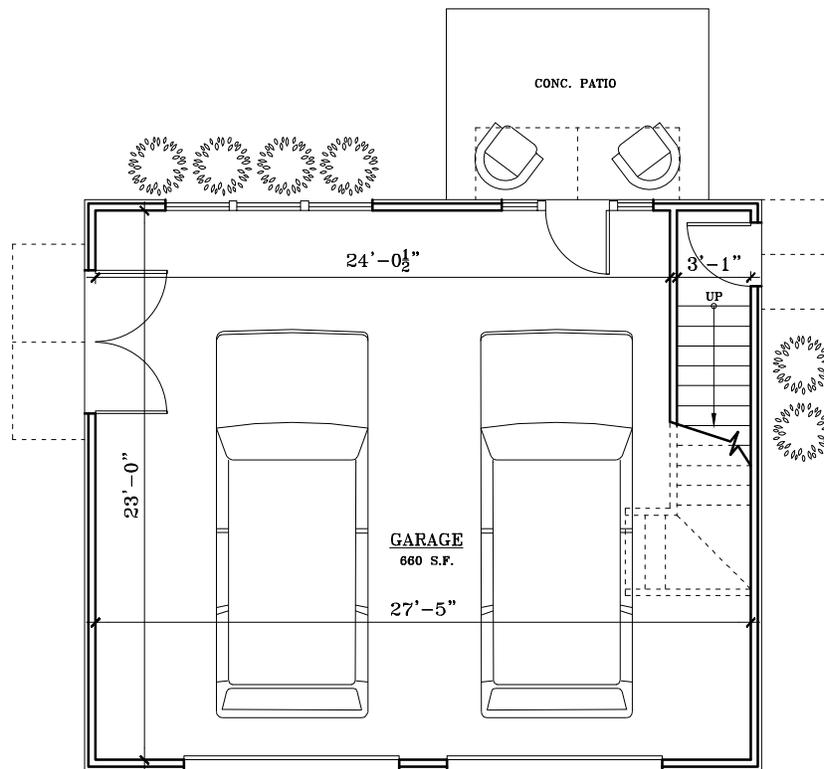
SITE PLAN
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ARCHITECTURE
8 MARCH, 2014

A-2

SCALE:
1"=20'



SECOND FLOOR PLAN



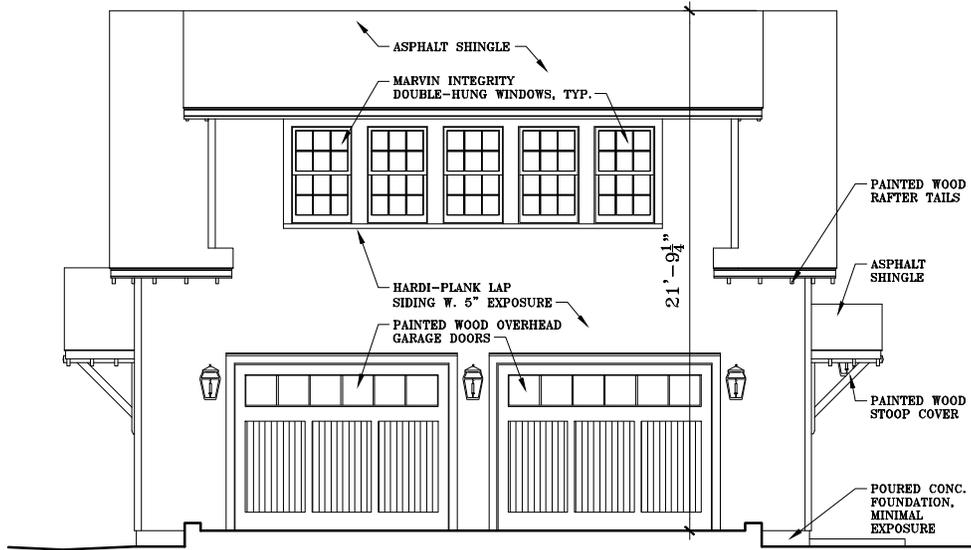
FIRST FLOOR PLAN

A-3

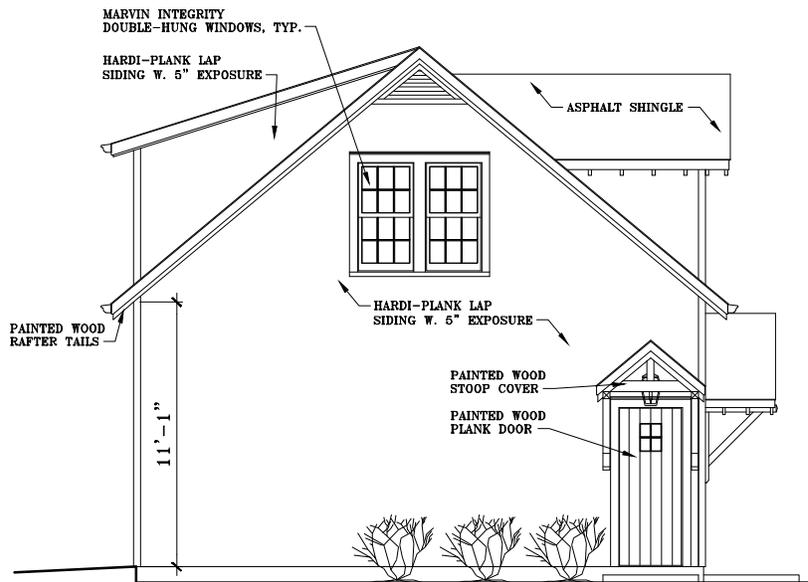
SCALE:
1/8" = 1'-0"

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FLOOR PLAN
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ALLEY ELEVATION



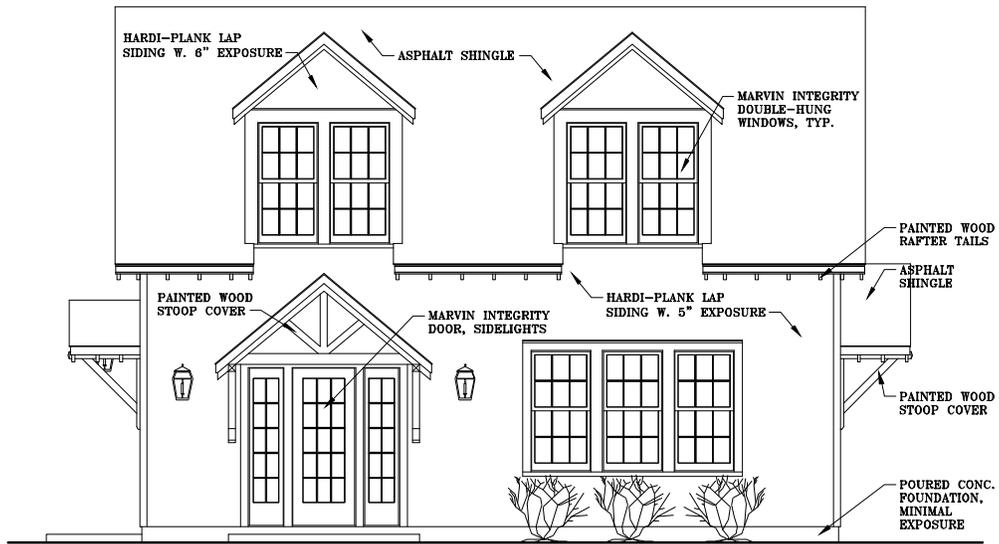
SIDE ELEVATION

A-4

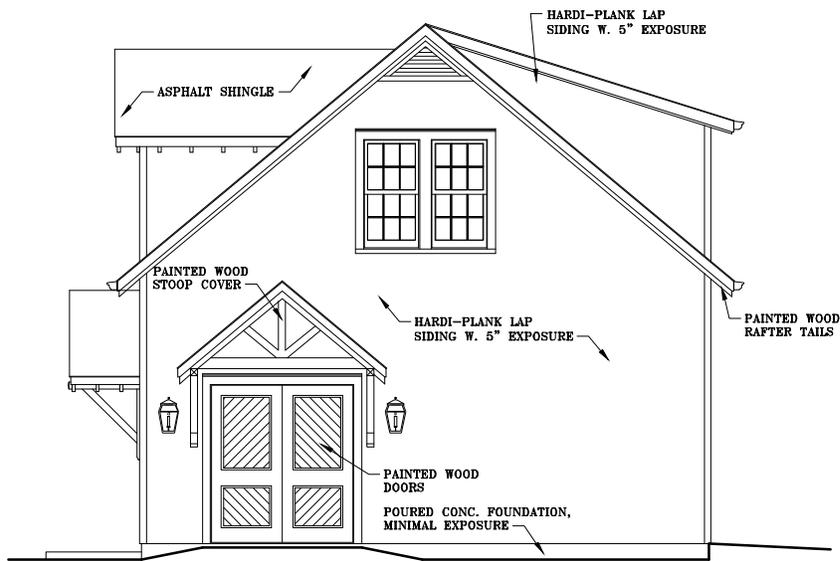
SCALE:
1/8" = 1'-0"

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ELEVATIONS
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YARD ELEVATION



SIDE ELEVATION

A-5

SCALE:
1/8" = 1'-0"

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