



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
2006 Beechwood Avenue
March 19, 2014

Application: Demolition—outbuilding; New construction—outbuilding; Setback determination

District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 10416018500

Applicant: James W. Larkins

Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Applicant proposes to demolish an existing outbuilding and construct a new carport that is seven hundred and thirty square feet (730 sq. ft.). The new carport requires a determination of the side and rear setbacks. Base zoning requires that the outbuilding be placed a minimum of twenty feet (20') from the rear property line and five feet (5') from the side property lines. The applicant proposes to locate the outbuilding three feet (3') from the right side property line and thirteen feet (13') from the rear property line.

Recommendation Summary: Staff recommends approval of the demolition, new outbuilding construction, and setback determination with the following conditions:

1. The cement fiberboard siding be smooth faced and have a maximum reveal of five inches (5");
2. Staff review and approve the asphalt shingle color and the door selection prior to purchase and installation.

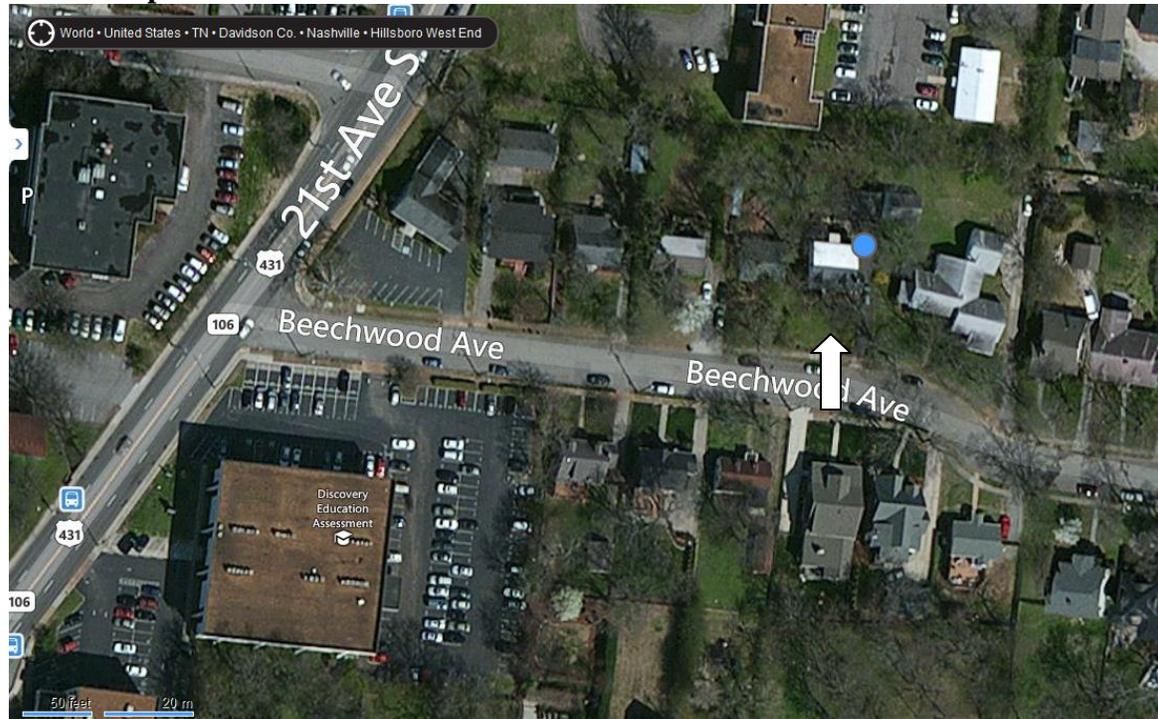
With these conditions, staff finds that the project meets Sections II.B. and III.B.2.b. of the *Belmont-Hillsboro Neighborhood Conservation District: Handbook and Design Guidelines*.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

I. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

III. DEMOLITION

A. PRINCIPLE

The demolition of a building, or major portion of a building, which contributes historically or architecturally to the character and significance of the district is not appropriate and should be avoided.

B. GUIDELINES

Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: 2006 Beechwood Avenue is a c. 1941 brick house that contributes to the historic character of the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay (Figure 1).



Figure 1. 2006 Beechwood primary structure

Analysis and Findings:

Applicant proposes to demolish an existing outbuilding and construct a new carport that is seven hundred and thirty square feet (730 sq. ft.). The new carport requires a determination of the side and rear setbacks. Base zoning requires that the outbuilding be placed a minimum of twenty feet (20') from the rear property line and five feet (5') from the side property lines. The applicant proposes to locate the outbuilding three feet (3') from the right side property line and thirteen feet (13') from the rear property line.

Demolition: The applicant is proposing to demolish an existing outbuilding (Figure 2). The outbuilding may be the same structure that appears on the 1957-61 Sanborn Map (Figure 3). However, the existing outbuilding lacks historic and architectural significance, and its demolition will not adversely affect the historic character of the site or the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay. Staff therefore finds that the project meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

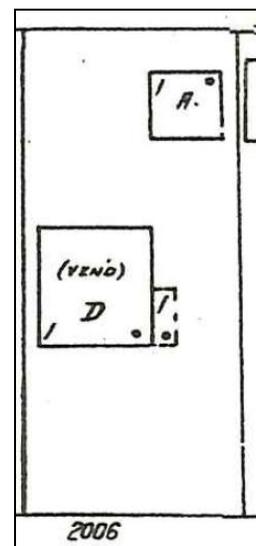


Figure 2 (left) shows the existing outbuilding and Figure 3 (right) shows the 1957-61 Sanborn Map

Height & Scale: The proposed outbuilding will be twenty-four feet, four inches (24'4") wide and thirty feet (30') deep, or seven hundred and thirty square feet (730 sq. ft.). By comparison, the footprint of the primary building is approximately one thousand, three hundred, and forty-eight square feet (1,348 sq. ft.). The first twenty-two feet (22') of the outbuilding will be an open carport, and the remaining eight feet (8') will be enclosed.

The outbuilding will have an eave height of eight feet and ten and a half inches (8' 10.5") from grade. The outbuilding's ridge height will be approximately eighteen feet and four and a half inches (18'4.5"). Staff finds that the outbuilding's height and scale are subordinate to the primary building and meet sections II.B.1.a., II.B.1. b., and II.B.1.i. of the design guidelines.

Setback & Rhythm of Spacing: The outbuilding is to be constructed behind the historic house, in the rear yard, which is appropriate. Because the proposed building has a footprint greater than seven hundred square feet (700 sq. ft.), base zoning requires that the outbuilding be placed a minimum of twenty feet (20') from the rear property line and five feet (5') from the side property lines. The applicant is requesting a setback determination for the right side and the rear. The applicant proposes to locate the outbuilding three feet (3') from the right side property line and thirteen feet (13') from the rear property line. Staff finds the proposed setbacks to be appropriate for several reasons. The existing accessory structure is located just a little less than three feet (3') from the side property line, and therefore the new outbuilding, which is largely an open carport, will not significantly alter the existing side setback. Also, an examination of the Metro Map shows that there are many outbuildings along Beechwood Avenue that sit closer than five feet (5') from the side property line and twenty-feet (20') from the rear property line. In fact, outbuildings like this one historically were located close to the rear and the side property lines. Staff finds that the proposed outbuilding meets sections II.B.1.c. and II.B.1.i. of the design guidelines.

Materials: All of the proposed materials have been approved in the past in the Belmont-Hillsboro conservation zoning overlay. The primary cladding material will be cement fiberboard siding. Staff asks that the siding be smooth face and have a reveal of five inches (5") or less. The carport columns will be wood. The trim will be wood or cement fiberboard. The material of the door to the storage area was not specified, and staff asks to approve the door prior to purchase and installation. The roof will be asphalt shingle, and staff asks to approve the shingle color. The foundation will be a concrete slab. With the aforementioned staff approvals, staff finds that the materials meet sections II.B.1.d. and II.B.1.i. of the design guidelines.

Roof form: The outbuilding will have a front-gabled roof with a slope of 8/12. Staff finds that this roof form is compatible with the primary structure and with the surrounding historic context. Staff therefore finds that the roof form meets sections II.B.1.e. and II.B.1.i. of the design guidelines.

Proportion and Rhythm of Openings: The outbuilding will be a carport that is largely open in nature. The only opening proposed for the enclosed portion of the outbuilding is

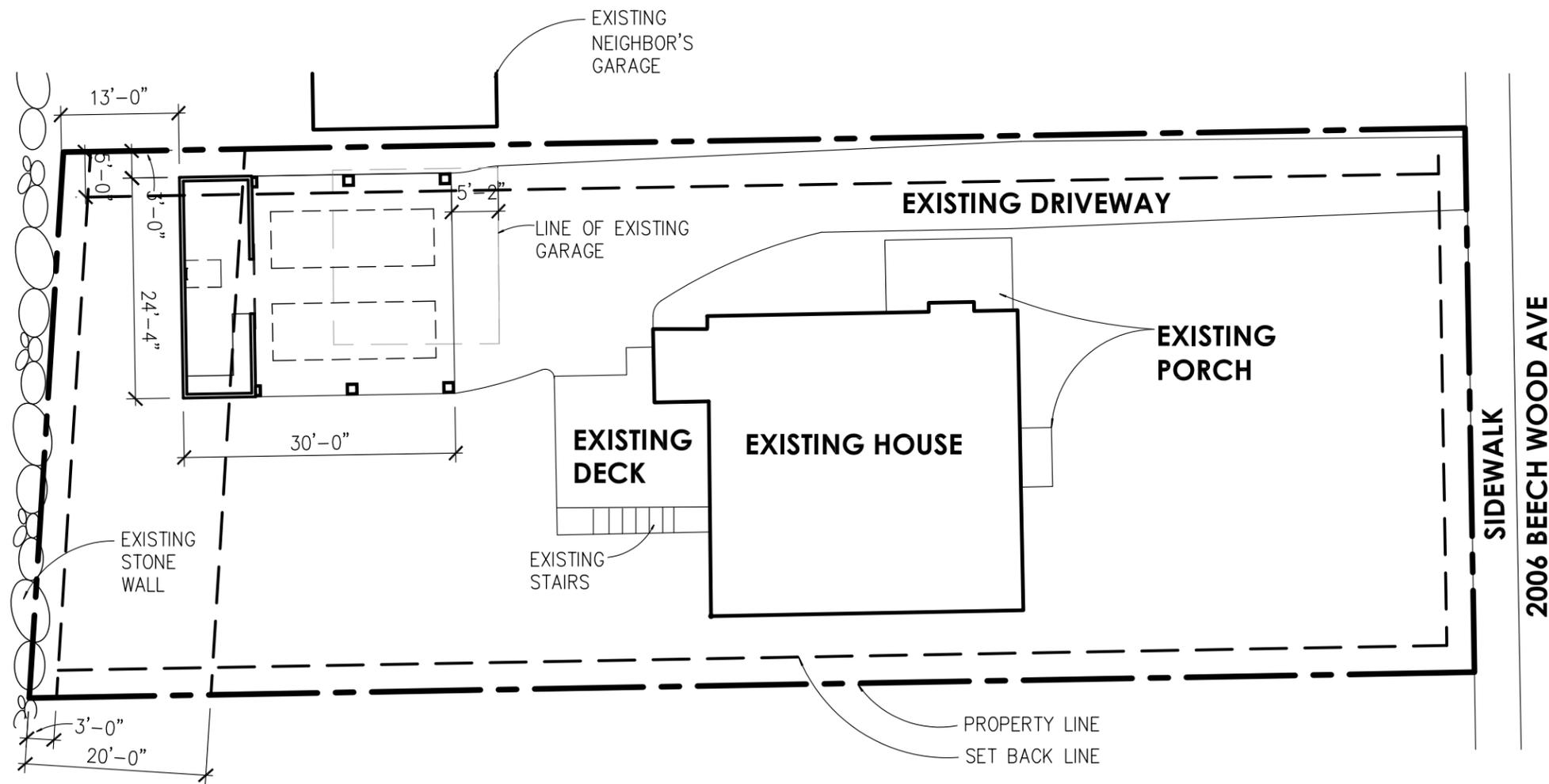
a sliding barn-door style door opening. Staff finds that the proportion and rhythm of openings are appropriate for an outbuilding and meet sections II.B.1.g. and II.B.1.i. of the design guidelines.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The carport will be accessed via an existing driveway. Staff finds that the project meets sections II.B.1.h. and II.B.1.i. of the design guidelines.

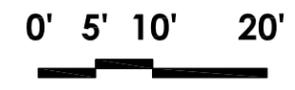
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2. Staff review and approve the asphalt shingle color and the door selection prior to purchase and installation.

With these conditions, staff finds that the project meets Sections II.B. and III.B.2.b. of the *Belmont-Hillsboro Neighborhood Conservation District Handbook and Design Guidelines*.



A1 SITE PLAN
1/16" = 1'-0"



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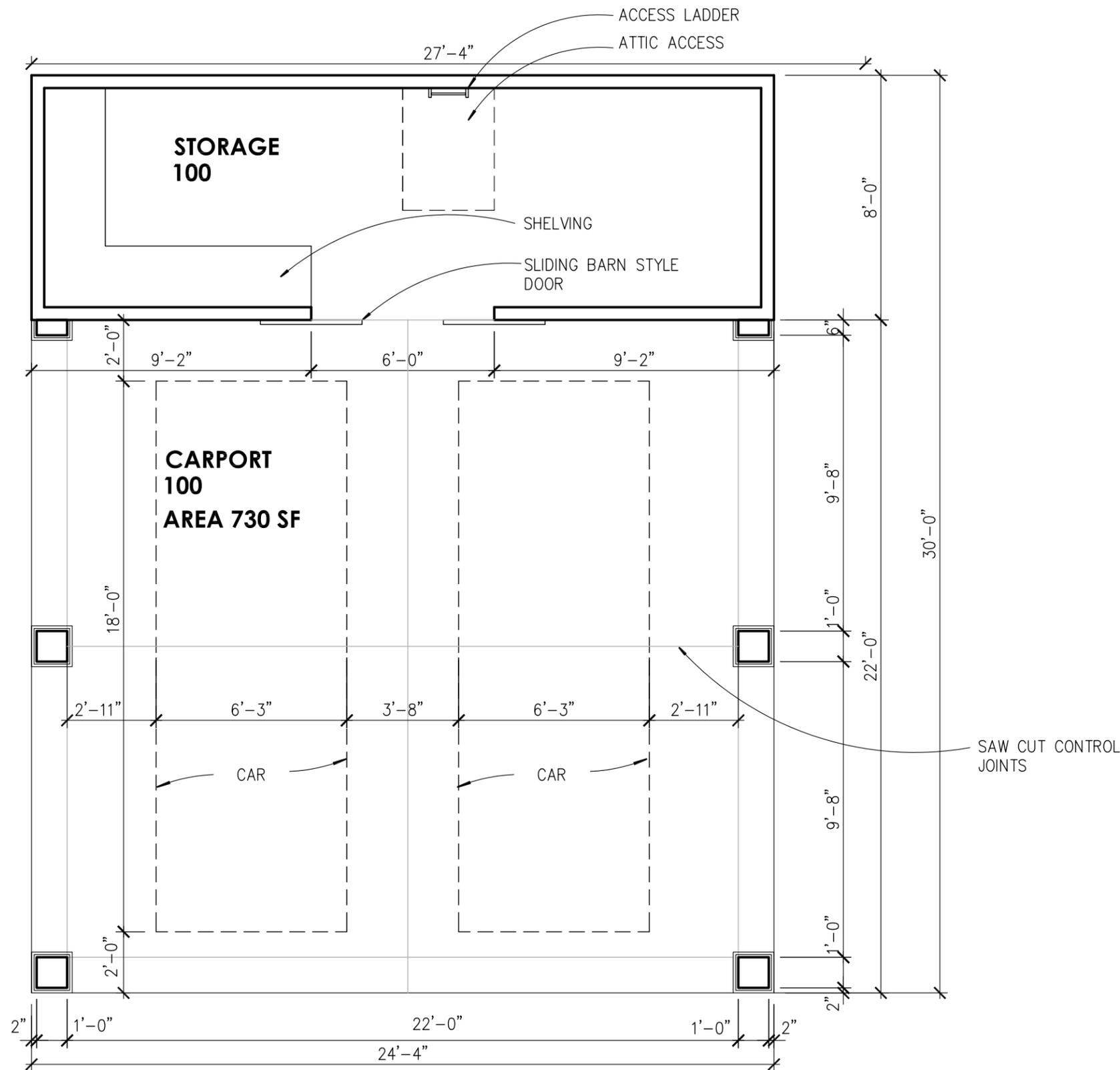
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CARPORT

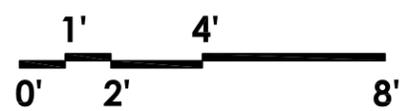
**2006 SWEET BRIAR AVE.
NASHVILLE TN, 37212**

REV. DATE:
02.14.14
NOTE:
HISTORIC COMMISSION
SUBMISSION

DRAWING REFERENCE
A0.05



A1 PLAN
1/4" = 1'-0"



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Larch
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CARPORT

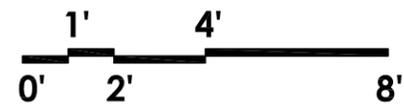
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A0.01



E1 FRONT ELEVATION
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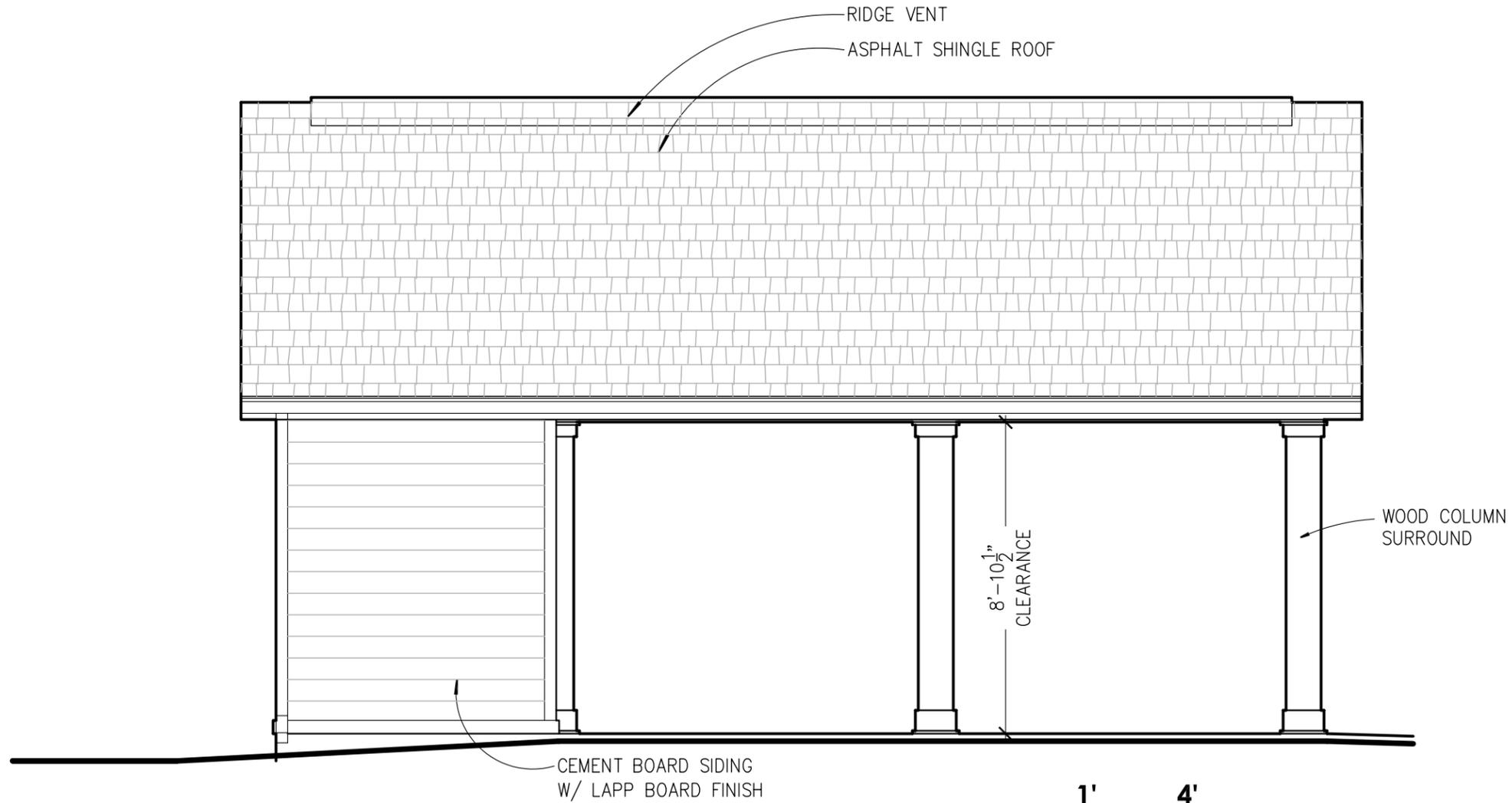
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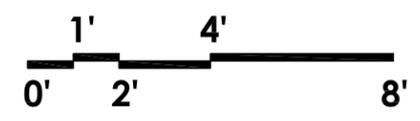
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A0.02



A7 SIDE ELEVATION
 1/4" = 1'-0"



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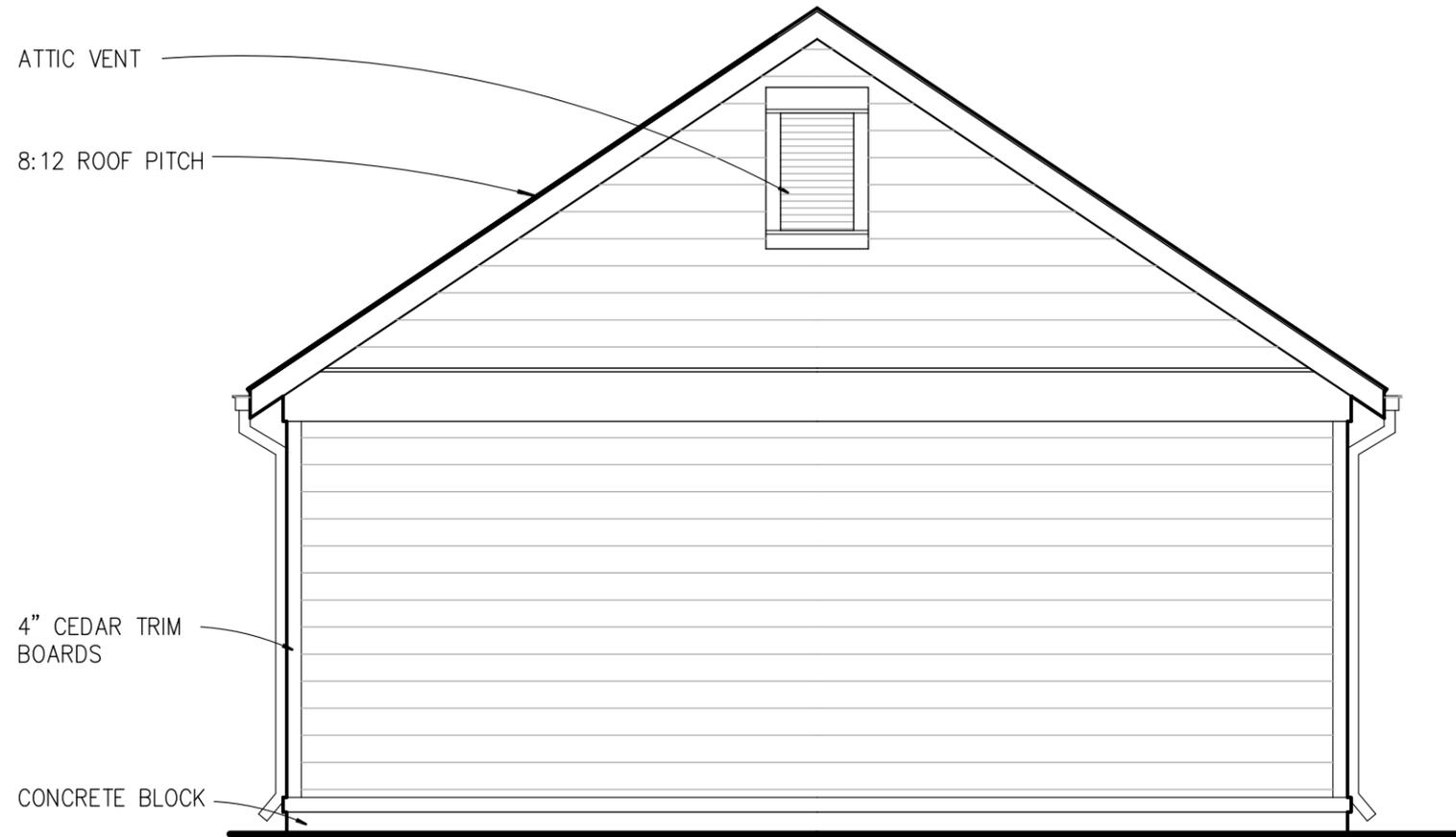
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CARPORT

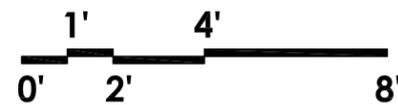
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DRAWING REFERENCE
A0.03



E7 REAR ELEVATION
 1/4" = 1'-0"



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Architecture

CARPORT

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A0.04