



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1107 Lillian Street
April 16, 2014

Application: New construction – infill
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08313012800
Applicant: Troy Stackhouse, Odyssey Construction
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to construct a one and one-half story house.</p> <p>Recommendation Summary: Staff recommends approval of the new house at 1107 Lillian Street with the conditions that:</p> <ul style="list-style-type: none">• Specific window and door selections are approved by staff, and• There is not a front-yard parking area. <p>With those conditions met, Staff finds that the project will meet the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

Background: Prior to 1957, the lot at 1107 Lillian Street was part of the property at 1106 Fatherland Street. The rear seventy feet (70') was divided off in May of 1957, creating a new lot on Lillian Street that is smaller than the standard lot-size that would be permitted today. The structure currently at 1107 Lillian Street, which dates to after the subdivision, was approved for demolition by the MHZC on March 19, 2014.



Analysis and Findings: The applicant proposes to construct a new single-family dwelling.

Height & Scale:

The proposed new building will be a one and one-half story house. The roof height from grade will be twenty-seven feet (27'), with an eave height of twelve feet (12') from grade. The foundation at the front of the house will be twenty-four inches (24") tall, with a ten inch (10") wide water-table band just below the floor level. By comparison, historic houses nearby range between fifteen feet (15') and thirty feet (30') tall. Foundation heights in the 1100 block of Lillian Street are similar as well. Staff finds that the heights will be compatible with surrounding houses.

The house will be thirty-three feet (33') wide at the front and increase to thirty-seven feet (37') toward the rear of the building. From the front to the rear, the building will be thirty-five feet (35') deep. Nearby houses on Lillian Street range between twenty-eight feet (28') and thirty-four feet (34') wide, but are generally more than forty-feet (40') deep. The shallowness of this lot does not allow the house to be deeper without encroaching on the rear setback.

Staff finds that the height and scale of the new house would be compatible with surrounding historic houses and meet guidelines II.B.1. and 2.

Setback & Rhythm of Spacing:

The front edge of the new house will align with the fronts of adjacent houses, approximately fifteen feet (15') from the street. The side setbacks will be six feet (6') and seven feet (7') on the left and right, respectively. The surrounding lots on this section of Lillian Street are not uniform in their widths and depths, and for that reason staff finds that the proposed setbacks will not disrupt an established spacing pattern. Given the atypical dimensions of the lot, staff finds that the setbacks of the proposed house will be compatible with the surrounding area. Staff finds that the new house will meet guideline II.B.3.

Materials:

The new house will primarily be clad in smooth-face cement fiberboard with a five inch (5") reveal, with cement-fiberboard shingle siding in the gable fields. The trim will be a

wood-composite and the porch columns will be wood. The foundation will be split-faced concrete block, and the roof will be asphalt shingles in a “weathered wood” color. The door will be wood and glass and the windows will be wood, but staff asks to approve the specific selections prior to purchase. The porch floor and stairs will be concrete. With the staff’s final approval of the windows and doors, staff finds that the known materials meet guideline II.B.4.

Roof form:

The primary roof of the new house will be a side-oriented gable with a pitch of 10:12. A smaller front-projecting gable will have a pitch of 8.5:12, and the porch will have a shed-roof with a pitch of 3:12. Staff finds that the roof forms of the new house will be compatible with those of surrounding historic houses and meet guideline section II.B.5.

Orientation:

The orientation of the new house will match other houses nearby. A recessed front porch will address the street with a walkway leading from the house to the front edge of the property. This section of Lillian Street does not have an alley at the rear, causing most of the existing houses nearby to have side-yard driveways or on-street parking to accommodate cars. A front-yard parking area is proposed here. Because of the unusual dimensions of the lot, a side driveway is not feasible at this location but front-yard parking is generally not found in this historic district. Staff does not recommend approval of the front yard parking. With the condition that the site not have a front-yard parking area, Staff finds the orientation of the new house to be compatible with the surrounding context and to meet guideline II.B.6.

Proportion and Rhythm of Openings:

The windows on the proposed new house are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project’s proportion and rhythm of openings to meet guideline II.B.7.

Appurtenances & Utilities:

The location of the HVAC will be on the left side façade beyond the midpoint of the house. The meets guideline II.B.9.

Recommendation: Staff recommends approval of the new house at 1107 Lillian Street with the conditions that:

- Specific window and door selections are approved by staff, and
- There is not a front-yard parking area.

With those conditions met, Staff finds that the project will meet the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.



1107 Lillian



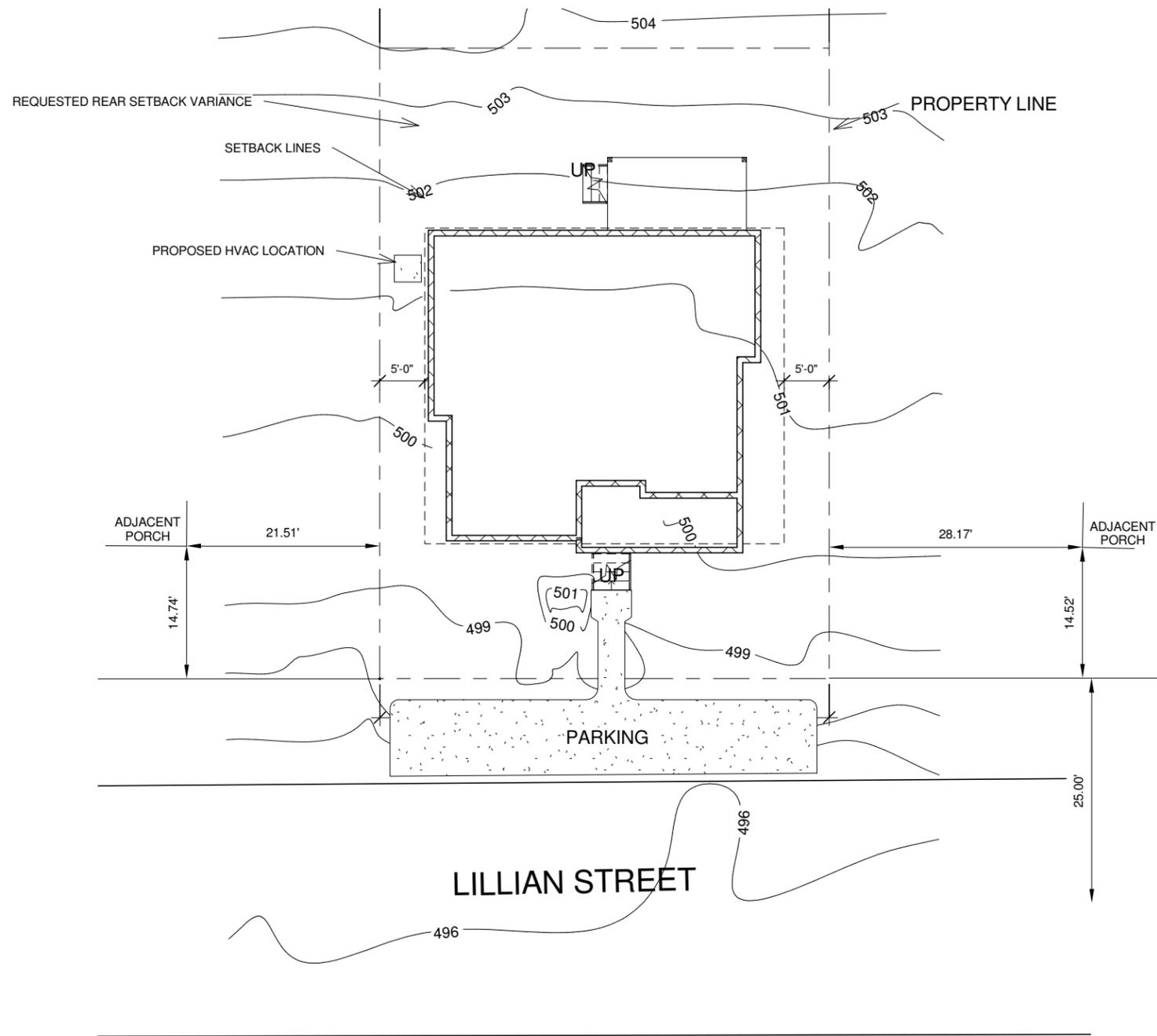
1109 Lillian Street



Context: recent infill on 1200 Block of Lillian Street.



Context: recent infill on 1200 Block of Lillian Street.



2 Copy of 3D View 2

1 Historic - Site Plan
1/16" = 1'-0"

Site

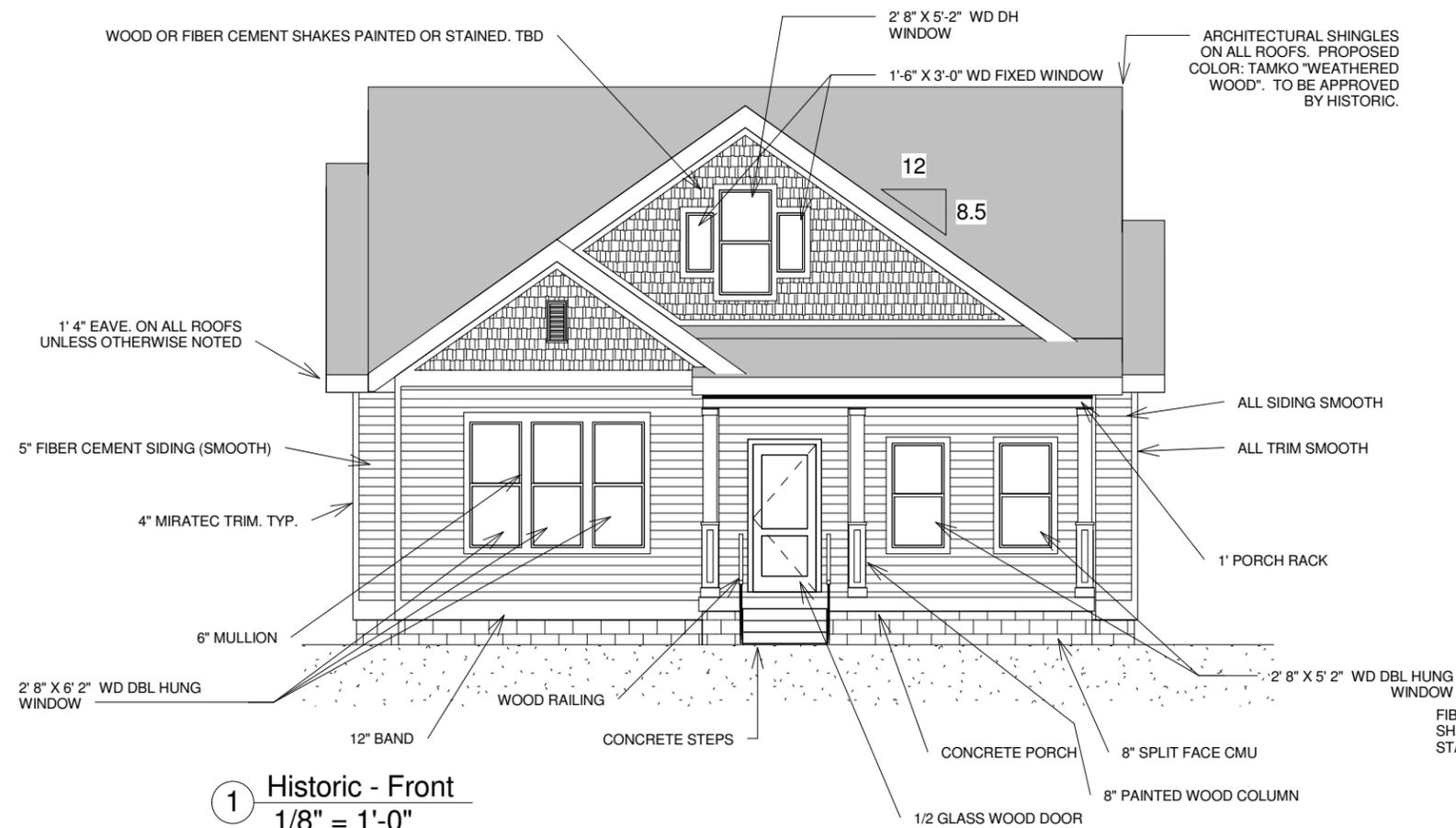
1107 Lillian St.
Nashville, TN

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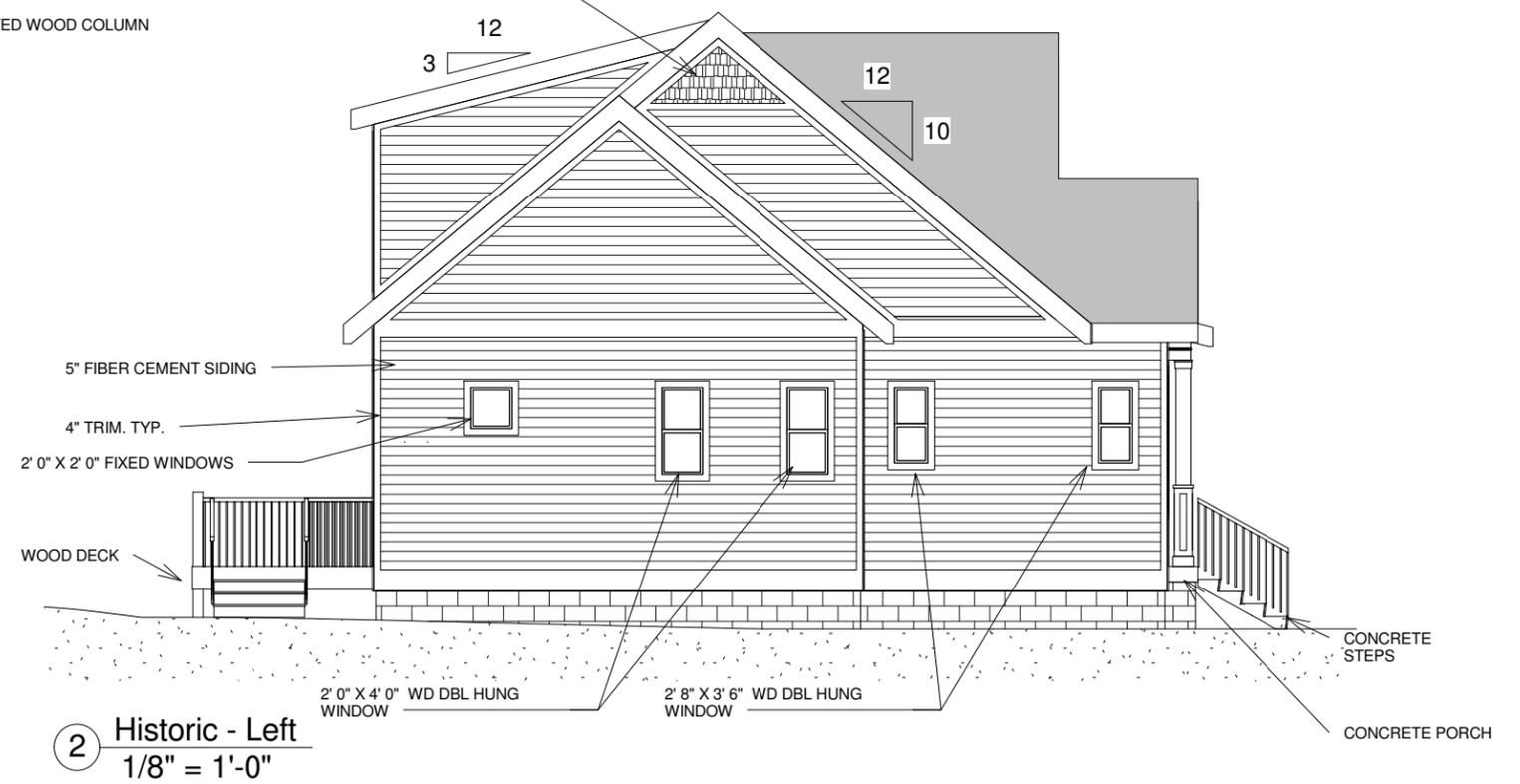
PROJECT INFORMATION

STYLE	LIVING	FOOTAGE		DETAILS
		Heated & Cooled	Gross	
HOUSE STYLE: ---	BEDROOMS: 3	FIRST FLOOR: 1068 SQ FT	1132 SQ FT	OVERALL WIDTH: 33'
	BATH: 2	SECOND FLOOR: 716 SQ FT	765 SQ FT	OVERALL LENGTH: 35'
	HALF BATH: 1	THIRD FLOOR:		OVERALL HEIGHT: 24'
STORIES: 1.5	FEATURES:	TOTAL (STORIES):	1784 SQ FT	1897 SQ FT
MASTER LOCATION: 1st		ADDITIONAL FOOTAGES:		CEILING HEIGHT (FIRST): 9'-0"
GARAGE:		GARAGE:		CEILING HEIGHT (SECOND): 9'-0"
	ROOF DECK:		CEILING HEIGHT (THIRD):	
			DOOR HEIGHT (FIRST): 7'-0"	
				DOOR HEIGHT (SECOND): 6'-8"
				DOOR HEIGHT (THIRD):





1 Historic - Front
1/8" = 1'-0"



2 Historic - Left
1/8" = 1'-0"



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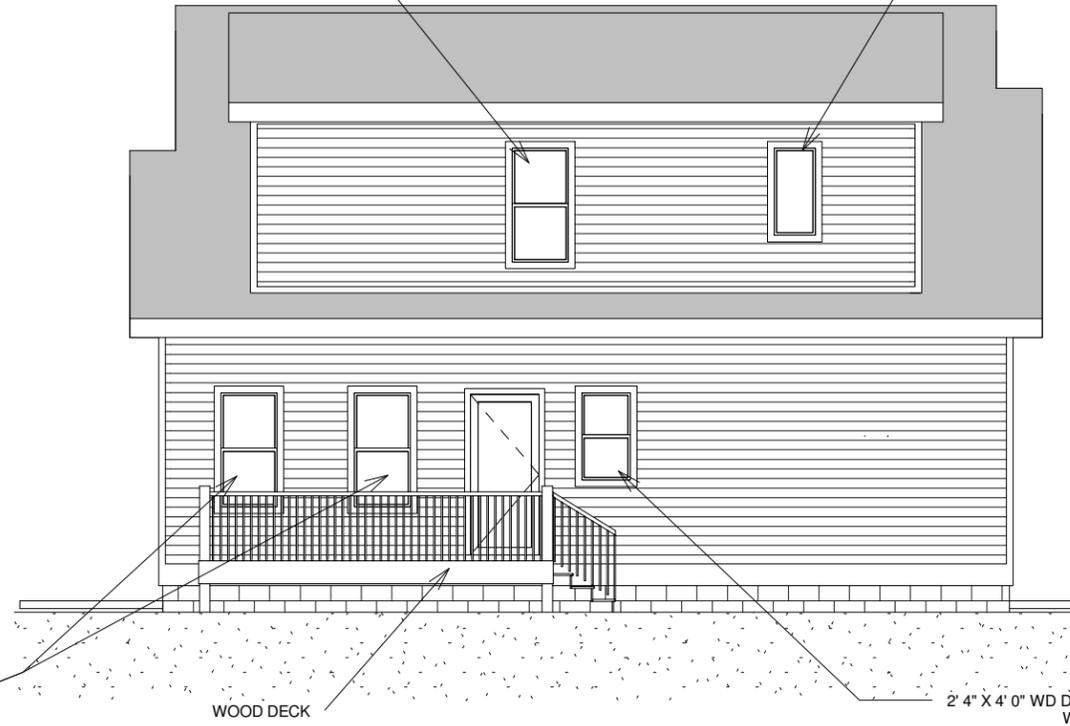
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1107 Lillian St.
Nashville, TN

Elevations		H2
Date	4/3/14	
Drawn by	J. Feller	Scale 1/8" = 1'-0"

2' 8" X 5' 2" WD DBL HUNG WINDOW

2' 0" X 4' 0" FIXED WINDOWS

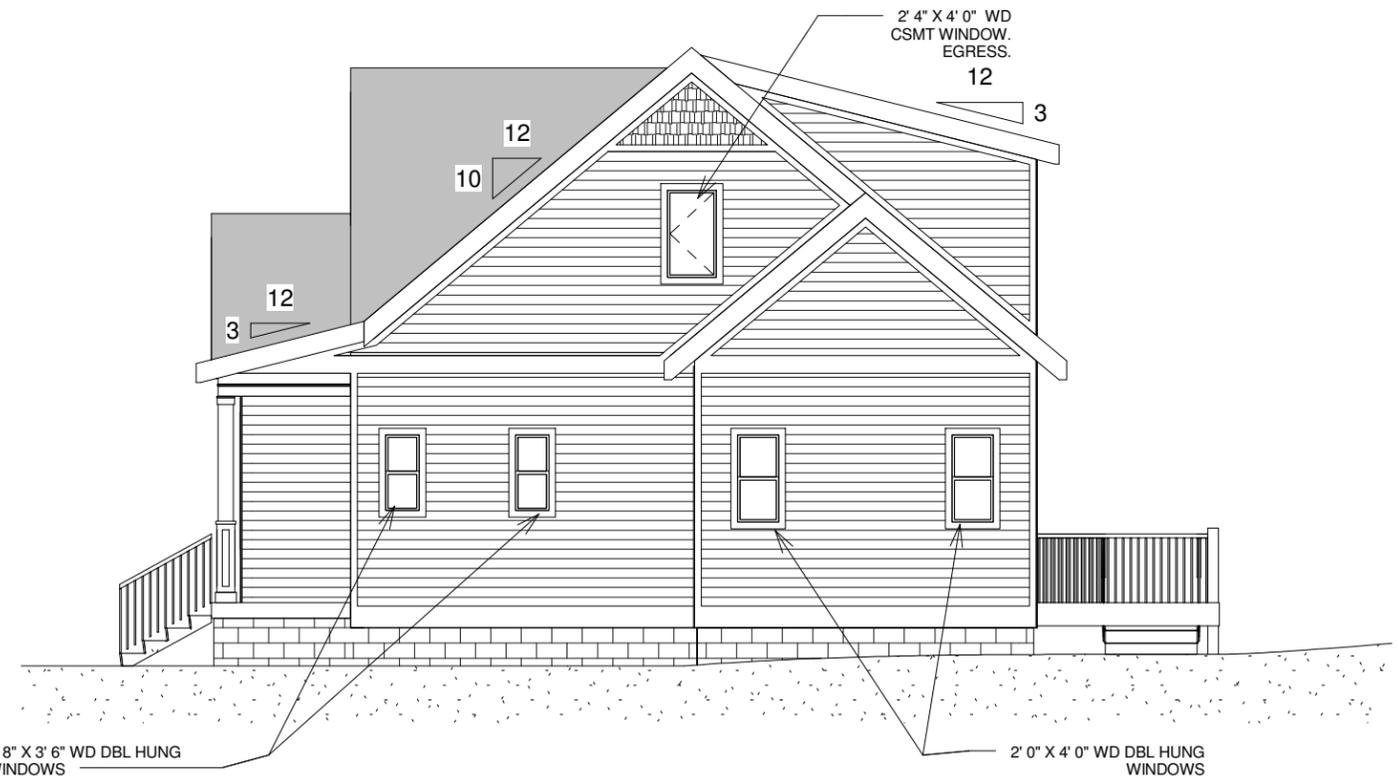


2' 8" X 5' 2" WD DBL HUNG WINDOWS

WOOD DECK

2' 4" X 4' 0" WD DBL HUNG WINDOWS

1 Historic - Rear
1/8" = 1'-0"



2' 4" X 4' 0" WD CSMT WINDOW. EGRESS.

12

3

12

10

12

3

1' 8" X 3' 6" WD DBL HUNG WINDOWS

2' 0" X 4' 0" WD DBL HUNG WINDOWS

2 Historic - Right
1/8" = 1'-0"



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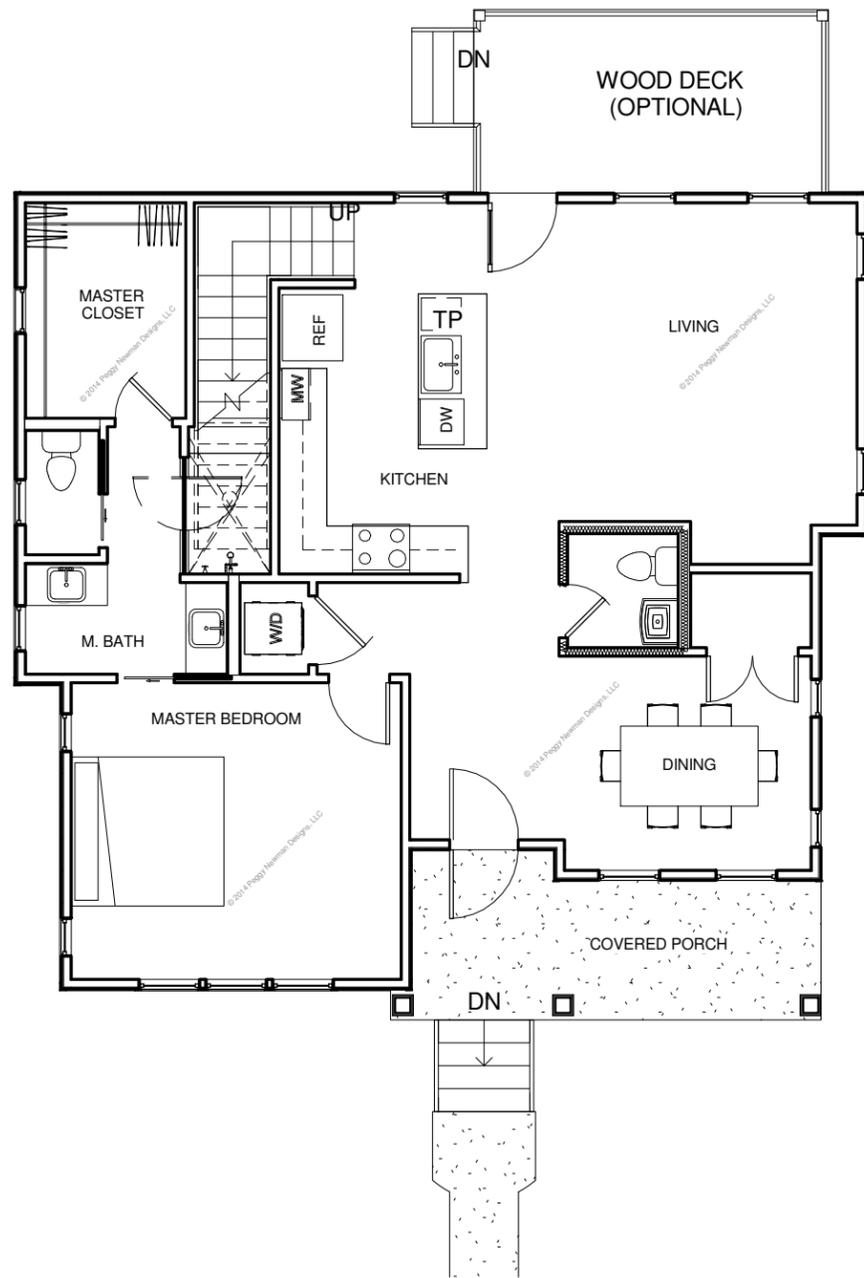
1107 Lillian St.
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Elevations

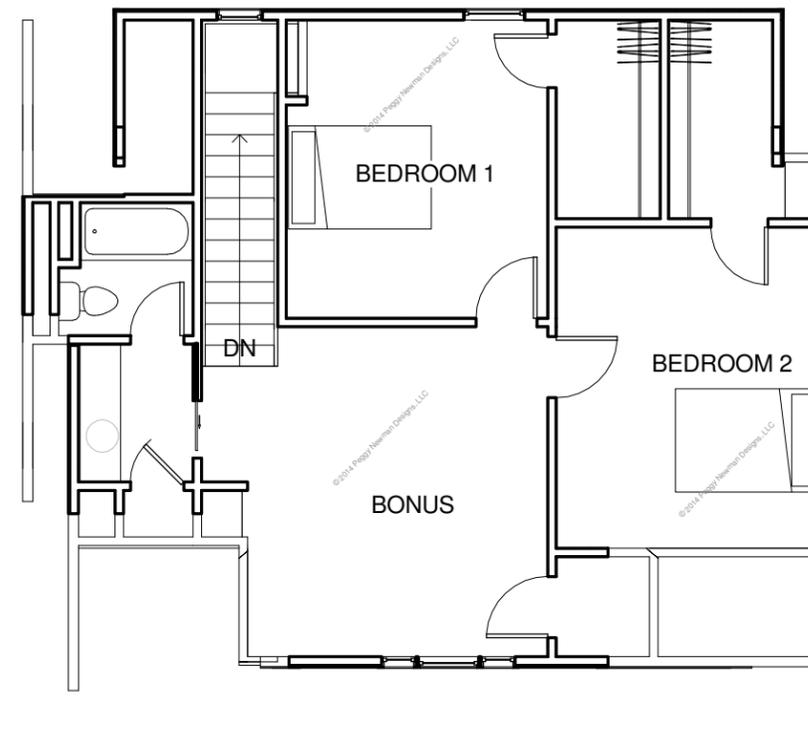
Date 4/3/14
Drawn by J. Feller

H3

Scale 1/8" = 1'-0"



1 Historic - First Floor
1/8" = 1'-0"



2 Historic - Second Floor
1/8" = 1'-0"



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Floor Plans		H4
Date	4/3/14	
Drawn by	J. Feller	Scale 1/8" = 1'-0"