



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1807 4th Avenue North
April 16, 2014

Application: New construction - infill
District: Salemtown Neighborhood Conservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08108028500
Applicant: Infill Development Services, LLC
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to construct a new two-story two-family dwelling.</p> <p>Recommendation Summary: Staff recommends approval of the new building at 1807 4th Avenue North with the condition that specific window and door selections are approved by staff, finding that the proposal meets the guidelines for the Salemtown Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. New Construction

A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. Where there is little historic context, existing construction may be used for context. Primary buildings should not be more than 35' tall.

B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;
- Shape of lot;
- Alley access or lack thereof;
- Proximity of adjoining structures; and
- Property lines.

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity
- Existing or planned slope and grade

D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. The majority of historic buildings are frame with a lap siding with a maximum of a 5" reveal. Only a few historic examples are masonry.
 - a. Inappropriate materials include vinyl and aluminum, T-1-11- type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
 - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard shingle, lap or panel siding . (Few buildings were historically brick and there are no stone examples.)
 - Lap siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
 - Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
 - Four inch (4") nominal corner boards are required at the face of each exposed corner.

- Stone or brick foundations should be of a compatible color and texture to historic foundations.
 - When different materials are used, it is most appropriate to have the change happen at floor lines.
 - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
 - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
3. Asphalt shingle and metal are appropriate roof materials for most buildings. Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. Common roof forms in the neighborhood include side, front and cross gabled, hipped and pyramidal. Typically roof pitches between 6/12 and 12/12. Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range. See page 9 for examples of common roof forms.
2. Small roof dormers are typical throughout the district and are appropriate on one-story buildings only, unless located on the rear. Wall dormers are only appropriate on the rear, as no examples are found historically in the neighborhood.

F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include partial- or full-width porches attached to the main body of the house or cut-away porches. Recessed entrances are not found in the overlay but in the greater Salemtown neighborhood and may be appropriate in some instances. Simple hoods over the entrance are also appropriate.
3. Porches should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals. Front, side, wrap-around and cutaway porches are appropriate. Porches are not always necessary and entrances may also be defined by simple hoods or recessed entrances.
4. Generally, curb cuts should not be added. Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

3. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

Background: A non-historic building at 1807 4th Avenue North was administratively approved for demolition in March, 2014.



Analysis and Findings: The applicant is proposing to construct a new two-story, two-family dwelling.

Height & Scale:

The new building will be two-stories tall with a side-gabled form, similar to the historic house at 1900 4th Avenue North. The lot has a slope which will be addressed by exposing four feet (4') of foundation on the left but only two feet (2') on the right. At the center the new building will have a roof ridge height of thirty-two feet (32') from grade, with an eave height of twenty-three feet (23'). The building will have a one-story porch with an eave height of twelve feet (12') at the center. The guidelines state that "where there is little historic context, existing construction may be used for context. Primary buildings should not be more than 35' tall." Because there is little historic context on this street, and because the height of the non-historic structures range between seventeen feet (17') and thirty-four feet (34'), staff finds that the proposed height meets the design guidelines.

The new building will be thirty-two feet, six inches (32'-6") wide for the front and rear sections, with a two feet wider (2') middle section. This central bump-out will provide articulation and help to break up the perceived massing of the building. Staff finds this width to match the surrounding context, with nearby, historic and non-historic houses ranging in width from twenty-four to thirty-six feet (24'- 36').

Staff finds the proposed new building will meet section II.B.1.a.and b. of the Salemtown design guidelines.

Setback & Rhythm of Spacing:

The new building will have a front setback of twenty-one feet (21'), which is the average of the front setbacks for the adjacent buildings. Both side setbacks will be approximately eight feet (8'). Staff finds that the setbacks of the new building will maintain the existing rhythm of spacing on the street, and that the project meets section II.B.1.c of the design guidelines.

Materials:

The new house will primarily be clad in smooth-face cement fiberboard with a five inch (5") reveal, with cement-fiber half-timbering in the gable fields. The trim will be a wood-composite and the porch columns will be wood. The foundation will be split-faced concrete block, and the roof will be asphalt shingles in a "weathered wood" color. The door will be wood and glass and the windows will be wood, but staff asks to approve the specific selections prior to purchase. The porch floor and stairs will be concrete. With the staff's final approval of the windows and doors, staff finds that the known materials meet Section II.B.1.d of the design guidelines.

Roof form:

The primary roof of the new building will be a side-oriented gable with a pitch of 7:12, with a 5:12 pitched gable extending toward the rear. The porch will have a hipped-roof with a pitch of 3:12. Staff finds that the roof forms of the new building will be compatible with those of surrounding historic houses and meet guideline II.B.1.e.

Orientation:

The orientation of the new building will match other houses nearby. It will have a full-width front porch engaging the street with two walkways, one from each unit, that connect it to the sidewalk. At the rear of the lot there will be a pair of paved parking areas accessed from the alley. Staff finds that the project meets guideline II.B.1.f.

Proportion and Rhythm of Openings:

The windows on the proposed new house are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings to meet guideline II.B.1.g.

Appurtenances & Utilities: The location of the HVAC units will be on the side façades beyond the midpoint of the building. The project meets section II.B.1.i.

Recommendation: Staff recommends approval of the new building at 1807 4th Avenue North with the condition that specific window and door selections are approved by staff, finding that the proposal meets the guidelines for the Salemtown Neighborhood Conservation Zoning Overlay.



Context to the south.



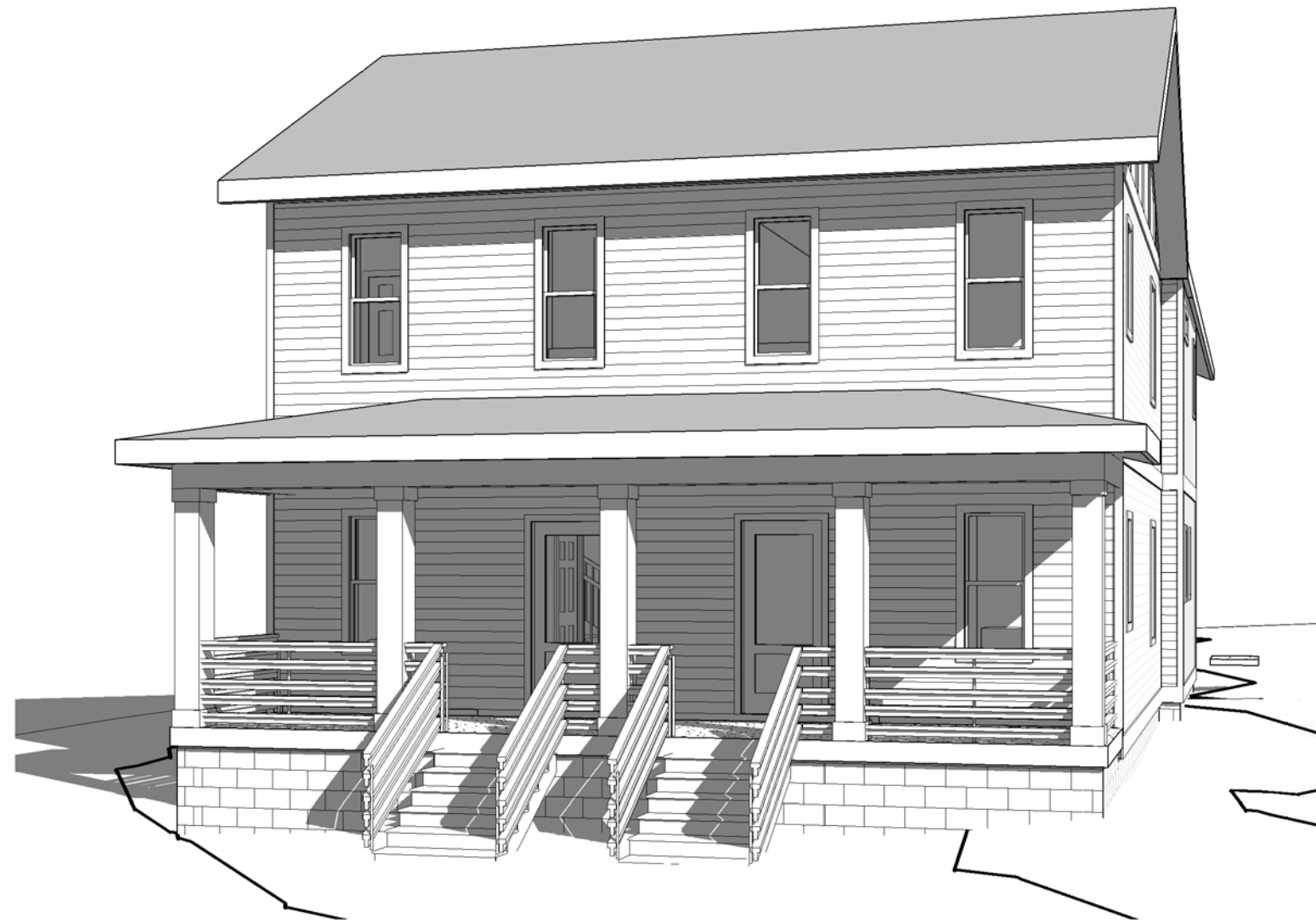
Context to the north.



Context across street.



Similar form on historic house at 1900 4th Avenue North.



1 3D View 7



SIMILAR MASSING AT 4TH AND COFFEE

PROJECT INFORMATION

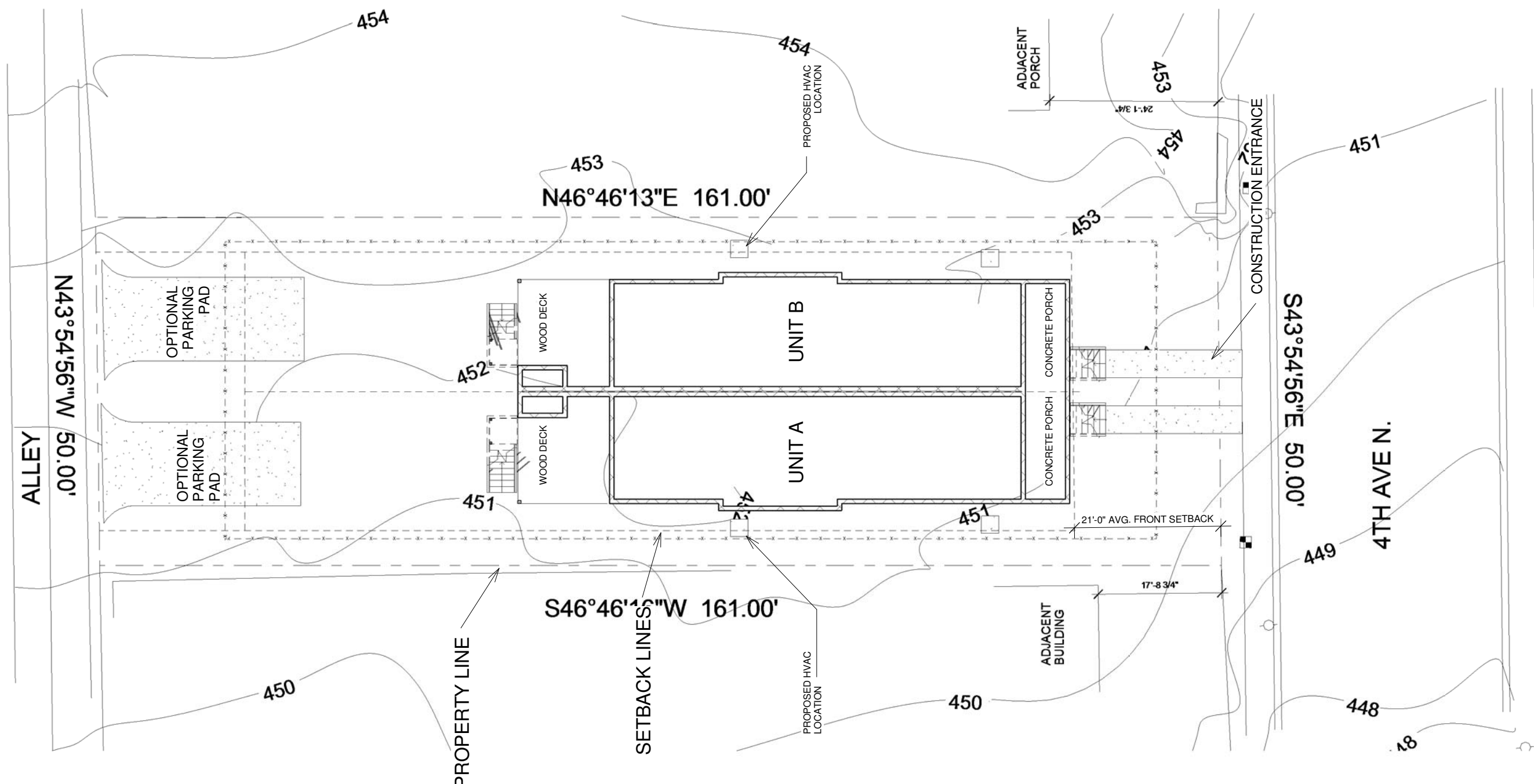
STYLE	LIVING	FOOTAGE (PER UNIT)		DETAILS
HOUSE STYLE: Traditional	BEDROOMS: 3	Heated & Cooled	Gross	OVERALL WIDTH: 32'
	BATH: 2			OVERALL LENGTH: 80'
STORIES: 2	HALF BATH: 1	FIRST FLOOR:	908 SQ FT	974 SQ FT
	FEATURES:	SECOND FLOOR:	957 SQ FT	1033 SQ FT
MASTER LOCATION: 2nd		THIRD FLOOR:		
GARAGE:		TOTAL (STORIES):	1865 SQ FT	2007 SQ FT
		ADDITIONAL FOOTAGES:		
		GARAGE:		
		ROOF DECK:		
				OVERALL HEIGHT: 29'
				CEILING HEIGHT (FIRST): 9'-0"
				CEILING HEIGHT (SECOND): 9'-0"
				CEILING HEIGHT (THIRD):
				DOOR HEIGHT (FIRST): 6'-8"
				DOOR HEIGHT (SECOND): 6'-8"
				DOOR HEIGHT (THIRD):

Hist. Prop.

1807 4th Ave N.
Nashville, TN

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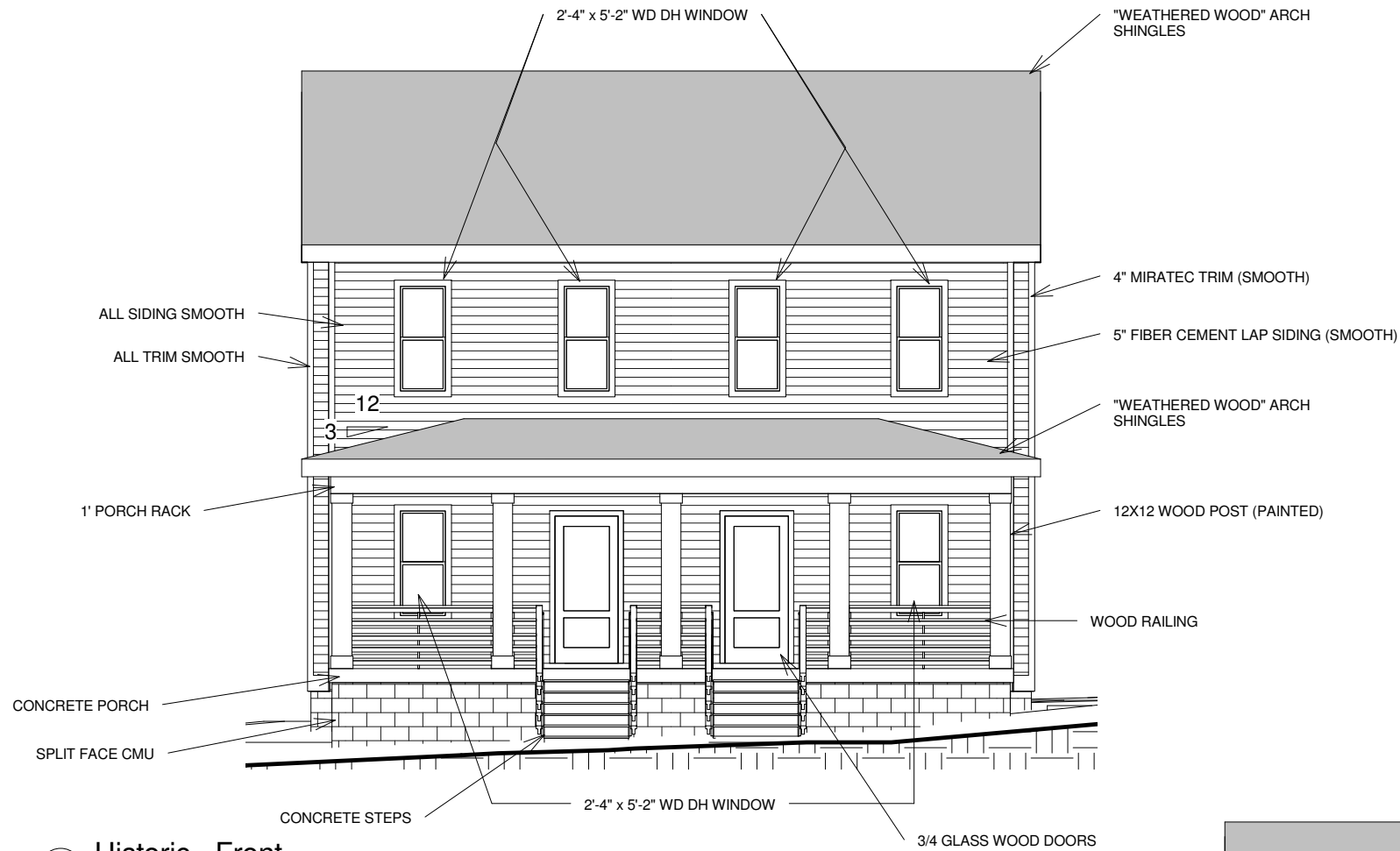
2 Historic - Site Plan
1/16" = 1'-0"



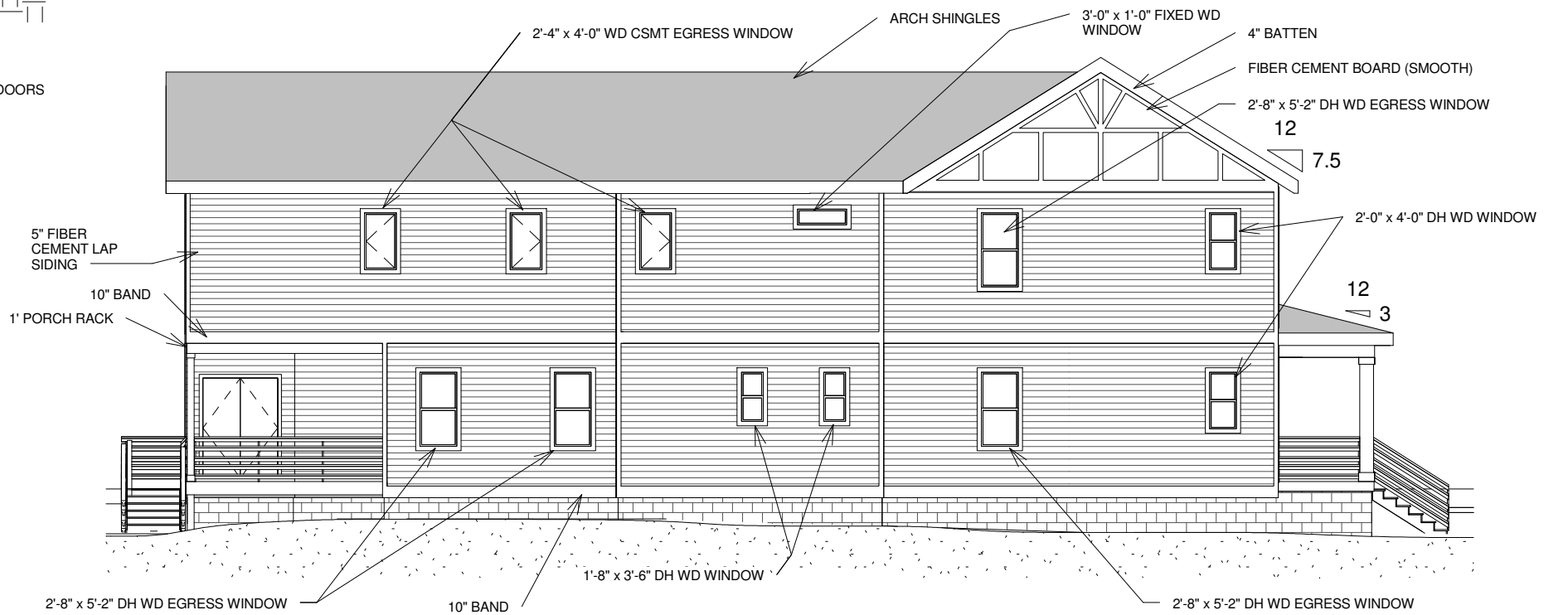
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1807 4th Ave N.
 NASHVILLE, TN

Site Plan		H1
Date	4/3/14	
Drawn by	J. Feller	Scale 1/16" = 1'-0"



1 Historic - Front
1/8" = 1'-0"



2 Historic - Left
3/32" = 1'-0"



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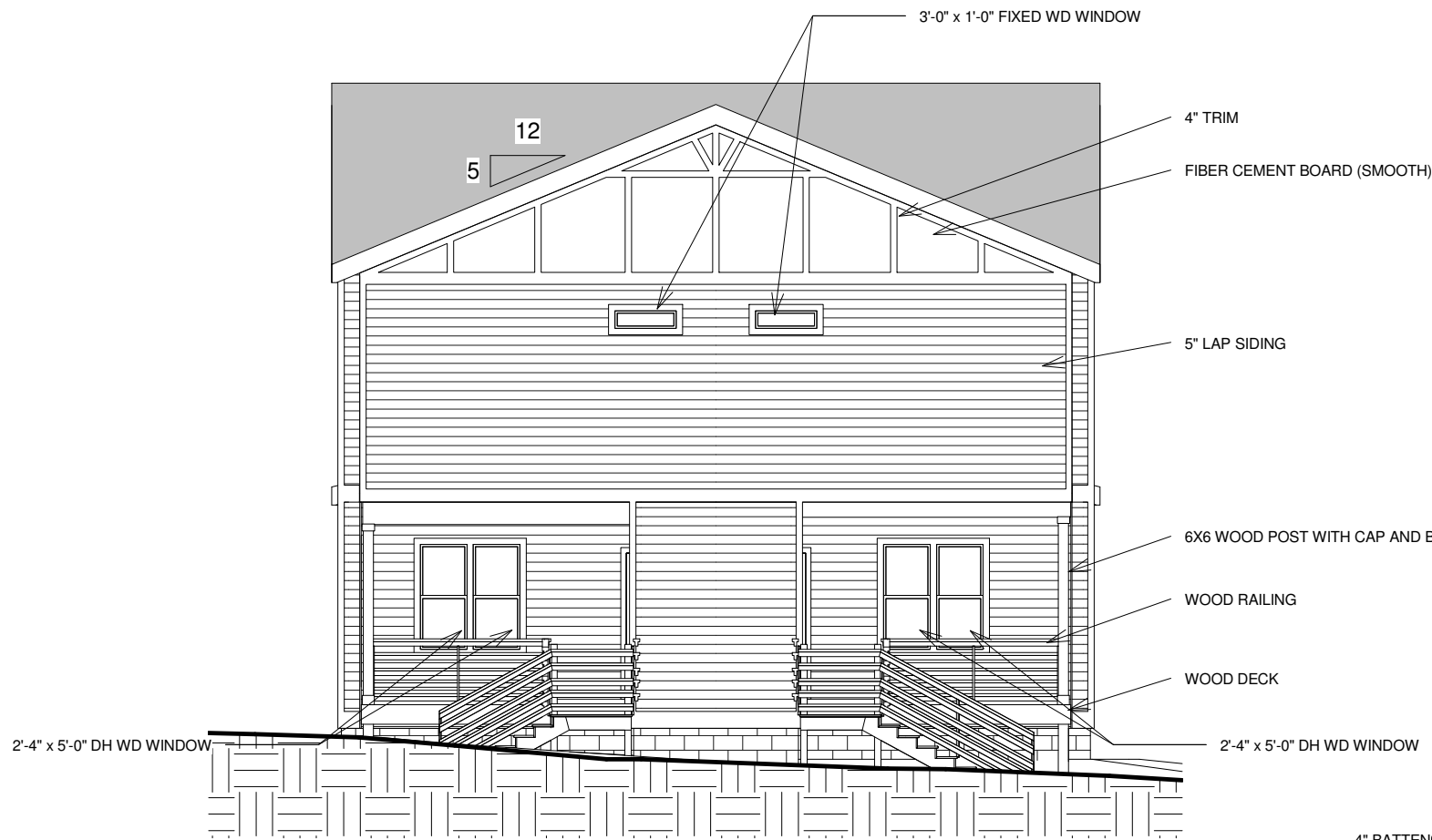
1807 4th Ave N.
NASHVILLE, TN

Elevations

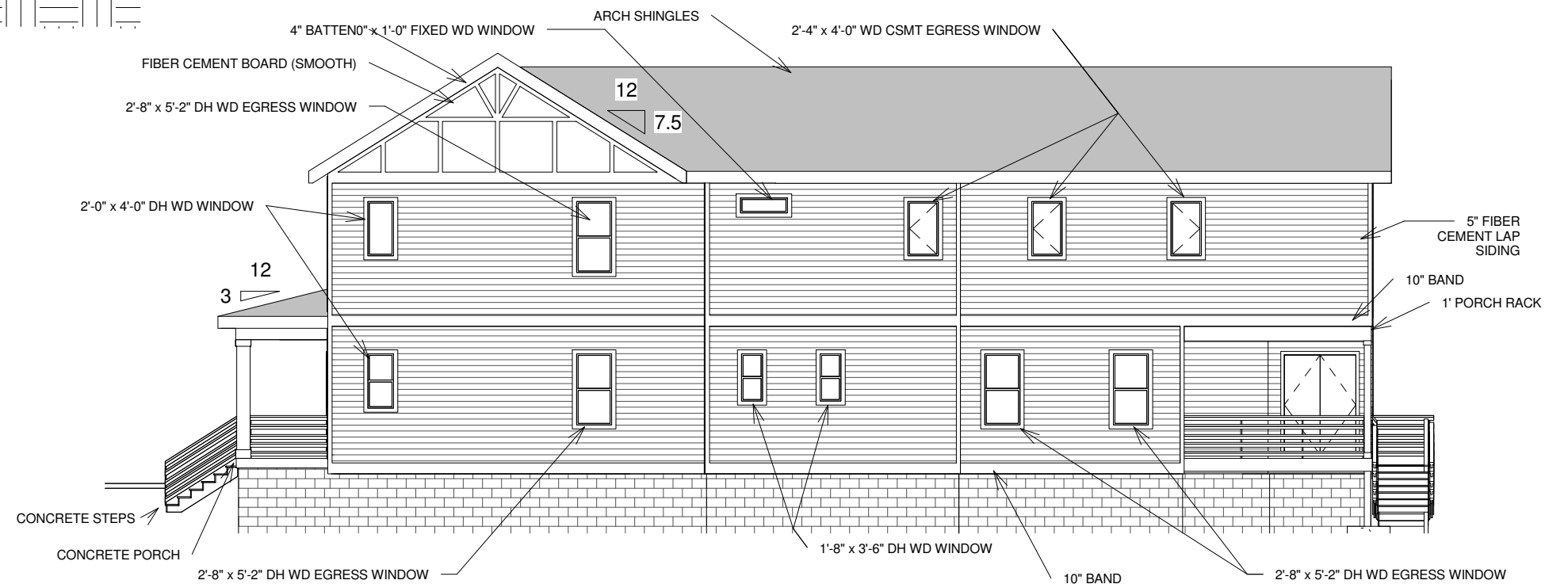
Date 4/3/14
Drawn by J. Feller

H2

Scale As indicated



1 Historic - Rear
1/8" = 1'-0"



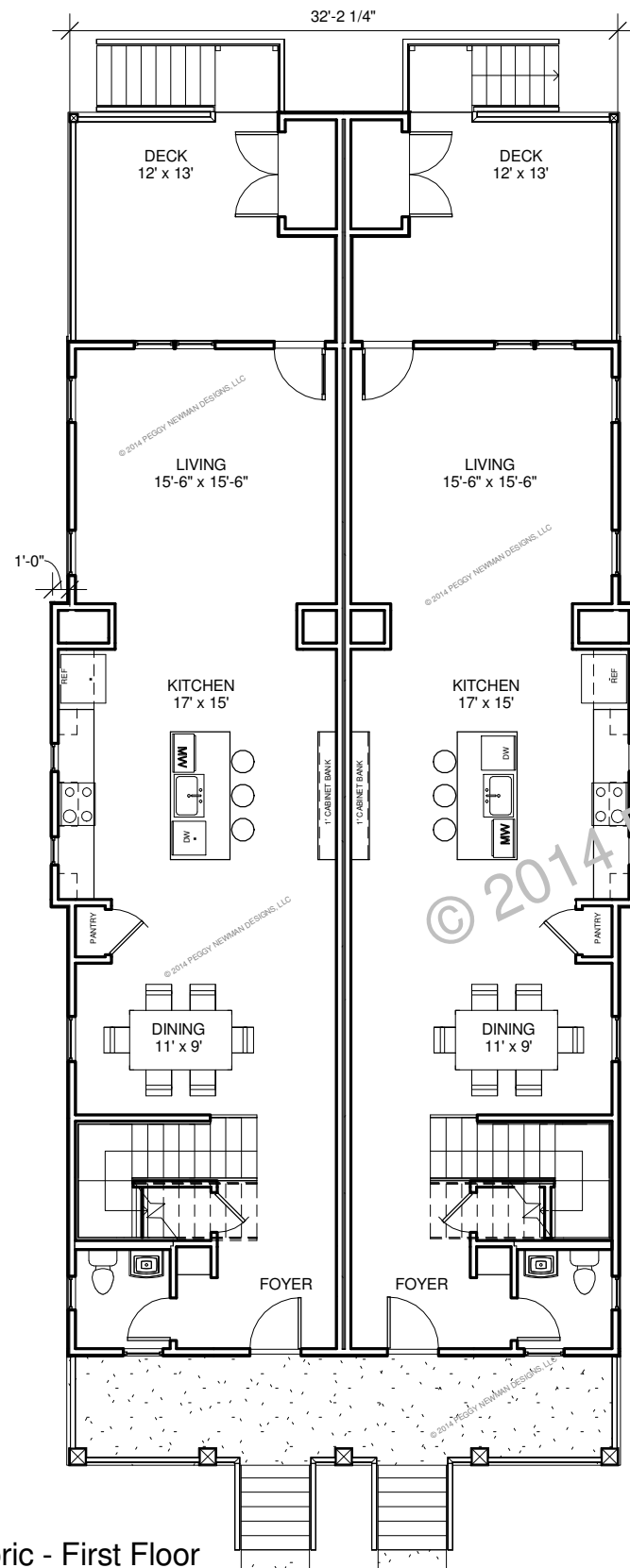
2 Historic - Right
3/32" = 1'-0"



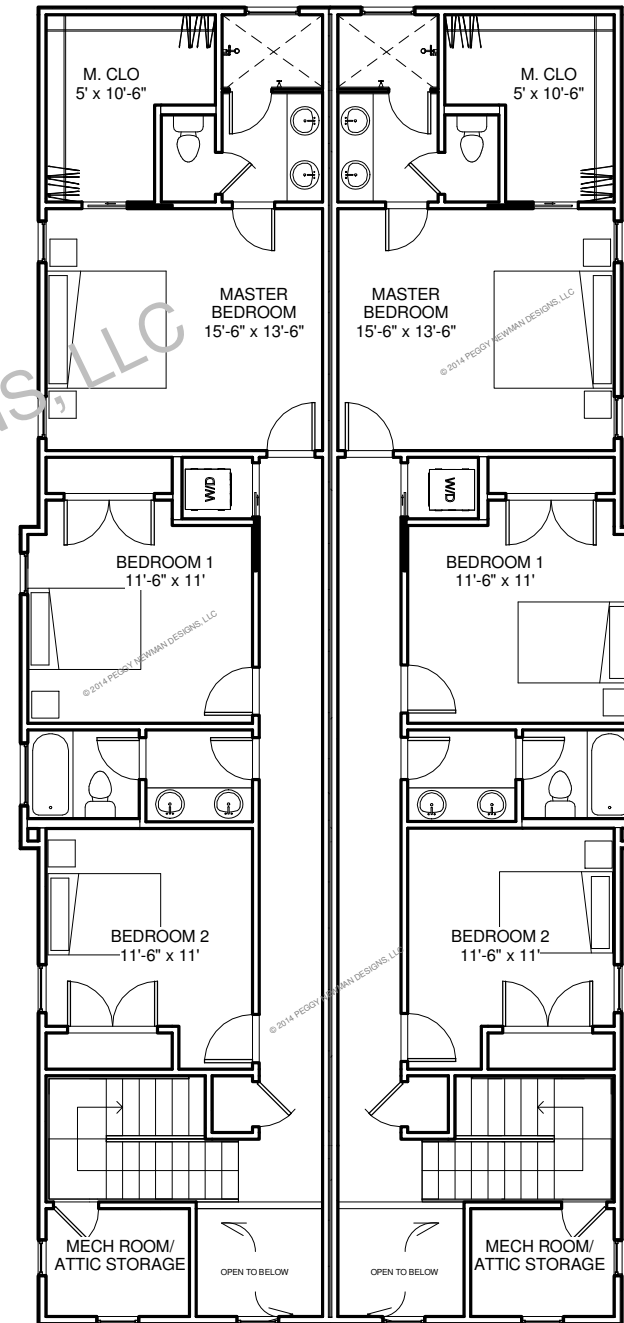
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1807 4th Ave N.
NASHVILLE, TN

Elevations		H3
Date	4/3/14	
Drawn by	Author	Scale As indicated



1 Historic - First Floor
3/32" = 1'-0"



2 Historic - Second Floor
3/32" = 1'-0"



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1807 4th Ave N.
 NASHVILLE, TN

Floor Plans		H4
Date	4/3/14	
Drawn by	J. Feller	Scale 3/32" = 1'-0"