



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**930B Russell Street**  
**April 16, 2014**

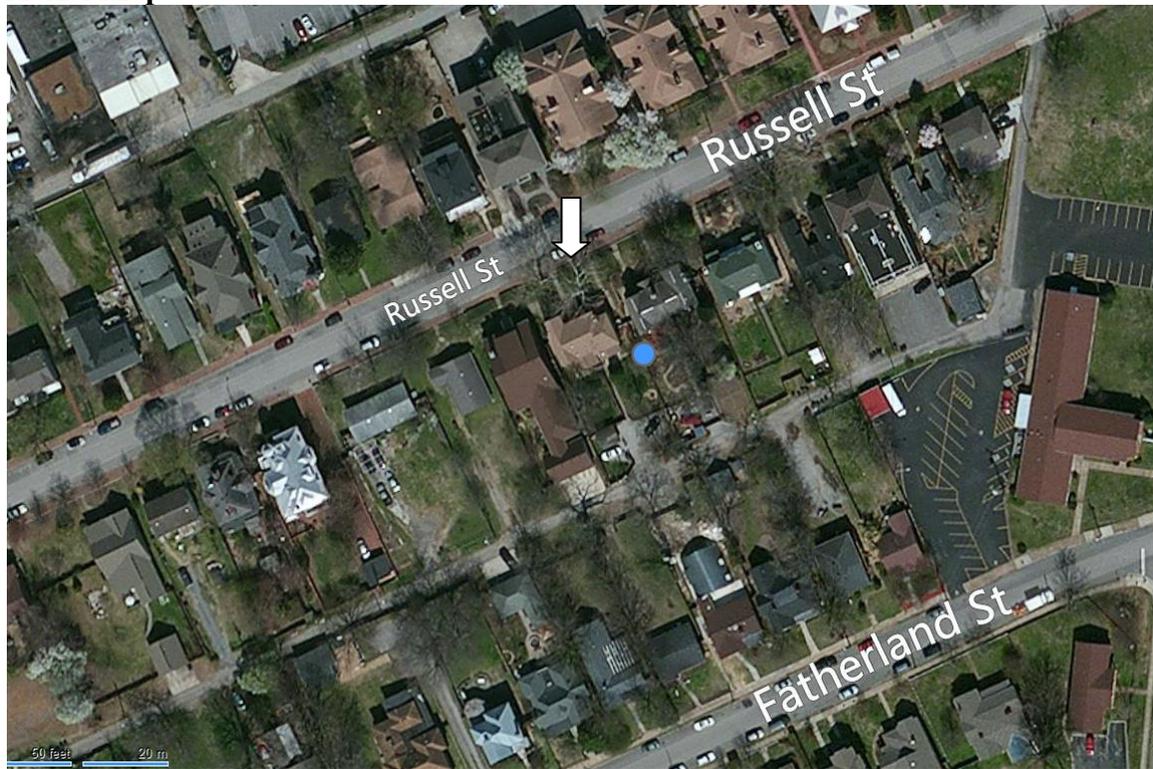
**Application:** New construction—outbuilding  
**District:** Edgefield Historic Preservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08216015900  
**Applicant:** Brent D. Smith, owner  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Application is to construct a one-story outbuilding with a roof deck and trellis behind a 1980s duplex.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the project with the following conditions:</p> <ol style="list-style-type: none"> <li>1. Staff review a brick sample, the specifications for the doors, and the lighting fixtures before these materials are purchased and installed;</li> <li>2. Staff review and approve any changes to the site’s fence or landscape features.</li> </ol> <p>With these conditions, staff finds that the outbuilding meets Section III.B.2. of the <i>Edgefield Historic Zoning District: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- a. Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate. *Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals. The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.*

#### h. Outbuildings:

- 1) A new outbuilding should reflect the character of outbuildings contemporary with the associated house. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

*Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof form and architectural features of the associated house. Generally, either approach is appropriate for new outbuildings. Stone, weatherboard, and board-and-batten are typical siding materials. Outbuildings with wood siding typically have wide cornerboards and window and door casings (trim).*

*Generally, the minimum roof pitch appropriate for outbuildings is 12:4; a steeper pitch is usually better. Raised panels on publicly visible garage doors are not appropriate.*

*Publicly visible pedestrian doors should either relate to the style of the associated house or be flush. Publicly visible windows should relate to the style of the associated house.*

- 2) Outbuildings should be situated on the lot as is historically typical for the neighborhood.

*Although historic outbuildings are usually located as near to a rear corner of a parcel as possible, the current building code requires deeper setbacks from the side and rear property lines. Variances to the codes standard can be requested from the Board of Zoning Appeals with the support of the MHZC.*

### IV.B.1 Fences

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards and can be up to 6' in height. *A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.*
- d. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is publicly visible, it should be camouflaged with plantings, or painted black or dark green.
- e. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

**IV.B.2 Permanent Built Landscape Features**

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

**Background:** 930 B Russell Street is part of a duplex infill constructed in 1986 (Figure 1). Because of the infill’s date of construction, the structure does not contribute to the historic character of the Edgefield Historic Zoning Overlay. The duplex is considered a “zero lot line” duplex. This means that the duplex spans two separate parcels, and the property line is situated to divide the house and the site in half. The two parcels are under separate ownership.



Figure 1. The duplex at 930 Russell Street.

## Analysis and Findings:

Application is to construct a one-story outbuilding with a roof deck and trellis behind a 1980s duplex.

Location: The accessory structure will be located in the established rear yard of 930 B Russell Street, which is where outbuildings were historically located (Figure 2). It will be accessed via the alley. Staff finds that the outbuilding meets Section III.B.2.h.2. of the design guidelines.



Figure 2. The rear yard as seen from the alley.

Setback and Rhythm of Spacing: The proposed outbuilding meets all base zoning requirements for setbacks. It will be placed ten feet (10') from the rear property line, and three feet (3') from the west property line. It will be approximately six feet (6') from the east property line. Staff finds that the outbuilding's setback and rhythm of spacing meets Sections III.B.2.a. and III.B.2.h. of the design guidelines.

Height and Building Shape: The proposed outbuilding will be twenty-four feet (24') wide and twenty-two feet (22') deep. It will have a footprint of five hundred and twenty-eight square feet (528 sq. ft.). The structure will be one story with a rooftop trellis.

The outbuilding's foundation will range in height from one foot to two feet, three inches (1' – 2'3") tall. The structure will have a flat roof that is approximately twelve feet, six inches (12'6") above the foundation. Covering approximately one-third of the roof is a wood arbor. The arbor will be eight feet by twenty-two feet (8' X 22') and will have a shed roof that ranges in height from approximately four feet, four inches (4'4") to seven feet, six inches (7'6"). The structure's maximum height with the arbor is twenty-one feet (21'). The north elevation (that faces the house) will have a shed roof porch. The porch will be six feet (6') deep and will have an eave height of eight feet (8') above the foundation. The outbuilding includes an exterior stair that is three feet, six inches (3'6") wide and leads to the rooftop deck.

Staff finds that the outbuilding's height and building shape meet Sections III.B.2.b., III.B.2.c., and III.B.2.h. of the design guidelines.

Roof Shape: The outbuilding will have a flat roof. While flat roofs are atypical in the Edgefield neighborhood for primary structures, staff finds that a flat roof is appropriate for a utilitarian structure like an outbuilding. The porch roof will be a shed with a slope of approximately 6/12, and the roof top arbor will have a shed roof form with a slope of approximately 3/12. Staff finds that the outbuilding's roof shapes meets Sections III.B.2.d. and III.B.2.h. of the design guidelines.

Orientation: The vehicular access to the outbuilding will be from the alley, which is appropriate. The structure will have two garage doors facing the alley. Staff finds that the outbuilding's orientation meets Sections III.B.2.e. and III.B.2.h. of the design guidelines.

Proportion and Rhythm of Openings: The outbuilding will have two garage doors facing the alley and one pedestrian door facing the house. No windows are planned. Staff finds that the proportion and rhythm of openings is appropriate for an outbuilding, and meet Sections III.B.2.f. and III.B.2.h. of the design guidelines.

Materials, Texture, and Details and Material Color: The materials will largely match those of the house. The foundation will be brick, and staff asks to approve a brick sample. The siding will be wood clapboard to match that of the house. The rooftop arbor will be wood, and the exterior staircase and rail will be metal. The porch will be wood, and its roof will be metal to match the material and color of the house. The materials of the doors were not specified and staff asks to approve the vehicular and pedestrian doors prior to purchase and installation. Likewise, staff asks to approve final selection for the lighting fixtures shown on the south elevation. With the aforementioned staff approvals, staff finds that the materials all meet Sections III.B.2.g. and III.B.2.h. of the design guidelines.

Fences and Permanent Landscape Features. No changes to the site's fence and other landscape features were indicated on the drawings. Staff asks to review and approve any changes to the fence or to the landscape features.

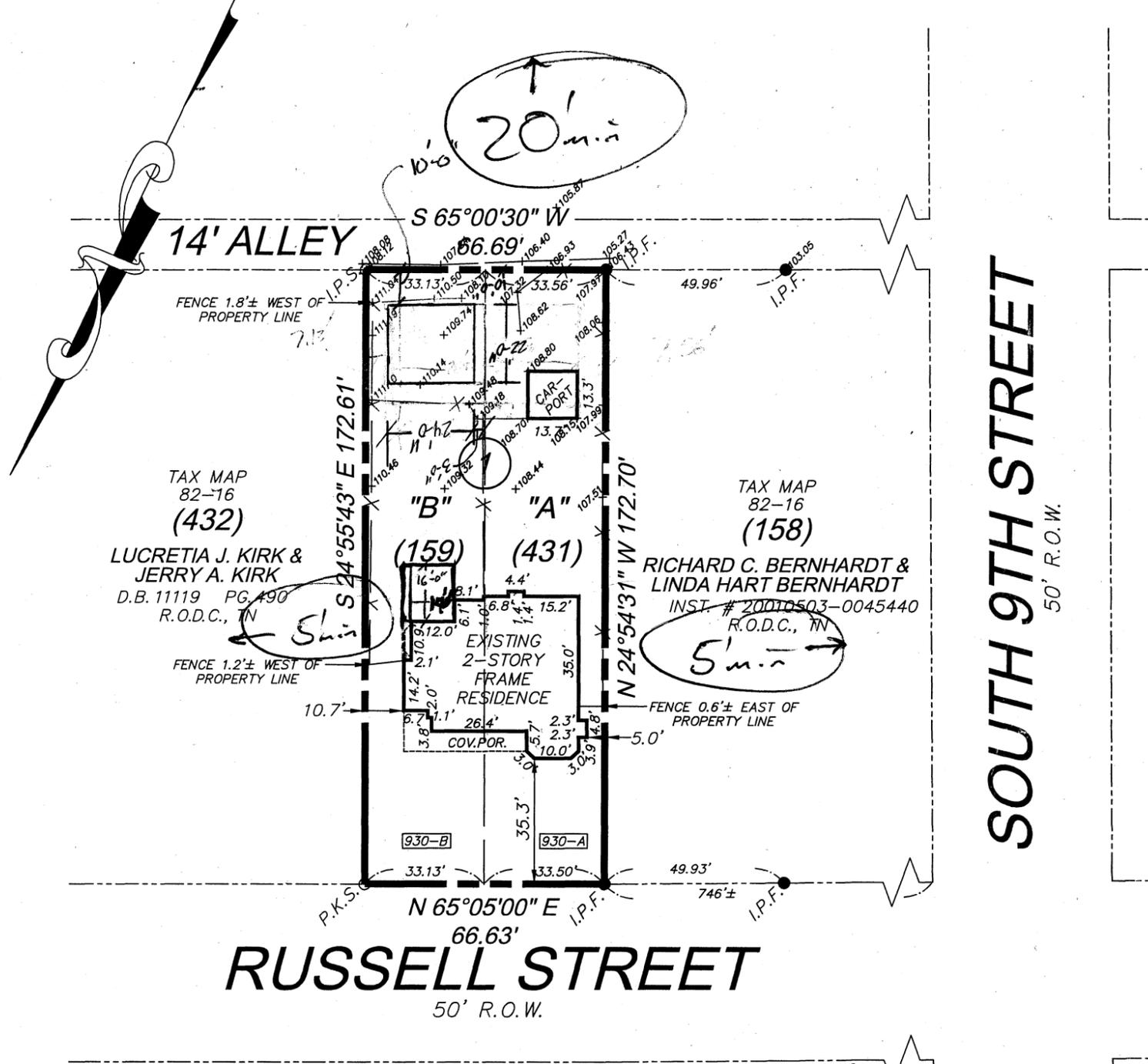
**Recommendation Summary:** Staff recommends approval of the project with the following conditions:

1. Staff review a brick sample, the specifications for the doors, and the lighting fixtures before these materials are purchased and installed;
2. Staff review and approve any changes to the site's fence or landscape features.

With these conditions, staff finds that the outbuilding meets Section III.B.2. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

**GENERAL NOTES**

1. ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
2. UTILITIES HAVE BEEN PLOTTED FROM SURFACE FEATURES FOUND AT THE TIME OF SURVEY AND AVAILABLE MAPS AND RECORDS. THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR DESIGN.
3. THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN, AS PER N.F.I.P. MAP # 47037C0217F, DATED: APRIL 20, 2001.
4. THIS SURVEY PREPARED FROM CURRENT DEED OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE, AND IS SUBJECT TO ANY STATE OF FACTS A CURRENT AND ACCURATE TITLE SEARCH WILL REVEAL.
5. BUILDING SETBACKS ARE TO BE DETERMINED BY CURRENT ZONING ORDINANCE.
6. THIS PROPERTY CURRENTLY IDENTIFIED AS A PORTION OF TAX MAP NO. 82-16 PARCEL NO. 159 & 431.
7. DEED REFERENCE: (1-A) DEED BOOK 10917, PAGE 894, R.O.D.C., TN. (1-B) DEED BOOK 6786, PAGE 754, R.O.D.C., TN.
8. THIS PROPERTY CURRENTLY ZONED 'R8' (ONE & TWO FAMILY 8,000 SQUARE FOOT LOT).



**PROPERTY SURVEY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS OF PRACTICE FOR SURVEYORS IN TENNESSEE UNDER THE AUTHORITY OF TCA 62-18-126, AND THE UNADJUSTED CLOSURE IS AT LEAST 1:10,000.

BY: DAVID P. BRACKMAN R.L.S.# 1684  
A-BRENT D. SMITH & RANDALL H. HOLDER  
 OWNER: B-JAMES A. HOUBLER

PROPERTY LOCATED: 930 A-B RUSSELL STREET  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
PROPERTY: BEING ZONE LOTS 1-A & 1-B ON ZONE  
LOT DIV. OF LOTS 1 & 2, AEBY SUBD., SEC. 4  
RECORDED: PLAT BOOK 6200, PAGE 334, R.O.D.C., TN.  
SCALE: 1" = 40'  
DATE: DECEMBER 26, 2011

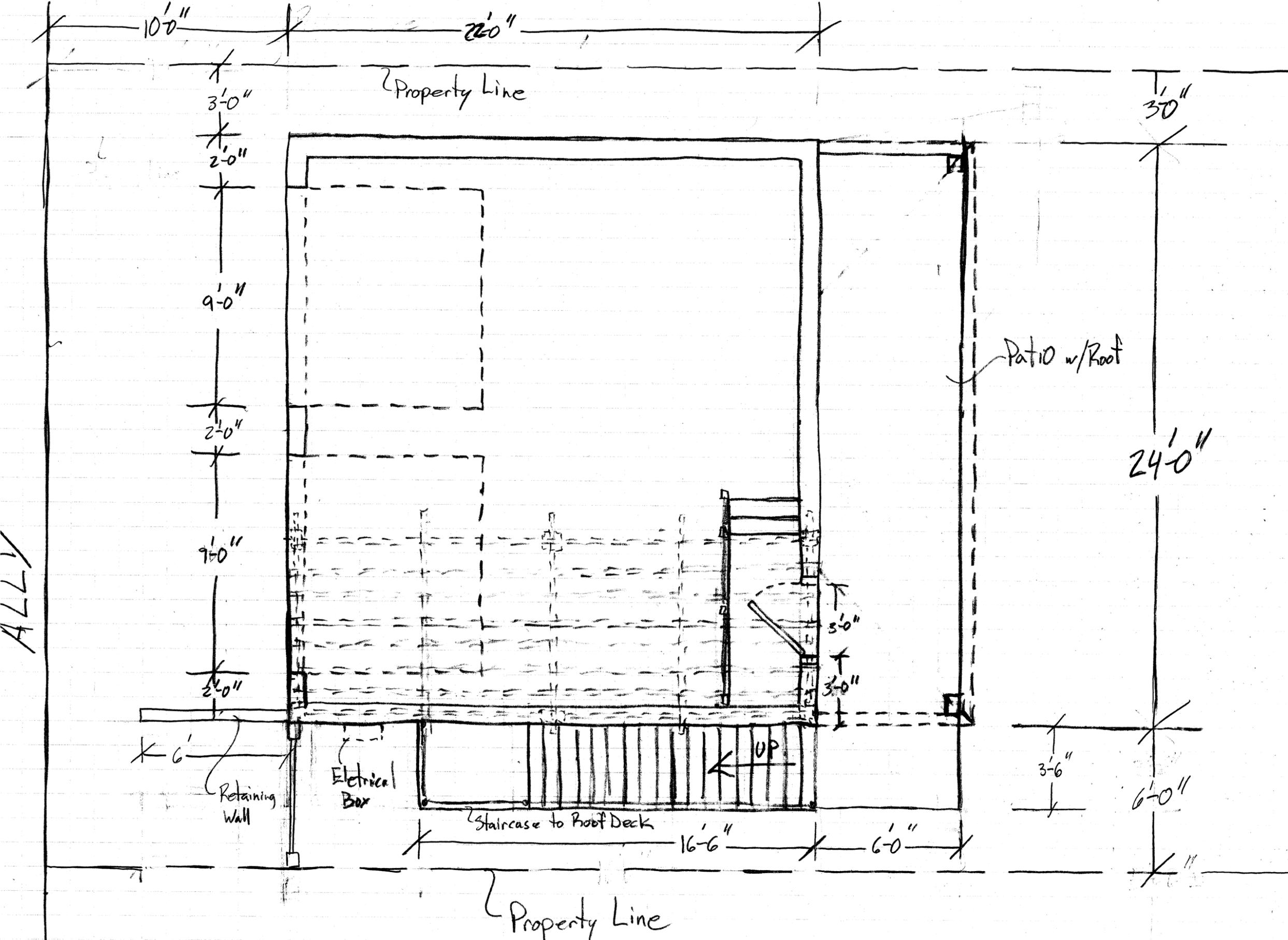


**BRACKMAN**  
**LAND SURVEYING**

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 Nashville, TN 37212  
 Email: dbrack@bellsouth.net

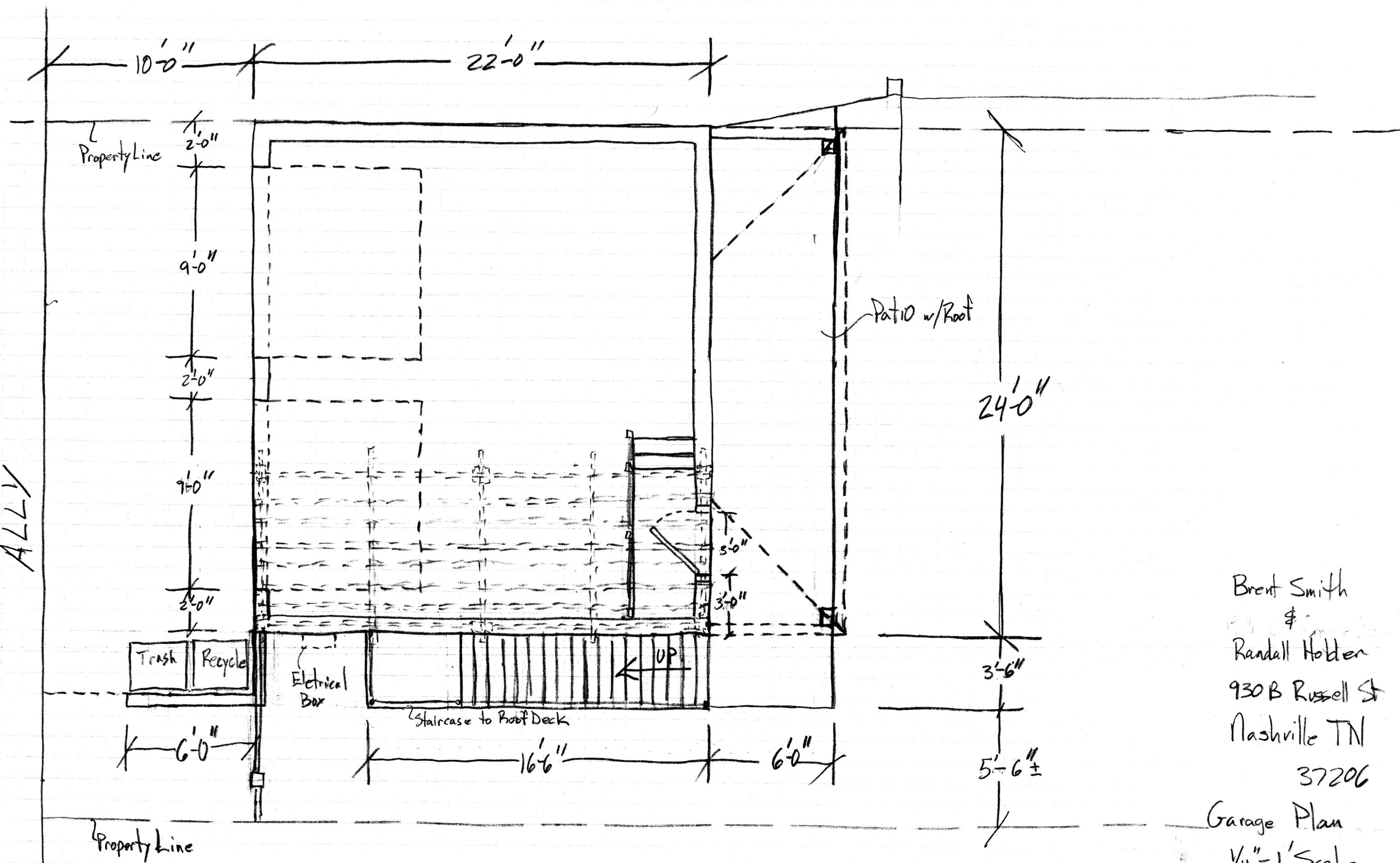
PH (615) 476-8107  
 FAX (615) 220-2552

FILE NO. 11-RUSSELL



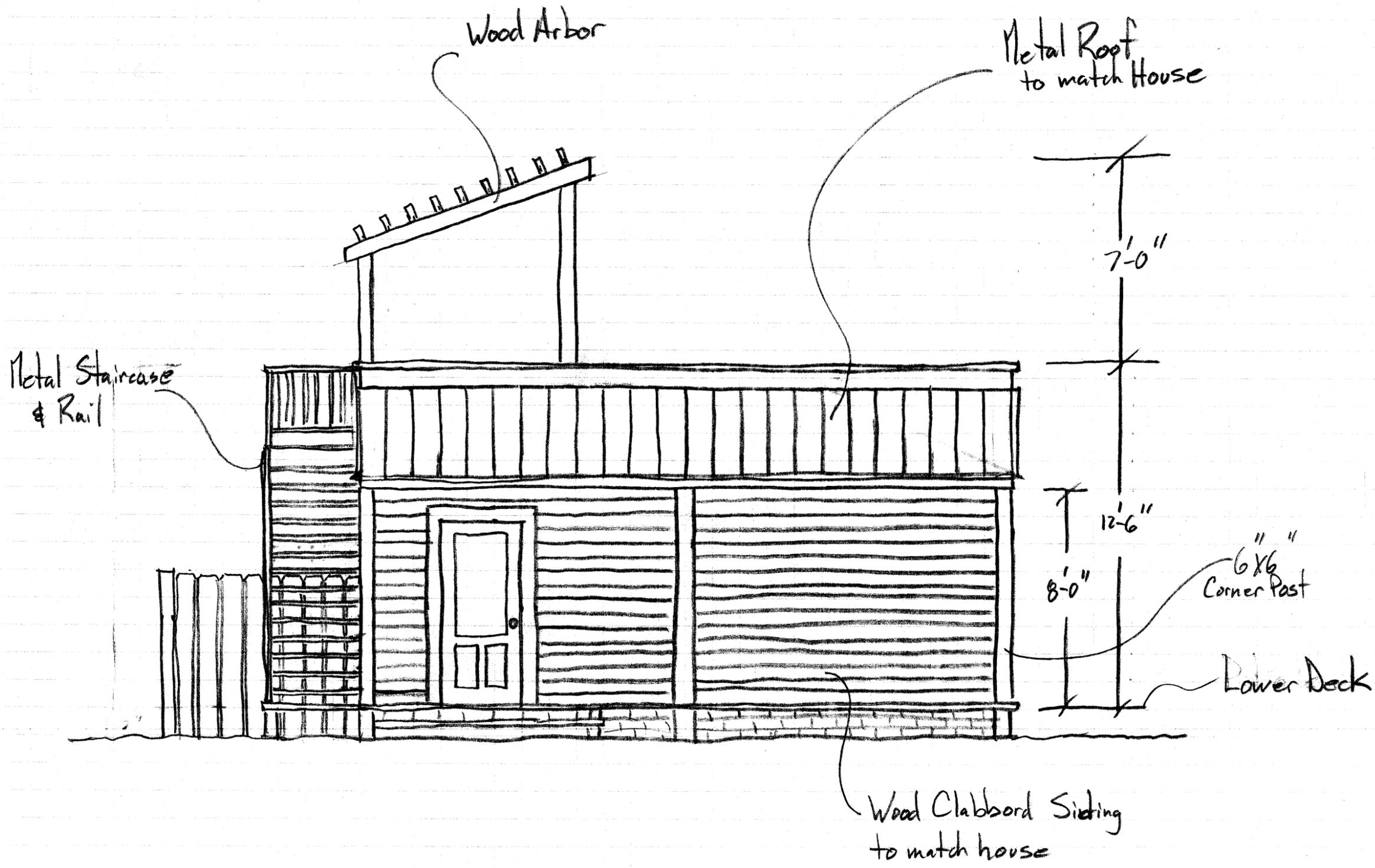
Brent Smith  
 &  
 Randall Holder  
 930 B Russell St  
 Nashville TN  
 37206

Garage Plan  
 1/4" = 1' Scale



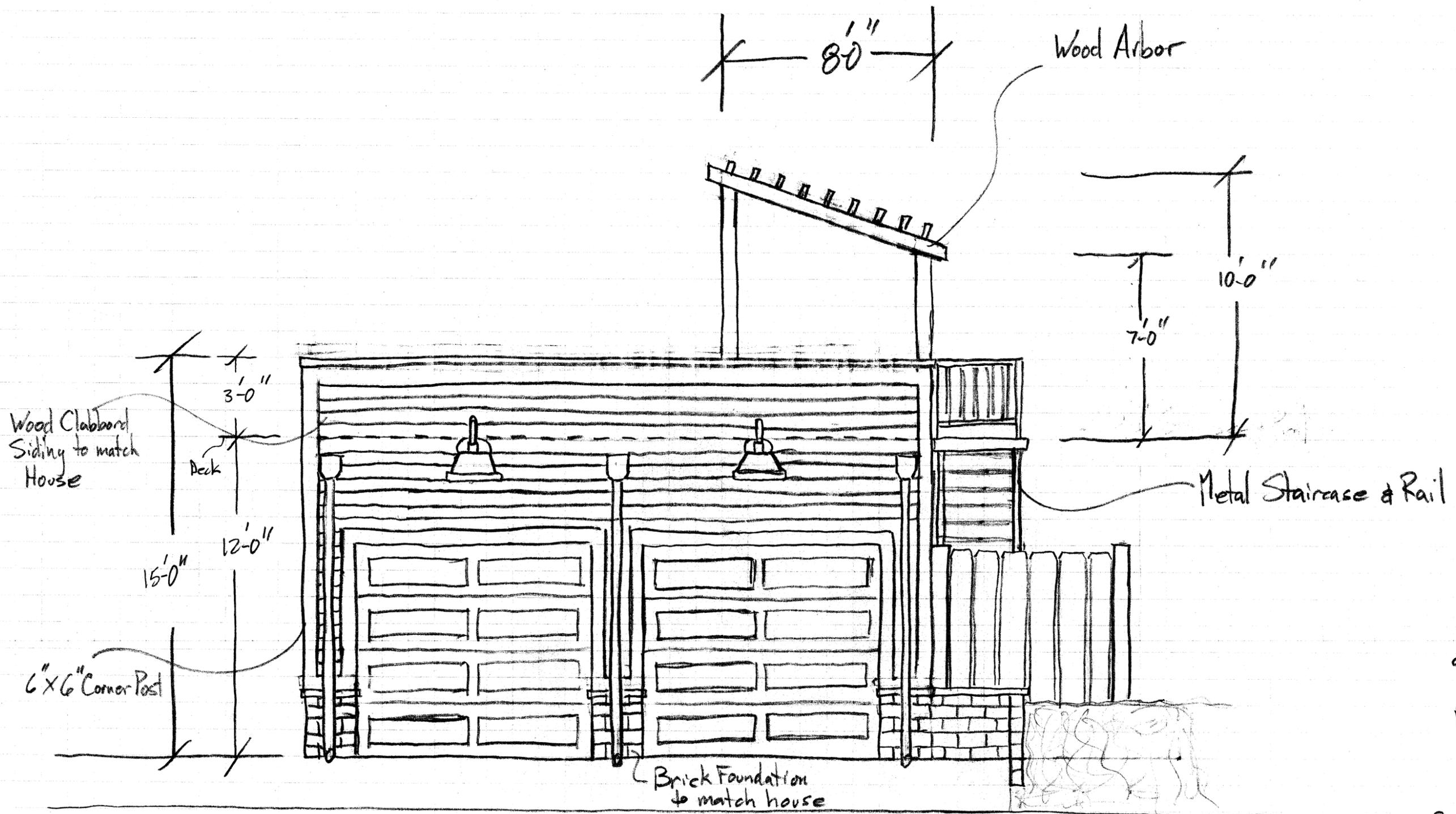
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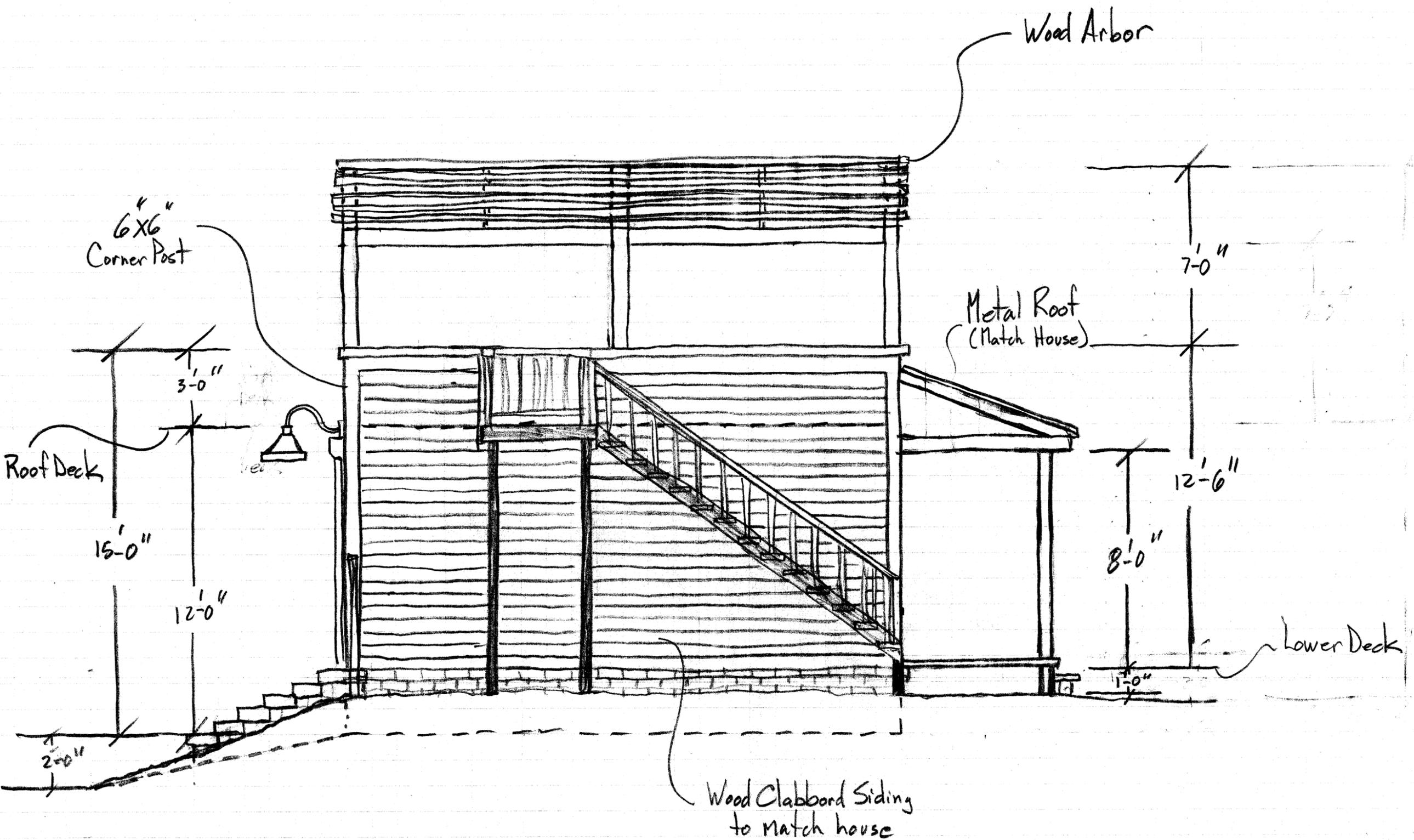
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 37206

Garage Elevation  
 1/4" = 1' Scale  
 North Elevation

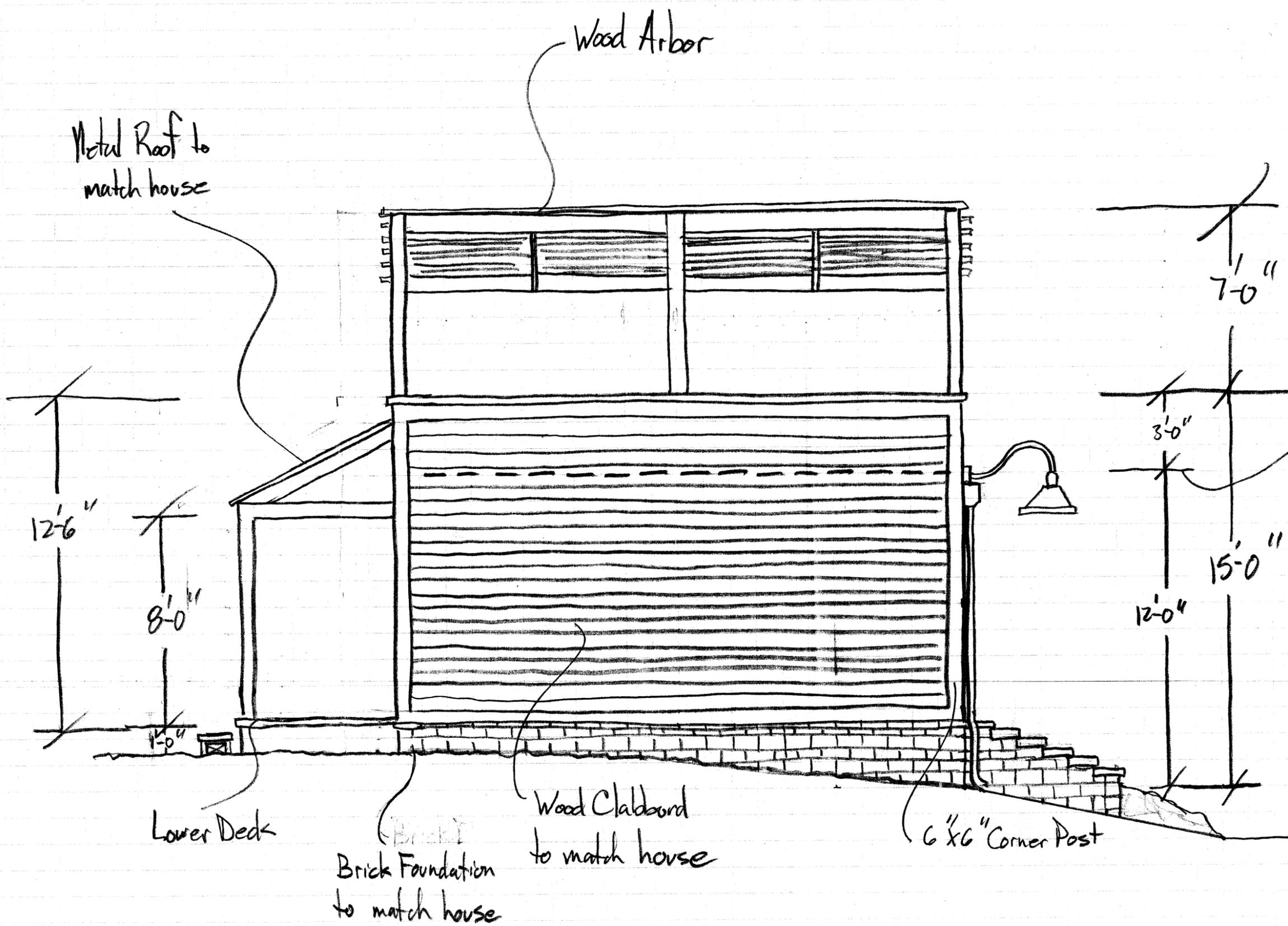


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 &  
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 37206

Garage Elevation  
 1/4" = 1' Scale  
 South Elevation



Brent Smith  
 &  
 Randall Holder  
 930 B Russell St.  
 Nashville TN  
 37206  
 Garage Elevation  
 1/4" = 1' Scale  
 East Elevation



Metal Roof to match house

Wood Arbor

12'-6"

8'-0"

Lower Deck

Brick Foundation to match house

Wood Cladding to match house

6"x6" Corner Post

7'-0"

3'-0"

Roof Deck

15'-0"

12'-0"

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&  
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Nashville TN

37206

Garage Elevation

1/4" = 1' Scale

West Elevation