



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

1400 Linden Avenue

May 21, 2014

Application: New construction-outbuilding; Setback determination

District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 10513007500

Applicant: Kaitlyn Smous, Allard Ward Architects

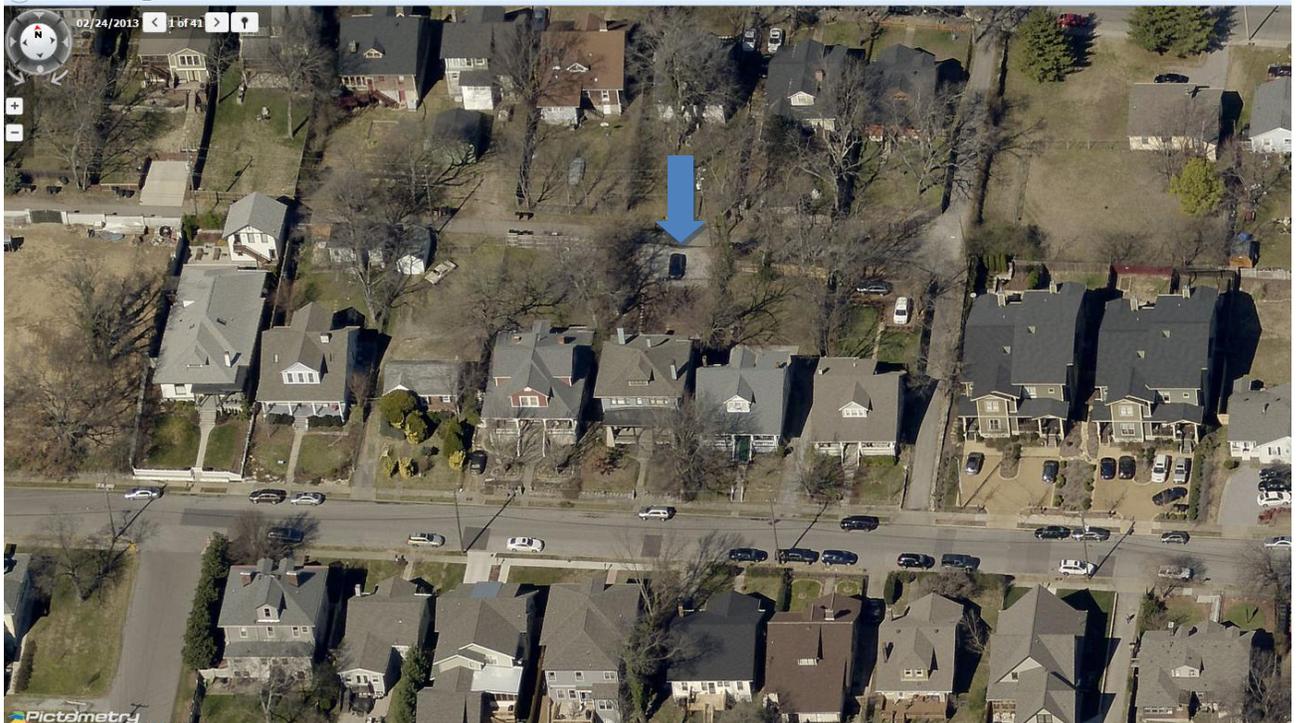
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: The applicant proposes a two-story garage with three bays facing the alley. The proposal requires a determination of the rear setback from twenty feet (20') to ten feet (10') from the rear property line.</p> <p>Recommendation Summary: Staff recommends approval of the proposed outbuilding with the condition that Staff review and approve windows, doors, garage doors and color of roofing material.</p> <p>Staff finds that the project meets section II.B.i of the <i>Belmont-Hillsboro Neighborhood Conservation District: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

I. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.

Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*

- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Background: 1400 Linden is a two-story four-square home built circa 1918 that is a contributing building to the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



Figure 1. 1400 Linden Avenue

Analysis and Findings: The application is to build a two-story outbuilding at the rear of the lot. No existing outbuilding is on the site.

Height, Scale, Design: The outbuilding is proposed to be twenty-seven feet (27') by thirty-four feet (34') with a slightly offset plan for a total footprint of eight hundred and sixty-one square feet (861 sq. ft.). By comparison, the footprint of the house is one thousand, seven hundred and thirty-two square feet (1732 sq. ft.). Its ridge height of twenty-two feet two inches (22'2") is subordinate to the house, which has a height of thirty-one feet nine inches (31'9"). It will have an eave height of fourteen feet two inches (14'2"). Staff finds that the height and scale of the proposed outbuilding are appropriately subordinate to the primary building.

The design of the project reflects the character of the primary building and is compatible with surrounding buildings. The project meets section II.B.I.1 of the design guidelines for outbuildings.

Location, Orientation and Setbacks: The proposed outbuilding will be located at the rear of the property with access from the alley, as is historically typical for outbuildings. Pedestrian access will be from the south side, which faces the house. Its location and orientation are consistent with the context. Because it is proposed to have a footprint greater than seven hundred square feet (700 sq. ft.), base zoning requires that the outbuilding be placed a minimum of twenty feet (20') from the alley and five feet (5') from the side property lines. The applicant requests a setback determination for the building to be ten feet (10') from the rear property line. Historically, outbuildings were located close to or right on the alley. There are also existing outbuildings in the district

closer than ten feet (10') to the alley; the Commission approved a five foot (5') rear setback for an outbuilding at 1500 Linden Avenue in 2010. For these reasons, Staff finds the setback determination to be appropriate; the project meets section II.B.I.2.

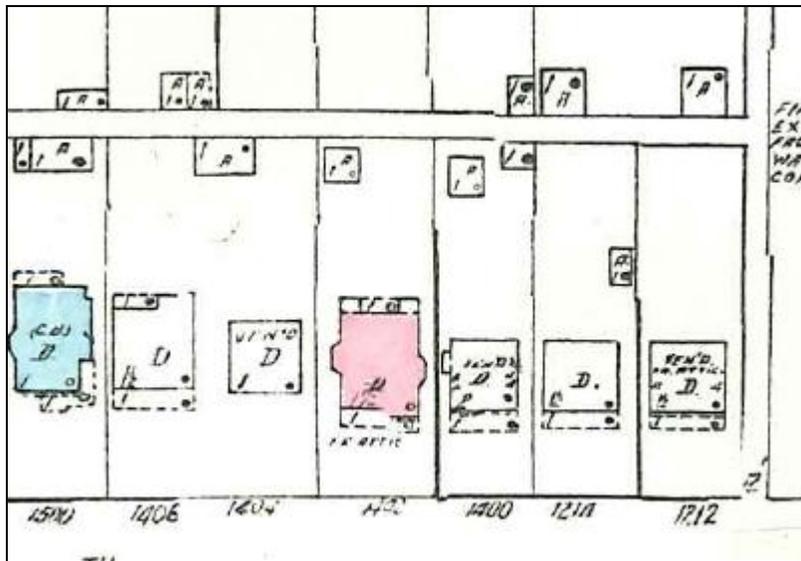


Figure 2. 1957 Sanborn map shows outbuildings located directly on the alley.

Materials: The outbuilding will be clad in smooth face cement fiberboard with a five inch (5") reveal. A portion of the second story will have cedar shakes. Trim, brackets and corbels will be wood. The foundation will be a concrete slab. The roof will be architectural fiberglass shingles. Staff requests final approval of the windows, doors, garage doors and color of roofing material prior to purchase and installation. With the staff's final approval of these materials, Staff finds that the project meets section II.B.I.1.

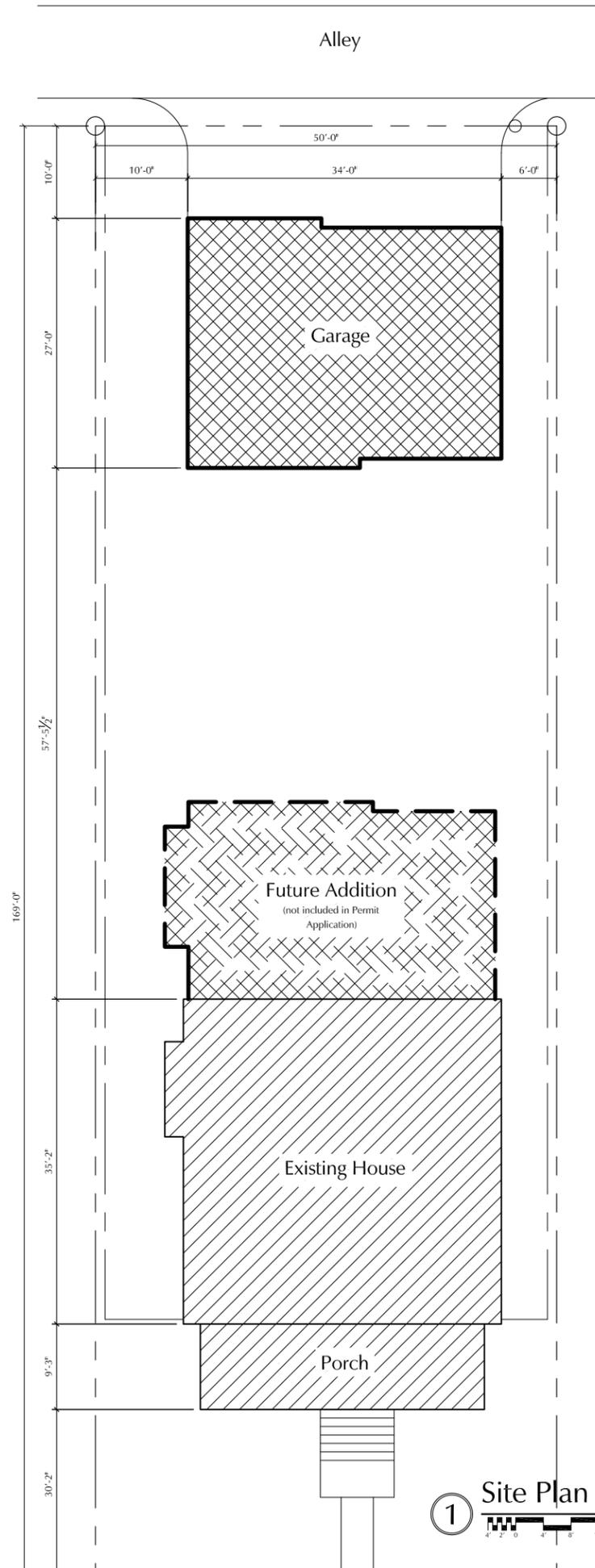
Roof Shape: The proposed outbuilding has an asymmetrical gabled and hipped roof form with 6/12 pitch. The hipped portion flares to 3/12 pitch at the eaves, matching the profile of the house. Wall dormers, not typical for a principle building, are appropriate in this location as they will not be seen from the street. The project meets section II.B.I.1.

Appurtenances: A driveway will be paved from the outbuilding back to the alley. No changes to the site's appurtenances were indicated on the drawings. The project meets section II.B.1.i.

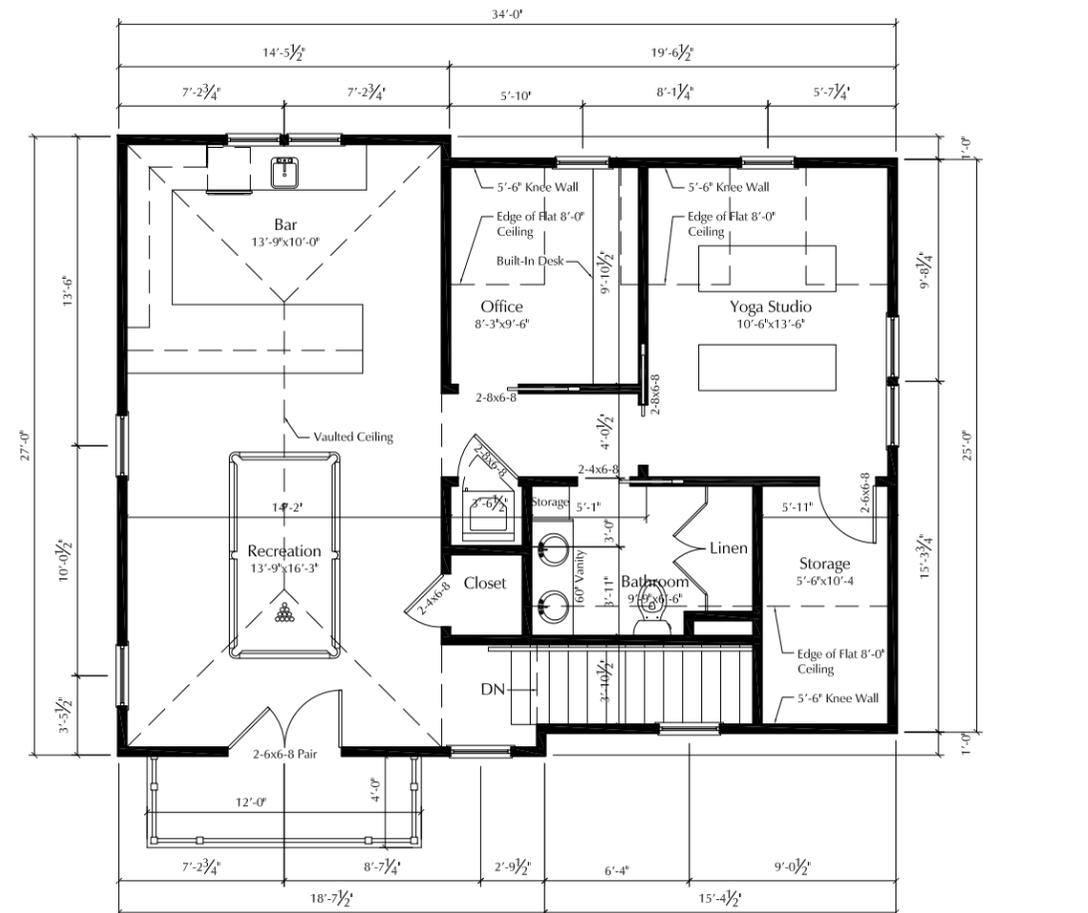
Recommendation:

Staff recommends approval of the proposed outbuilding with the condition that Staff provides final review of windows, doors, garage doors and color of roofing material.

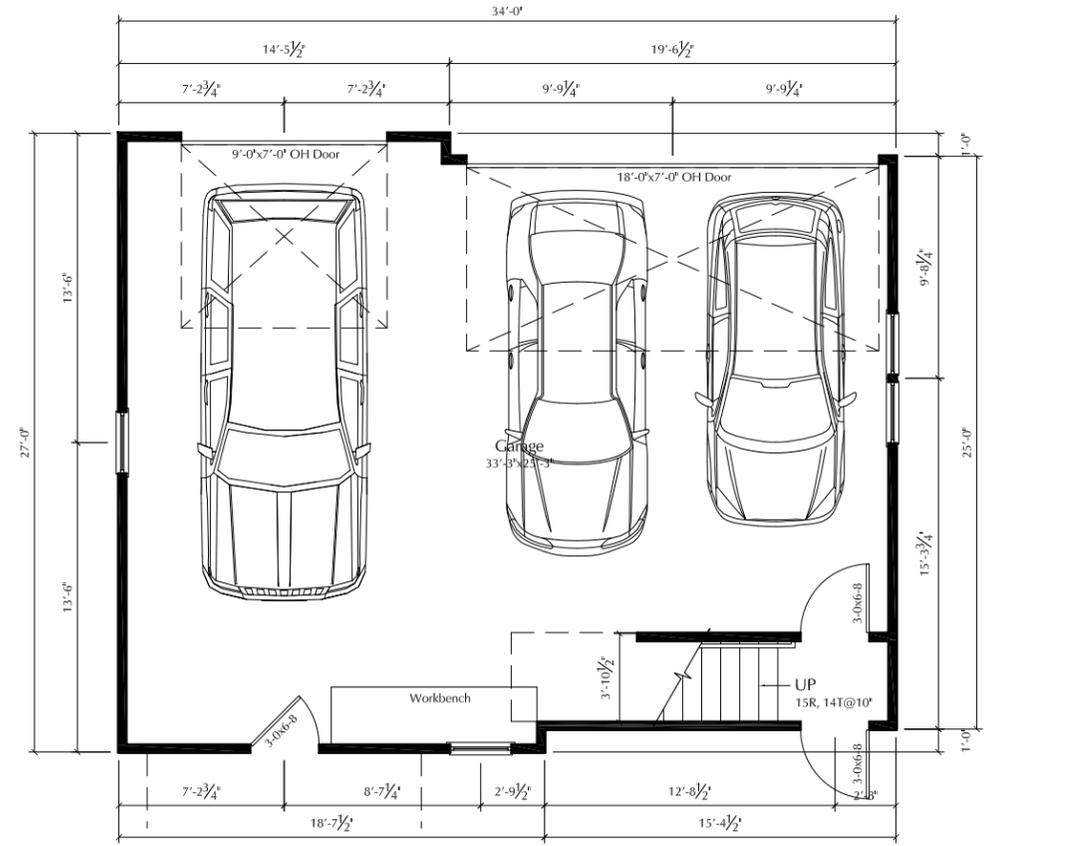
Staff finds that the project meets section II.B.i of the *Belmont-Hillsboro Neighborhood Conservation District: Handbook and Design Guidelines*.



1 Site Plan
 Scale: 1/16"=1'-0"
 4 8 12 16 20



3 Second Floor Plan
 Scale: 1/8"=1'-0"
 2 4 6 8 12



2 First Floor Plan
 Scale: 1/8"=1'-0"
 2 4 6 8 12



A New Garage for:
The Keaty Residence
 1400 Linden Avenue
 Nashville, TN 37212

ALLARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 Tel: 615.345.1010
 Fax: 615.345.1011

Drawings:
 Site Plan
 Date:
 05.02.14

A1.0



② East Elevation
Scale: 1/8"=1'-0"



② North Elevation
Scale: 1/8"=1'-0"



① West Elevation
Scale: 1/8"=1'-0"



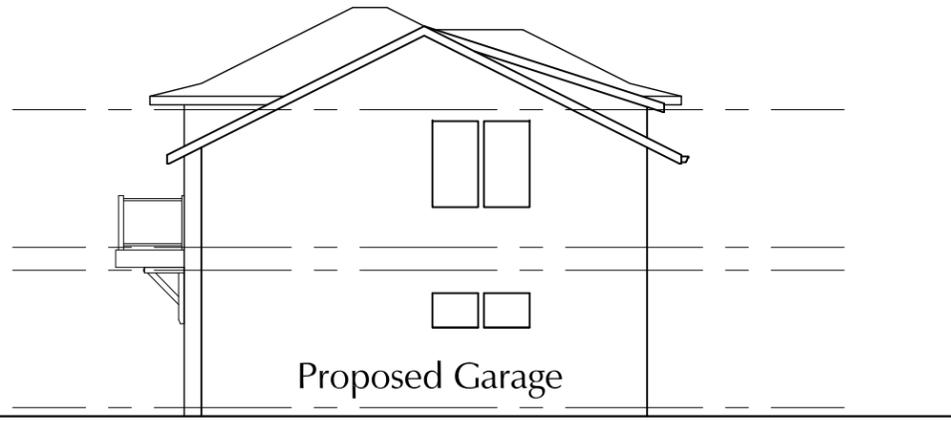
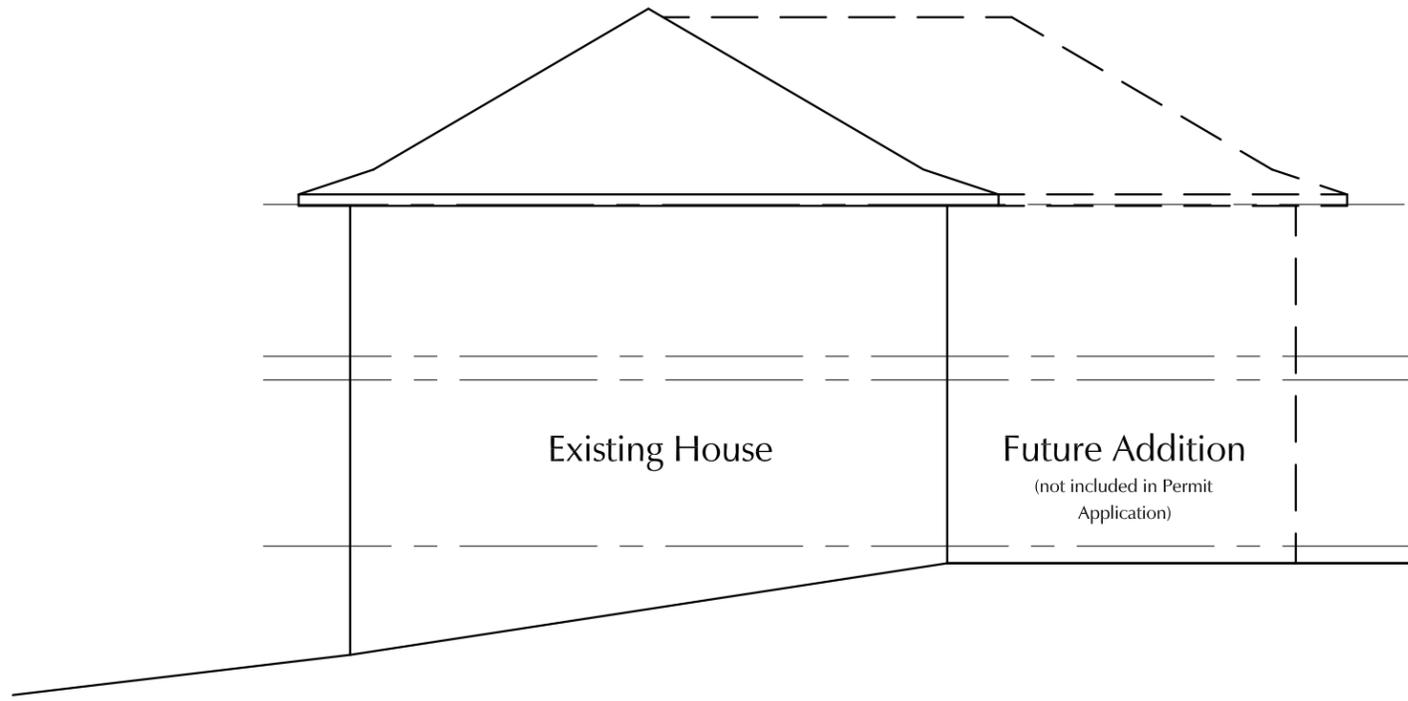
① South Elevation
Scale: 1/8"=1'-0"

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Drawings:
Elevations
Date:
05.02.14

A2.0



① East Elevation of Site
 Scale: 3/32"=1'-0"

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 Fax: 615.345.1011
 allardward.com

Drawings:
 East Elevation of Site
 Date:
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