



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**1408 Elmwood Avenue**  
**May 21, 2014**

**Application:** New construction-outbuilding; Setback determination  
**District:** Belmont-Hillsboro Neighborhood Conservation Zoning Overlay  
**Council District:** 18  
**Map and Parcel Number:** 10513011000  
**Applicant:** Preston Quirk, architect  
**Project Lead:** Robin Zeigler, robin.zeigler@nashville.gov

<p><b>Description of Project:</b> Applicant proposes a one and one-half story garage located at the rear of a corner lot. It requires side and rear setback determinations. The rear setback is proposed to be just over ten feet (10') and code requires a twenty-foot (20') setback for buildings more than seven hundred square feet (700 sq. ft.). The side setback is proposed to be just over four feet (4') and code requires a five foot (5') side setback for a building of this size.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the project and the setback determinations with the condition that the materials be approved by staff. With this condition, the project meets the design guidelines for outbuildings in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>D:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II. B. GUIDELINES

#### I. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

*Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.*

##### *Outbuildings: Roof*

*Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.*

*Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.*

*The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.*

##### *Outbuildings: Windows and Doors*

*Publicly visible windows should be appropriate to the style of the house.*

*Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*

*Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*

*Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.*

*For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

*Decorative raised panels on publicly visible garage doors are generally not appropriate.*

##### *Outbuildings: Siding and Trim*

*Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).*

*Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*

*Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*

- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

**Background:** 1408 Elmwood is a contributing building to the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



A Preservation Permit for a rear addition and side-facing dormer was issued in 2008.

A pool is shown on the plans. Construction of a pool is not an action that requires MHZC review in a conservation zoning overlay; therefore, it is not reviewed in this recommendation.

### **Analysis and Findings:**

Height & Scale: The proposed outbuilding is twenty-two feet and nine inches (22' 9") tall from finished floor, which because of a rise in elevation of two feet (2'), will be three feet (3') shorter than the existing house. A small portion of it will be approximately twelve feet (12') tall from finished floor. The eaves are approximately nine and twelve feet (9'-12') tall. The foundation is a slab. Although the footprint of nine-hundred and one square feet (901 sq. ft.), is larger than many historic outbuildings, the overall massing is kept appropriate with use of appropriate eave heights, dormers and two open porches. (Without the porches, the garage is only seven-hundred and eighty-four square feet (784 sq. ft.) The project meets section II.B.I.1.

Location & Setbacks: The garage is towards the rear of the lot with vehicular access from the alley. The rear setback is proposed to be just over ten feet (10') and code requires a twenty-foot (20') setback for buildings more than seven hundred square feet (700 sq. ft.). The side setback is proposed to be just over four feet (4') and code requires a five foot (5') side setback for a building of this size. There is almost twenty-feet (20') between the proposed outbuilding and the existing rear of the home. Because garages were typically close to rear property lines, the Commission has routinely allowed for shorter setbacks, especially when the outbuilding is less than two-stories. Staff recommends approval of the requested rear setback. The location is appropriate and meets section II.B.I.2.

Design: The outbuilding is utilitarian in design which meets section II.B.I.1.

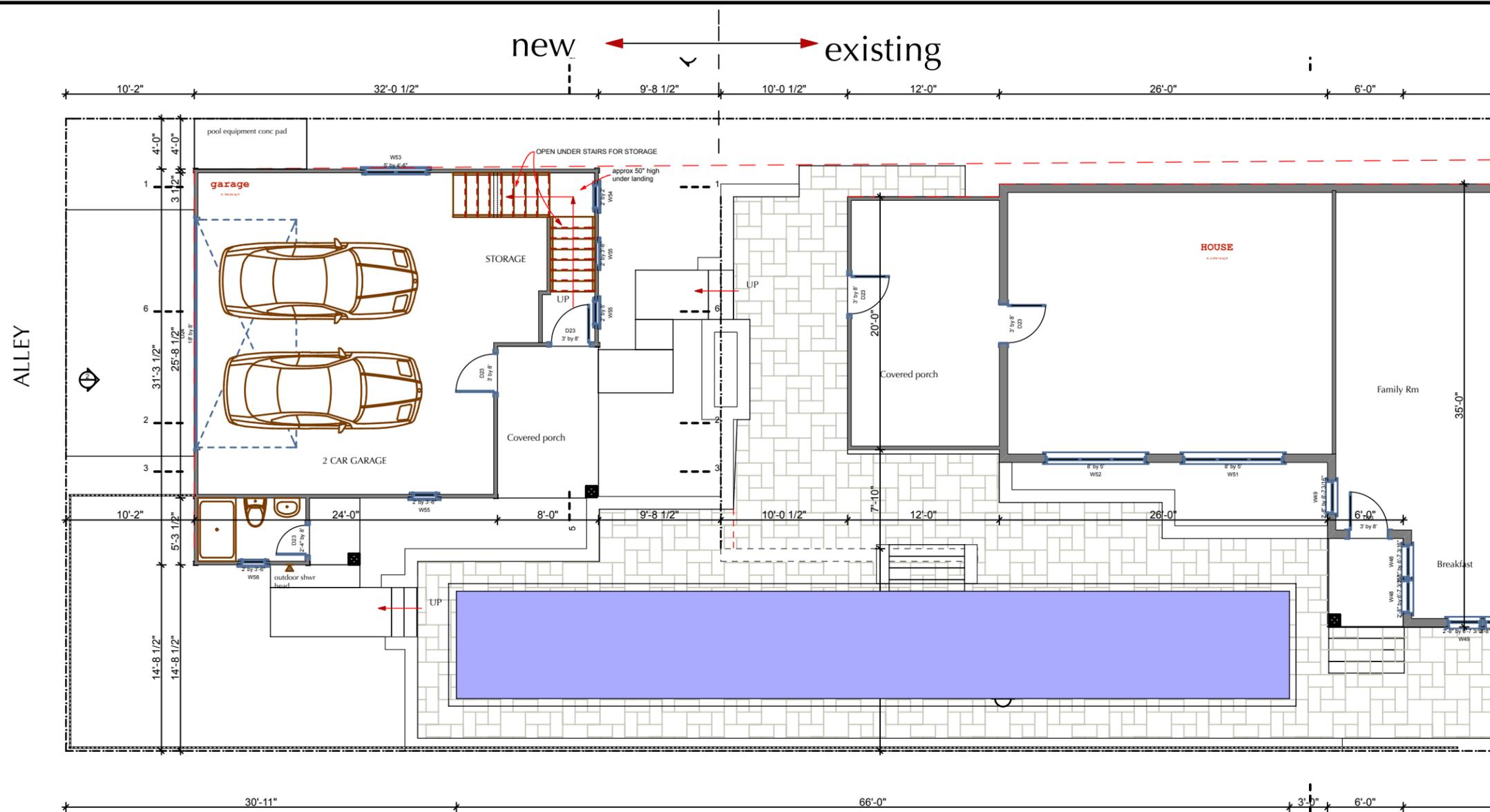
Materials: The cladding will be smooth-face cement-fiber with a five inch (5") reveal, the roofing will be asphalt fiber shingle and the foundation will have a brick veneer. The windows will be wood but the doors were not indicated. The color of the roof, trim, pavers and porch materials were not indicated. Staff recommends the applicant seek final approval of materials. The project meets section II.B.I.1.

Roof form: The form is two different side gables with shed roof dormers and a small side gable portion. The pitch of a portion of the side gable is 9/12 and another portion is 7/12. The dormer has a pitch of 3.5/12. Although the collectively the roof form is a bit unusual it does not contrast greatly with historic roof forms. The project meets section II.B.I.1.

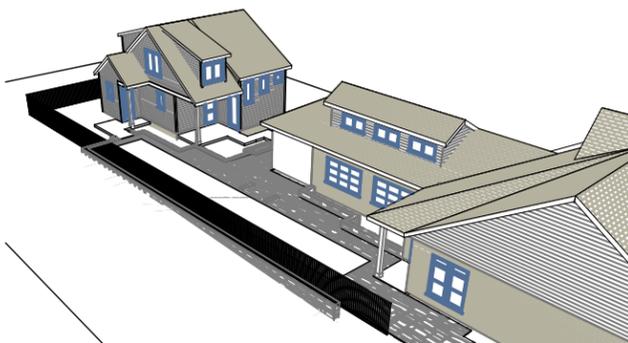
Appurtenances & Utilities: There is an existing wood fence on the west side and along the alley. The alley side will not change but the west side will be moved to inside the property line. The retaining wall between the house and the proposed is an existing condition. No changes to the site's appurtenances were indicated on the drawings. The project meets section II.B.1.h.

**Recommendation:** Staff recommends approval of the project and the setback determinations with the condition that the materials be approved by staff. With this condition, the project meets the design guidelines for outbuildings in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.





**2** 1ST FLOOR PLAN  
SCALE: 1" = 10'



2831 BERRY HILL DRIVE  
SUITE 205  
NASHVILLE, TN 37204  
Phone: (615) 269-9248 Fax: (615) 627-1998  
email: quirkdesigns@comcast.net

**QUIRK DESIGNS**

PHONE:  
W335-0732  
H298-1508

**New Garage**  
Bob & Kelly Murphy  
1408 Elmwood Ave.  
Nashville, TN 37212

DATE: 5/2/14  
REVISION

PROJECT NO: 14-034  
COPYRIGHT 2007  
QUIRK DESIGNS

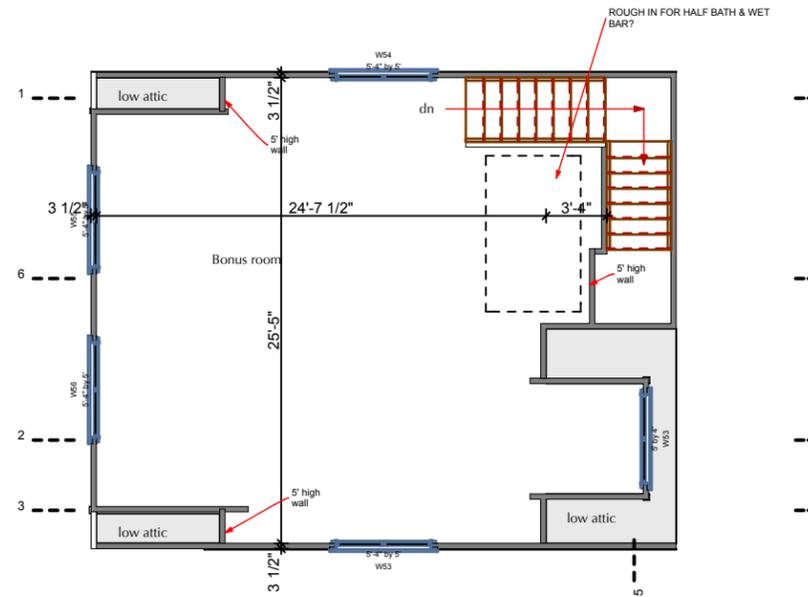
1ST FLOOR PLAN

A1  
SHEET 2

/Users/psb/quirk/Projects/CAD FILES/WORK/2014/MURPHY/BOB KELLY/14-034/MURPH 1.ppt



**3** FRONT ELEVATION  
SCALE: 1" = 10'



**1** 2ND FLR PLAN  
SCALE: 1" = 10'



**2** REAR ELEVATION  
SCALE: 1" = 10'

2831 BERRY HILL DRIVE  
SUITE 200  
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email: quirkdesigns@comcast.net

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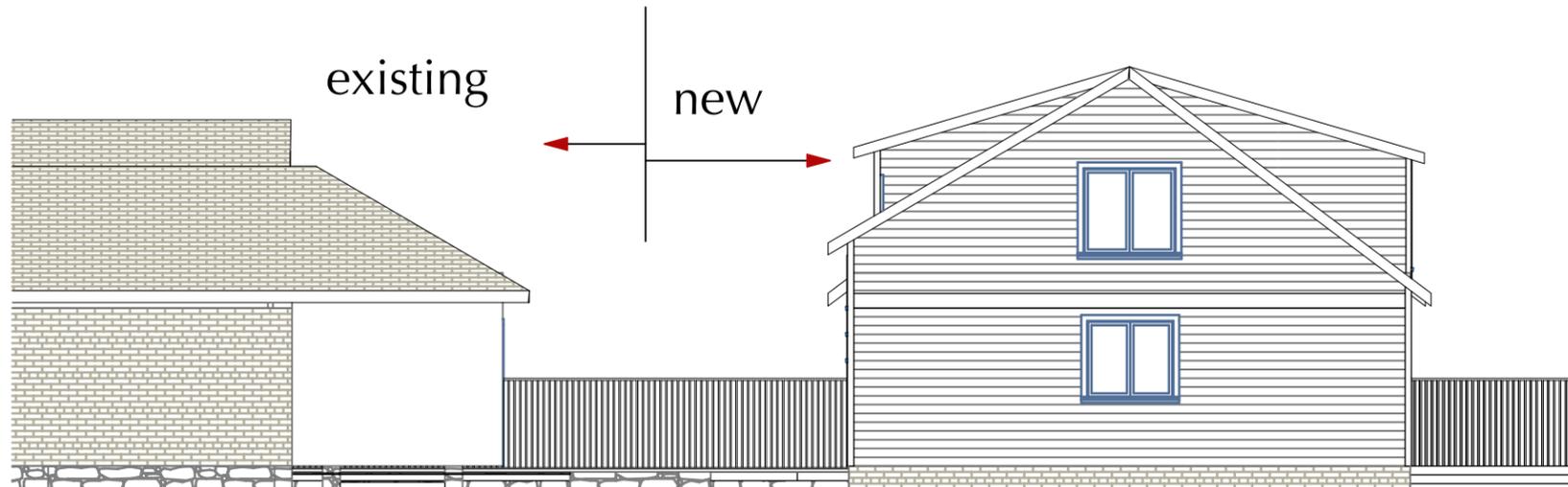
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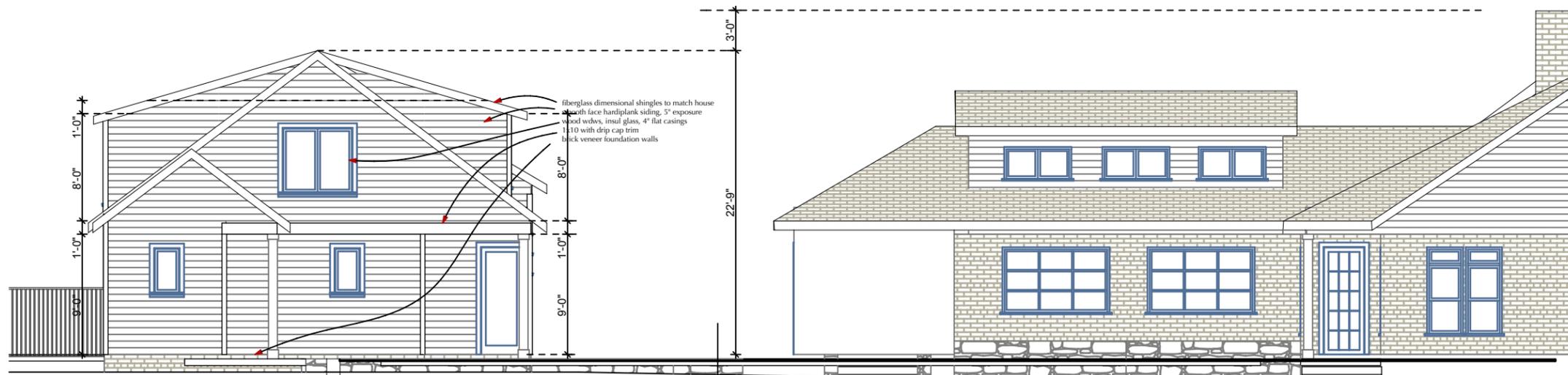
PROJECT NO: 14-034  
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2ND FLR PLAN, ELEV (FR)

A2  
SHEET 3



**2** RIGHT ELEVATION  
SCALE: 1" = 10'



**1** LEFT ELEVATION  
SCALE: 1" = 10'

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SIDE ELEVATIONS

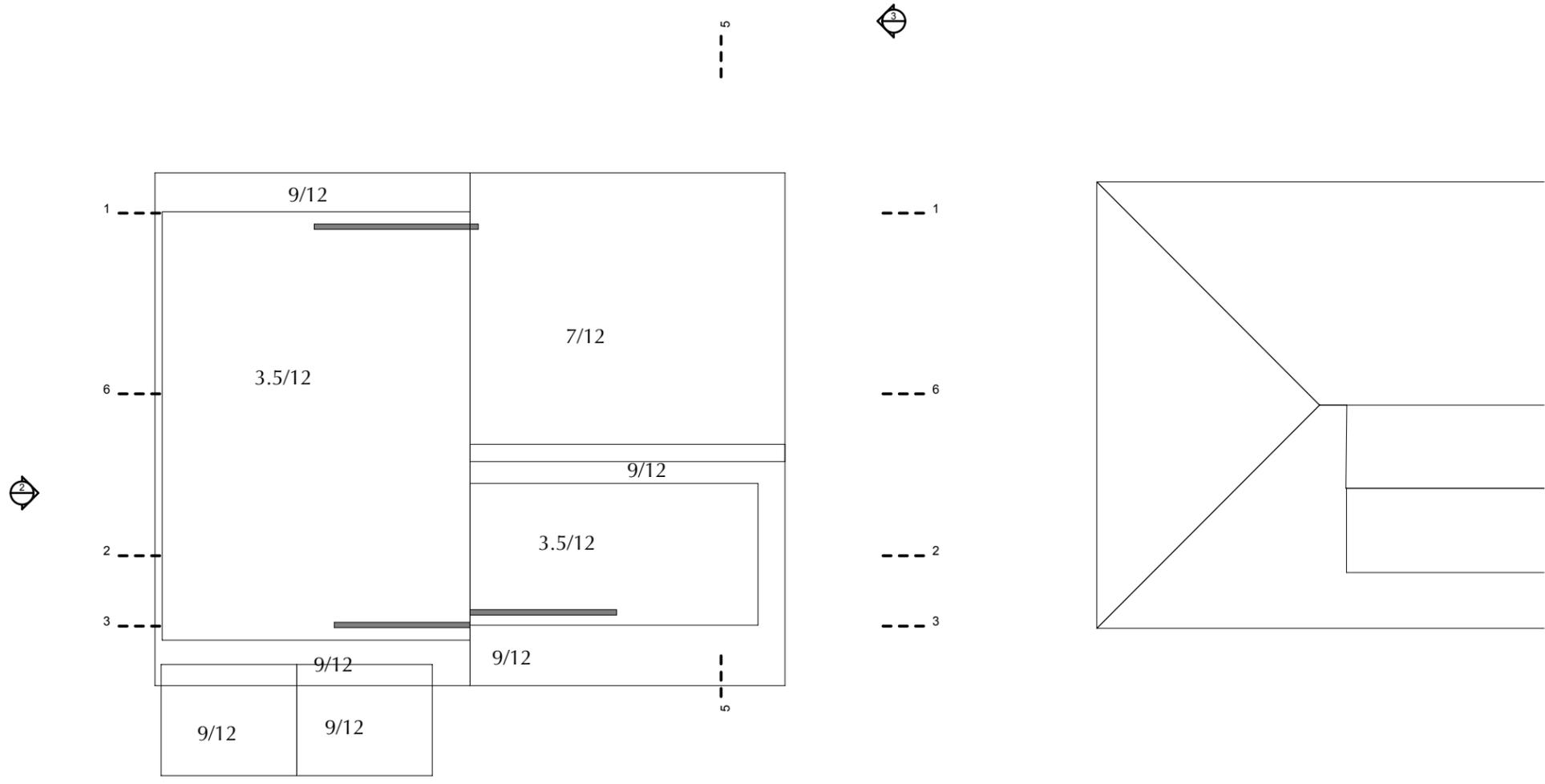
A3  
SHEET 4

/Users/quirkdesigns/My Documents/CAD FILES/WORK/2014/MURPHY/BOB KELLY/14-034/MURPH 1.rvt

1

# ROOF PLAN

SCALE: 1/8" = 1'-0"



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ROOF PLAN

A4  
 SHEET 5