



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
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STAFF RECOMMENDATION 1507 Sweetbriar Avenue May 21, 2014

Application: New construction-addition
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 11704011500
Applicant: Manuel Zeitlin, architect
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

Description of Project: The applicants propose a one and one-half story addition with two one-bay attached garages to an existing one and one-half story historic house for use as a duplex.

Attachments
A: Photographs
B: Site Plan
D: Elevations

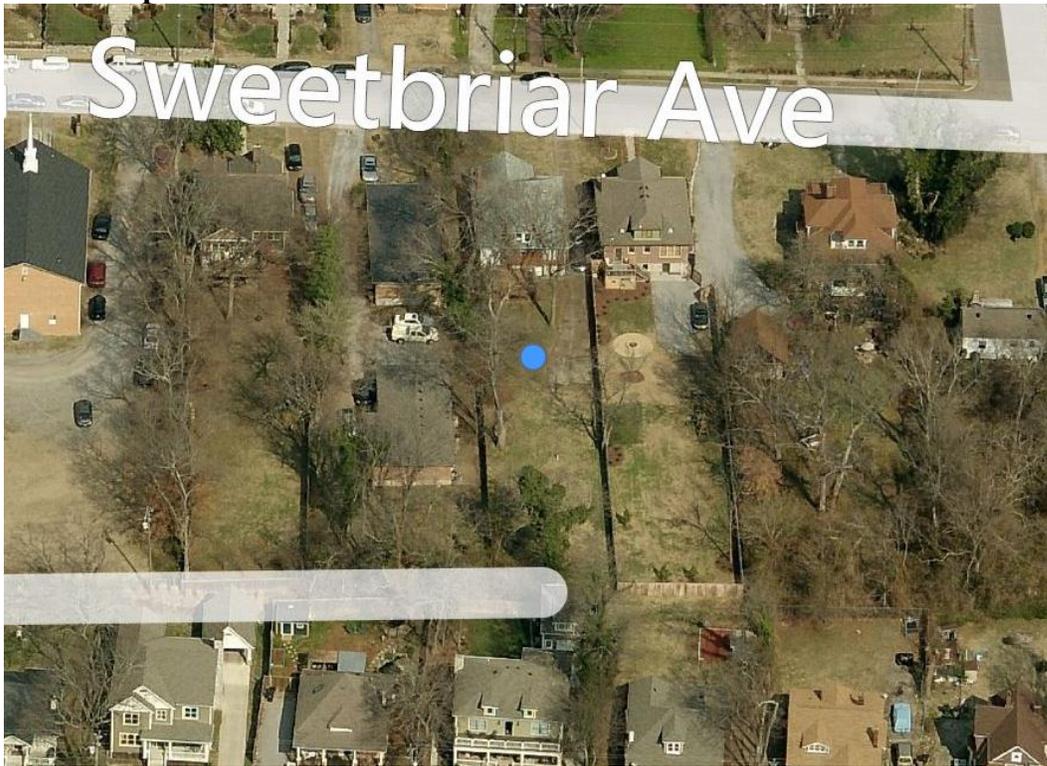
Recommendation Summary: Staff recommends approval of demolition of the existing non-historic deck. Staff recommends disapproval of the addition because the scale of it is too large compared to the historic home, causing an adverse effect to the historic building. In addition, the attached garages do not meet the Commission’s policy, based on historic conditions, for the location of attached garages. The project does not meet sections II.B.2.a, b, f and e. II.B.1.i

- If approved, Staff recommends consideration of the following conditions:
- The massing and scale of the addition be reduced;
 - The second unit be redesigned to be an appropriately scaled addition, rather than a second unit attached by a narrow connector;
 - The attached garages be removed and either a parking pad or garage be added somewhere between the middle and the rear of the lot, as seen historically;
 - Materials be approved by Staff;
 - Both HVAC units be located at the rear of the building or on the sides of the building, mid-way back from the front wall.

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

Secretary of Interior's Standards for Rehabilitation

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

II. B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

I. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:

- *An extreme grade change*
- *Atypical lot parcel shape or size*

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch

(4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

Side Additions

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

f. Additions should follow the guidelines for new construction.

Background: 1507 Sweetbriar is a contributing house to the Hillsboro-West End Neighborhood Conservation Zoning Overlay. It is zoned R8, which allows for duplexes.



Figure 1: 1507 Sweetbriar

Analysis and Findings: The applicant proposes a one and one-half story addition with two one-bay attached garages to an existing one and one-half story historic house for use as a duplex.

Demolition: The project includes the demolition of a non-historic rear deck. The project meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.



Figure 2: Deck to be demolished.

Scale: The historic house has a fourteen hundred and eighty-five square feet (1485 sq. ft.) footprint, not including porches and rear deck to be removed. The addition will have a footprint of twenty six hundred and ten square feet (2610 sq. ft.) not including porches. The original house is fifty-four feet (54') deep and the addition will be one-hundred and forty-five (145') feet deep. The project will almost triple the total square footage of the home which is currently nineteen hundred and thirty square feet (1930 sq. ft) compared to the fifty-four hundred and fifty-one square feet (5451 sq. ft.) it will be once the addition is complete. Secretary of Interior Standard #9, on which the design guidelines are based due to state legislation, explains that new additions shall be compatible with the massing, size, and scale of the building in order to protect the historic integrity of the property and its environment. The applicant has minimized the impact of the addition on the district itself by making the middle portion narrow and one-story. In addition, the lot is deeper than the typical lot in the district. Despite these conditions and efforts, staff finds the addition to be out-of-scale because it more than doubles the size of the existing historic house. The project does not meet section II.B.1.b.

Height: The current building is a one and one-half story historic building that is approximately twenty-four feet (24') tall from finished grade. The addition will be approximately twenty-six feet (26') tall from finished grade but because of the change in grade will not appear to be taller than the existing house.

Location, Removability & Design: The addition is at the rear of the building and is no wider than the existing building. The connection is a narrow connection of approximately ten feet (10') with a height well below the existing house. This narrow connection allows for easy removability and clear differentiation between the new and the old; however, its length suggests a form that is more akin to a "house-behind-a-house," rather than a simple addition of an appropriate scale with a narrow connection. This form does not exist historically; therefore, Staff finds that the project does not meet section II.B.2.a, f and e.

The Commission has approved similar scenarios that are essentially a house-behind-a-house in the past. After construction of an approved project at the corner of Grantland and Prentice, (see next page), the Commission determined that a house-behind-a-house

with a connection in between was not a form that existed historically and expressed its intention of not approving similar forms again in the future.



Figure 3: View along Prentice Avenue.



Figure 4: View from Grantland Avenue.



Figure 5: View along Prentice looking back towards Grantland Avenue.

Another project, similar in configuration, was therefore denied at the corner of Holly and 14th.

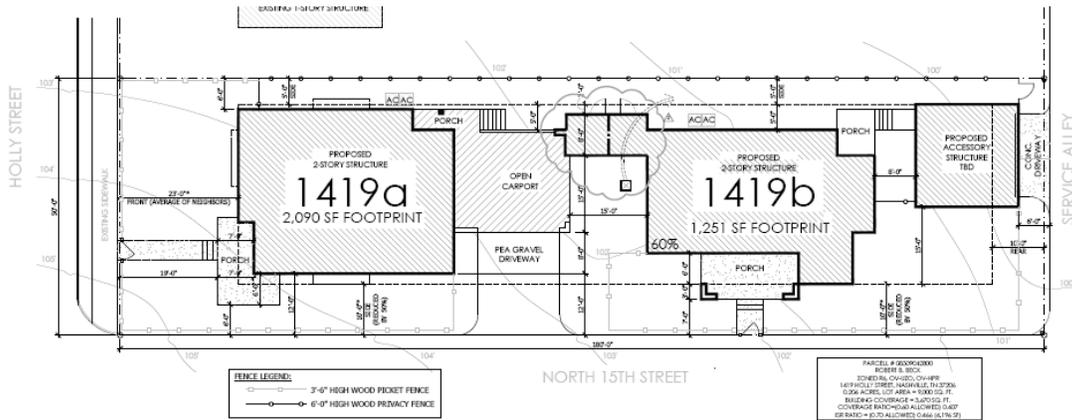


Figure 6: 1419 Holly, denied application

Both of the previous projects were constructed on corner lots and the proposed project is on an interior lot. Recently a project was approved at 1820 Wildwood that is a second unit attached to a historic one and one-half story home.



Figure 7: Plan for 1820 Wildwood



Figure 8: Second unit for 1820 Wildwood

Although the project was well planned, the addition more than doubles the size of the original house and disrupts the development pattern of this portion of the neighborhood which was of small homes on large lots. Because of the drop in grade, this project was able to take advantage of basement-level garages and additional levels for the one and one-half story house.

Setback & Rhythm of Spacing: The side setbacks will remain the same as existing. The rear setback is more than sixty feet (60') at its shortest point. The bulk zoning only requires a twenty-foot (20') rear setback.

Materials: No major changes to the historic house's materials were indicated on the drawings. The addition will primarily be clad in smooth face cement fiberboard with a reveal of four inches (4"). The trim and porch materials were not indicated. The foundation will be split-face concrete block and the roof will be architectural fiberglass shingles. The color was not indicated. The windows and doors will be Marvin integrity with a window design of three-over-one to match the existing house and a full-light design for the doors. The materials for the vehicular doors, walkways and driveway were not indicated.

Roof form: The main portion of the addition will have a hipped roof with rear dormer similar to the existing house. Low gables connect these two ends with pitches of 8/12 and 4/12, all compatible with the neighborhood. Wall dormers are utilized towards the

rear, which are not typical historic features; however, they will be minimally visible, if at all, from the street. There are no skylights, solar panels or chimneys indicated.

Orientation: The home will retain its primary orientation towards the street.

Proportion and Rhythm of Openings: No changes to the window and door openings on the existing house were indicated on the plans. The windows on the proposed addition are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. The longest expanse of wall space without a window or door opening is approximately sixteen feet (16'); however, this happens far back on the addition.

Appurtenances & Utilities: An existing driveway will be extended to the garages. No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was noted for one unit and not the other. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Outbuildings: The proposal includes two one-bay garages located between the two units. The Commission has a policy to only allow attached garages if they are at the basement level, as this is the only time that garages were attached historically. Staff recommends removing the garage bays and creating a detached outbuilding or parking pad.

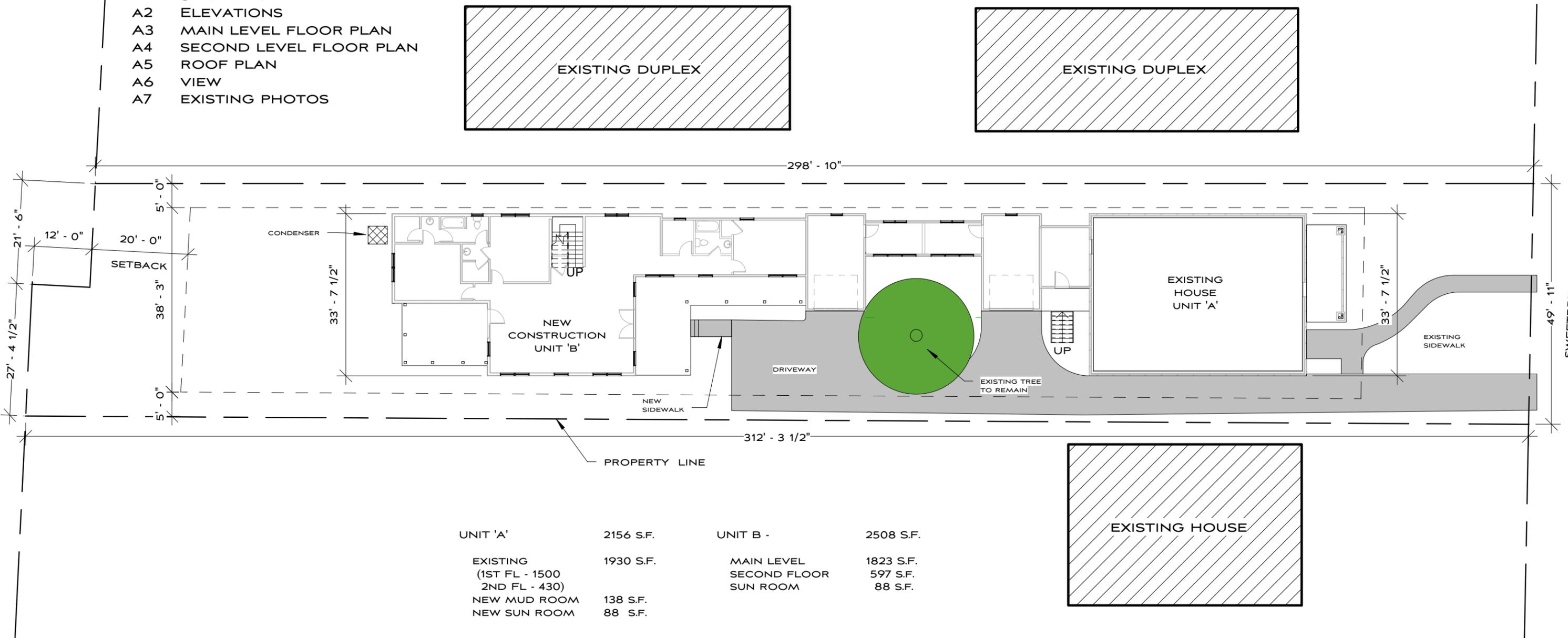
Recommendation: Staff recommends approval of demolition of the existing non-historic deck. Staff recommends disapproval of the addition because the scale of it is too large compared to the historic home, causing an adverse effect to the historic building. In addition, the attached garages do not meet the Commission's policy, based on historic conditions, for the location of attached garages. The project does not meet sections II.B.2.a, b, f and e. II.B.1.i

If approved, Staff recommends consideration of the following conditions:

- The massing and scale of the addition be reduced;
- The second unit be redesigned to be an appropriately scaled addition, rather than a second unit attached by a narrow connector;
- The attached garages be removed and either a parking pad or garage be added somewhere between the middle and the rear of the lot, as seen historically;
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UNIT 'A'	2156 S.F.	UNIT B -	2508 S.F.
EXISTING (1ST FL - 1500 2ND FL - 430)	1930 S.F.	MAIN LEVEL	1823 S.F.
NEW MUD ROOM	138 S.F.	SECOND FLOOR	597 S.F.
NEW SUN ROOM	88 S.F.	SUN ROOM	88 S.F.

1 SITE PLAN & LAYOUT
1" = 20'-0"



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1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

SITE PLAN

HISTORIC SUBMITTAL
5-05-14

A-1

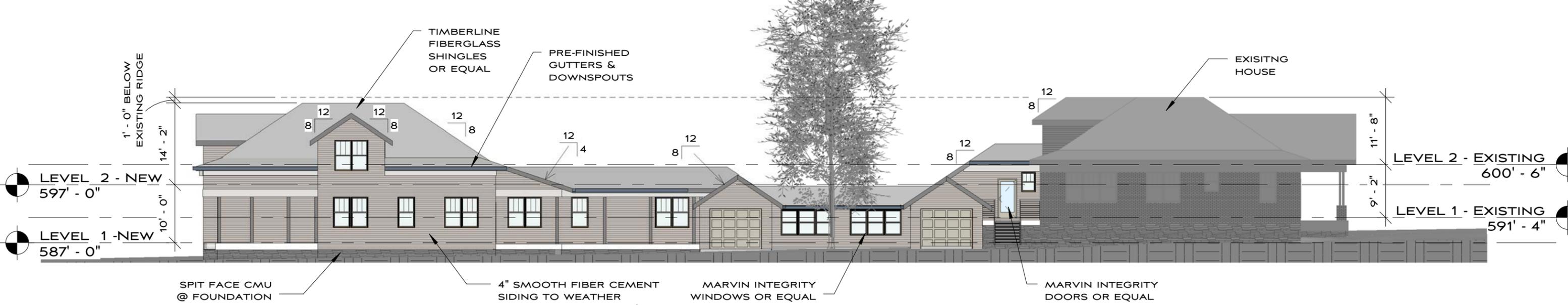
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MANUEL ZEITLIN ARCHITECTS

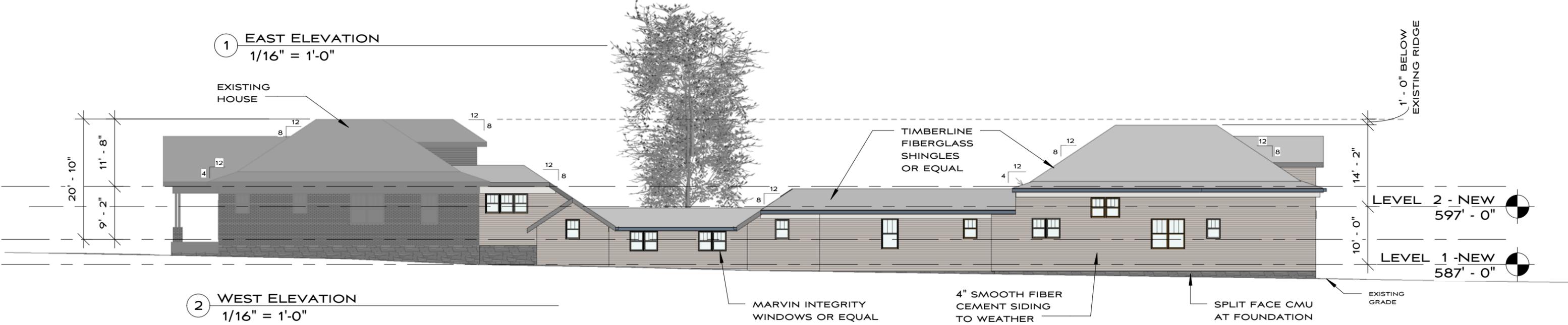


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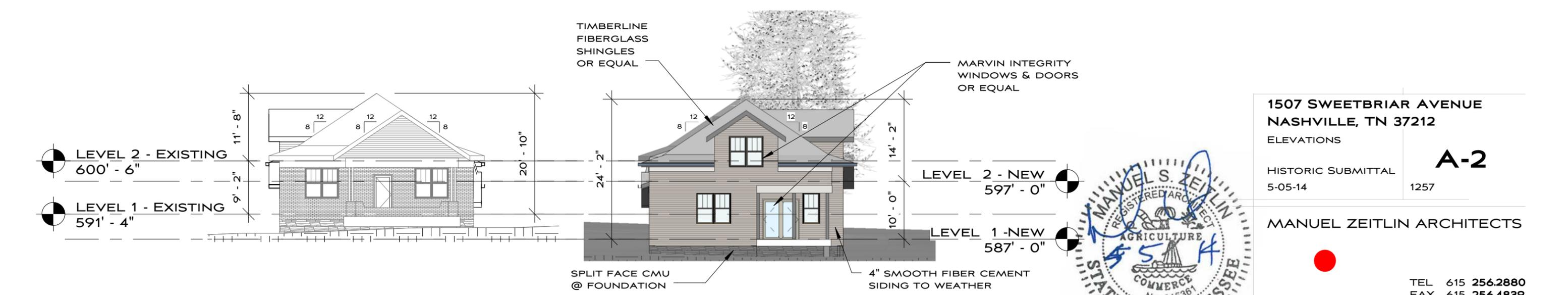
516 HAGAN ST., STE. 100, NASHVILLE, TN 37203



1 EAST ELEVATION
1/16" = 1'-0"

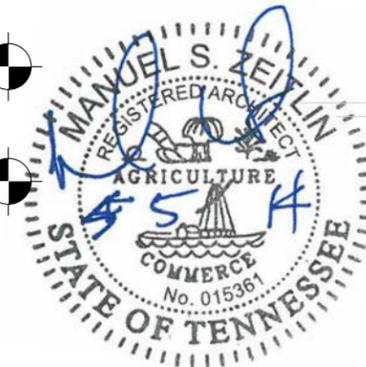


2 WEST ELEVATION
1/16" = 1'-0"



3 NORTH ELEVATION - EXISTING HOUSE
1/16" = 1'-0"

4 SOUTH ELEVATION
1/16" = 1'-0"



1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

ELEVATIONS

HISTORIC SUBMITTAL
5-05-14

A-2

1257

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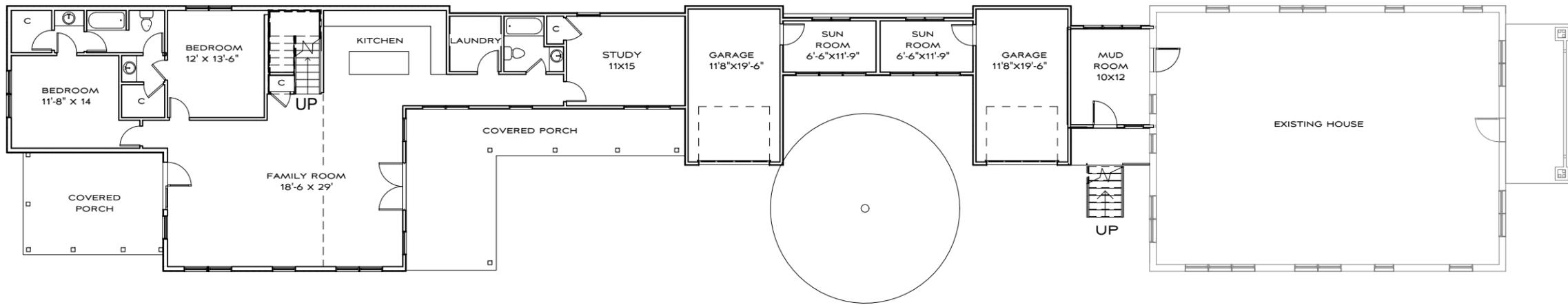
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2

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4

3
A-2



1
A-2

1 LEVEL 1 -NEW
1/16" = 1'-0"



1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

MAIN LEVEL PLAN

HISTORIC SUBMITTAL
5-05-14

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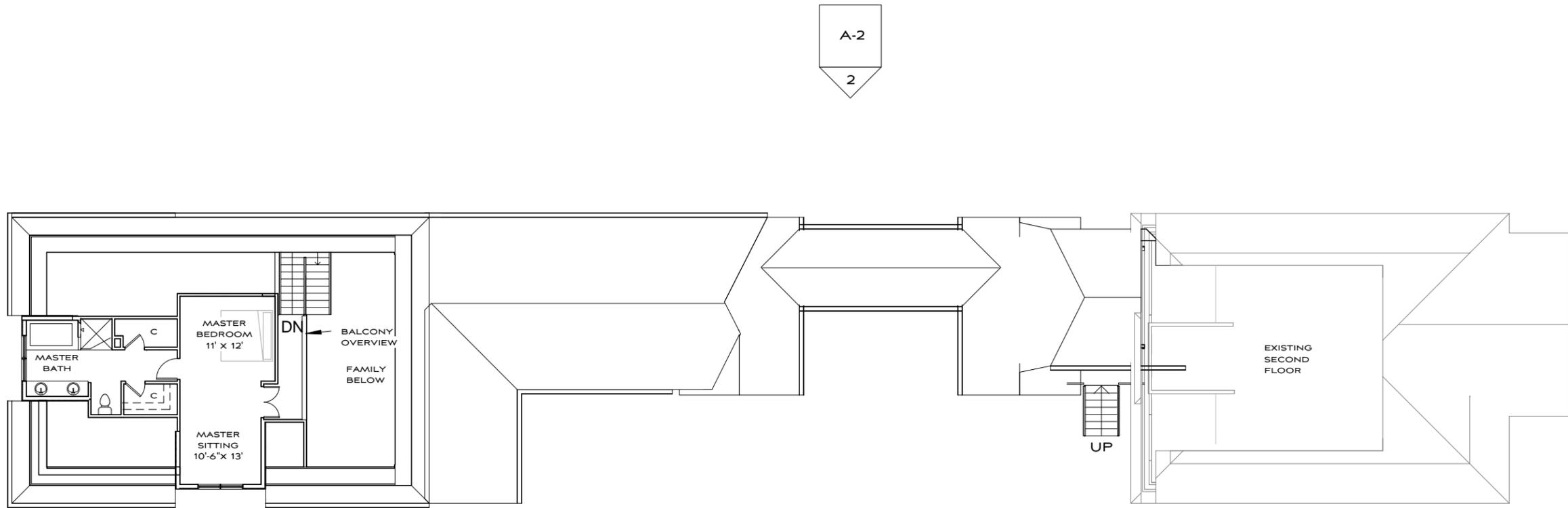
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1 LEVEL 2 - NEW
 1/16" = 1'-0"



1
 A-2

1507 SWEETBRIAR AVENUE
 NASHVILLE, TN 37212

SECOND FLOOR
 PLAN

HISTORIC SUBMITTAL
 5-05-14

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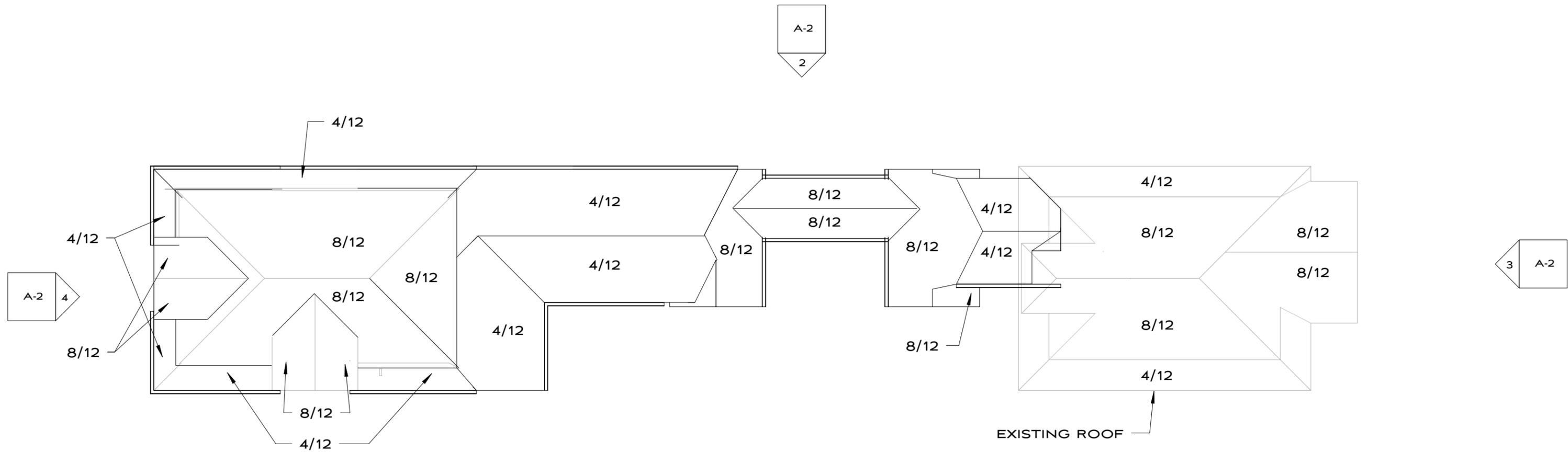
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1 ROOF
1/16" = 1'-0"



1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

ROOF PLAN

HISTORIC SUBMITTAL

5-05-14

A-5

1257

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516 HAGAN ST., STE. 100, NASHVILLE, TN 37203



1 VIEW FROM STREET

1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

VIEW

HISTORIC SUBMITTAL
5-05-14

A-6

1257



MANUEL ZEITLIN ARCHITECTS



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FRONT WITH NEIGHBORS



FRONT WITH SIDE NEIGHBOR DUPLEX



SIDE NEIGHBOR DUPLEX AT REAR



FRONT & SIDE OF EXISTING HOUSE



REAR OF EXISTING HOUSE



1507 SWEETBRIAR AVENUE
NASHVILLE, TN 37212

EXISTING PHOTOS

HISTORIC SUBMITTAL

5-05-14

A-7

1257

MANUEL ZEITLIN ARCHITECTS



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