



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**2400 Barton Avenue**  
**May 21, 2014**

**Application:** Demolition—outbuilding; New construction-outbuilding; Setback determination

**District:** Hillsboro-West End Neighborhood Conservation Zoning Overlay

**Council District:** 18

**Map and Parcel Number:** 10411017200

**Applicant:** Joel Wingard, ProMark Home Designs

**Project Lead:** Paul Hoffman, paul.hoffman@nashville.gov

**Description of Project:** The applicant proposes to demolish an existing outbuilding and to construct a new outbuilding on the site of the existing garage. A setback determination is requested from twenty feet (20') to twelve feet (12') from 24<sup>th</sup> Avenue South

**Recommendation Summary:** Staff recommends approval of the demolition, new outbuilding, and setback determination with the condition that staff approves windows, doors, garage doors and the color of roofing material. With this condition, staff finds that the project meets II.B.h of the Hillsboro-West End Neighborhood Conservation Zoning Overlay Design Guidelines.

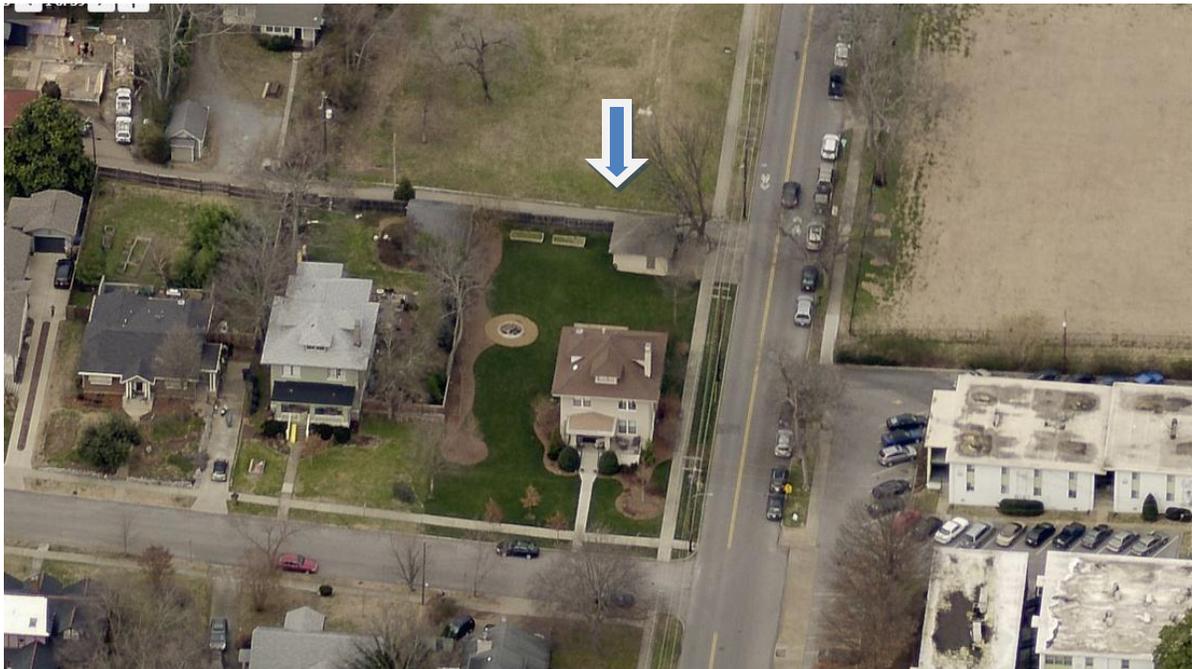
**Attachments**

- A:** Photographs
- B:** Site Plan
- C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. GUIDELINES

#### h. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

*Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.*

*Generally, either approach is appropriate for new outbuildings.*

##### *Outbuildings: Roof*

*Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.*

*Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.*

*The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.*

##### *Outbuildings: Windows and Doors*

*Publicly visible windows should be appropriate to the style of the house.*

*Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*

*Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*

*Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.*

*For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

*Decorative raised panels on publicly visible garage doors are generally not appropriate.*

##### *Outbuildings: Siding and Trim*

*Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).*

*Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*

*Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*

- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

***i. Utilities***

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

**III.B.1 Demolition is Not Appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

**III.B.2 Demolition is Appropriate**

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 D of the historic zoning ordinance.

**Background:** 2400 Barton Avenue is a four-square home built circa 1928 and is a contributing building to the Hillsboro-West End Neighborhood Conservation Overlay.

**Analysis and Findings:** The applicant has proposed a two-bay, one-and-a-half story garage on the site of the existing one. The new outbuilding will be four feet (4') larger on each side than the current garage.



Figure 1. 2400 Barton Avenue

**Demolition:** An existing outbuilding is proposed to be demolished. This structure is not of architectural or historical interest and is not contributing to the historic house or the overlay. The project meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.



Figure 2. Existing garage to be demolished.

Location & Orientation: The outbuilding will be located on the site of the existing one. The location at the rear of the lot is an appropriate location for an outbuilding. The existing driveway off 24<sup>th</sup> Avenue South will provide vehicular access in accordance with the historic context. As the proposed location is on the existing one, the driveway will not be expanded and there will be no additional curb cut. Two doorways will face the house for pedestrian access. A stoop for these doorways is the extent of the walkways proposed. Staff finds the project meets section II.B.h.2.

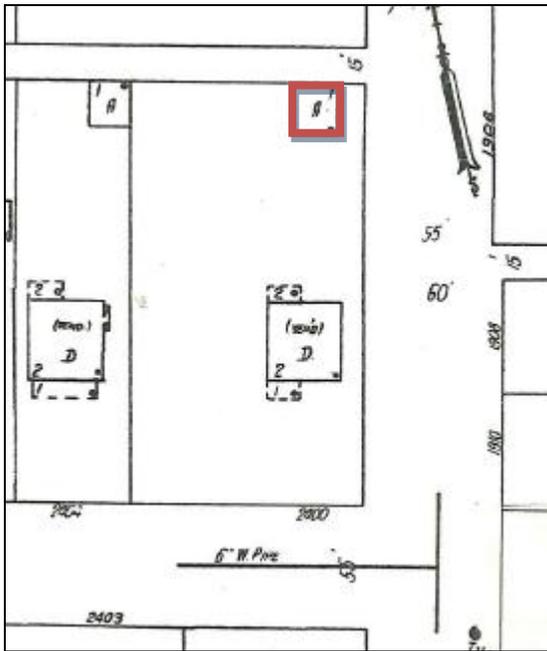


Figure 3. Sanborn map from 1957 shows the existing outbuilding.

Height, Scale, Design: The outbuilding is proposed to be one-and-a-half stories and twenty feet ten inches (20' 10") in ridge height from grade, and twenty-six feet (26') square for a total footprint of six hundred and seventy-six square feet (676 sq.ft.). Eave height is ten feet (10'). This is appropriately subordinate to the primary building, which

has a height of thirty-six feet (36') from grade. Its height and scale are similar to outbuildings at 2401 and 2403 Fairfax Avenue that the Commission approved in 2013. Staff finds the design of the proposed building is compatible with the context, and the project meets section II.B.h.1 of the design guidelines.

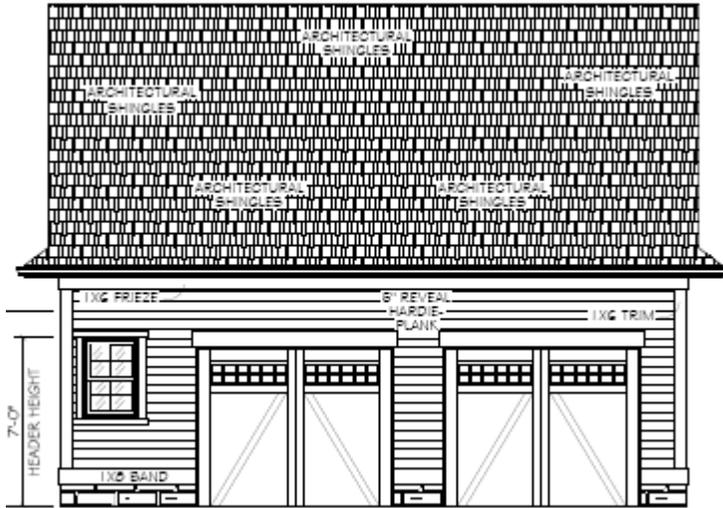


Figure 4. Street-facing facade of the proposed outbuilding.

**Setback & Rhythm of Spacing:** The proposed outbuilding will be five feet (5') from the rear property line, which meets base setback requirement of three feet (3') for the side of an outbuilding without garage doors. A setback determination is requested for the side facing 24<sup>th</sup> Avenue South. Base zoning requires a twenty foot (20') setback; the proposed is twelve feet (12'). Staff finds this location to be appropriate given that the location of the new building is consistent with the historical context, and that the new outbuilding is less than seven hundred square feet (700 sq.ft.). In addition, the outbuilding will match the existing 24<sup>th</sup> Avenue setback as the existing outbuilding that is to be demolished. The proposed outbuilding maintains the historic rhythm along the street and meets section II.B.h.2.

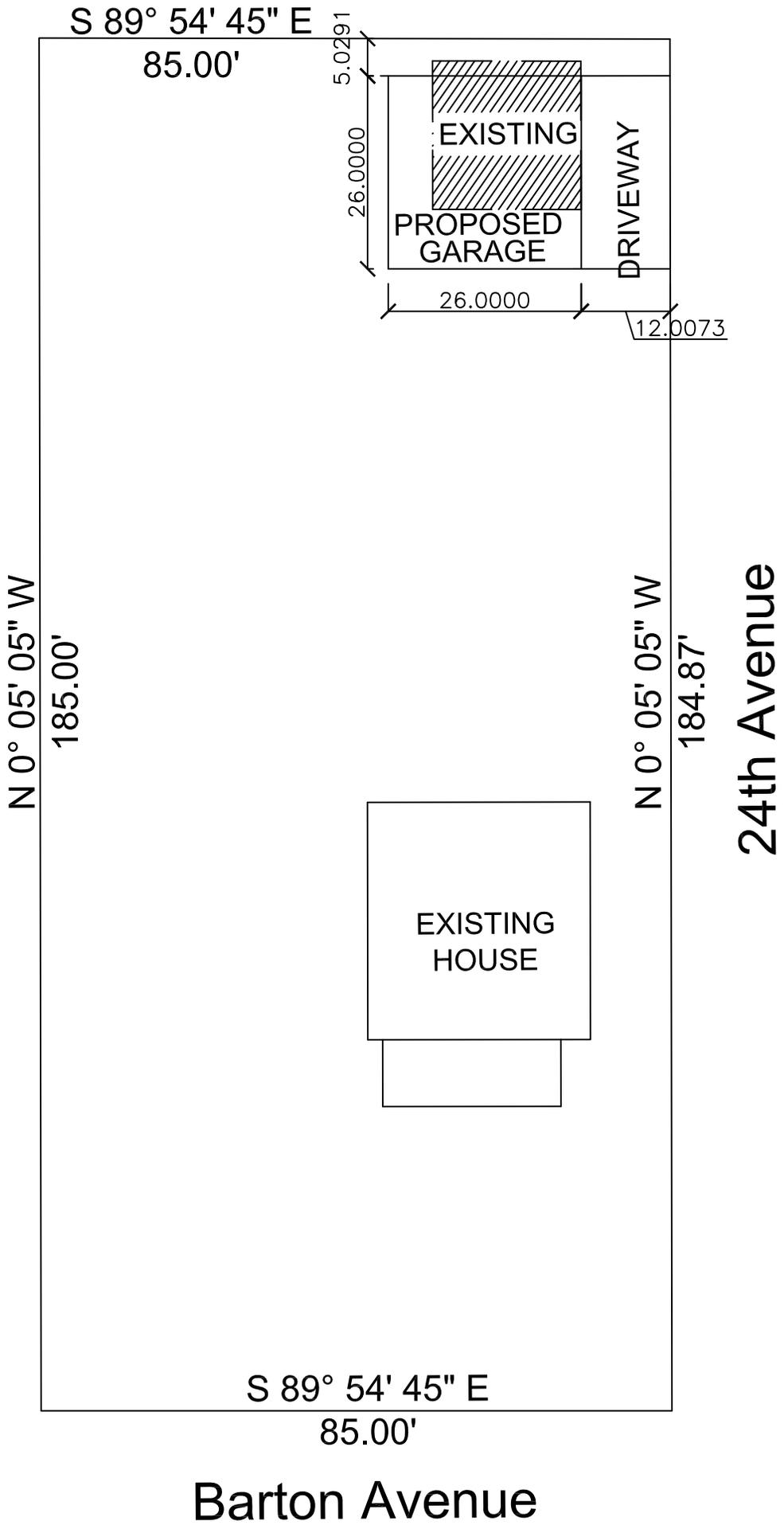
**Materials:** The materials for the proposed outbuilding are cement fiber siding with a five inch (5") reveal, wood trim, concrete block foundation and architectural shingles. The windows and doors were not specified; staff asks to approve the final window, door and garage door selections prior to purchase and installation. With the staff's final approval of the windows, doors and garage doors, staff finds that the materials meet section II.B.h.1.

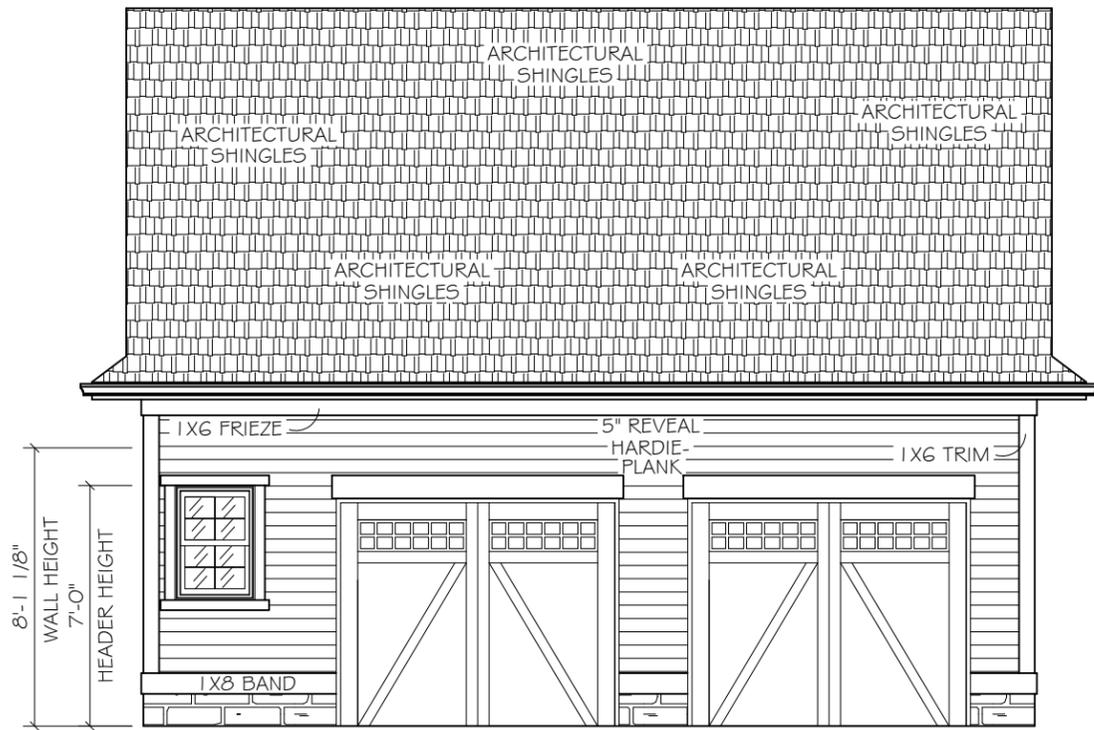
**Roof form:** The outbuilding's primary roof form is a side gable with a pitch of 9/12. A rear shed dormer has 3/12 pitch. Staff finds the roof form is compatible with other structures in the neighborhood. The project meets section II.B.h.1.

Appurtenances & Utilities: The location of the HVAC will be on the rear elevation. No change to driveways or addition of walkways is proposed. The project meets section II.B.1.h and i.

**Recommendation:**

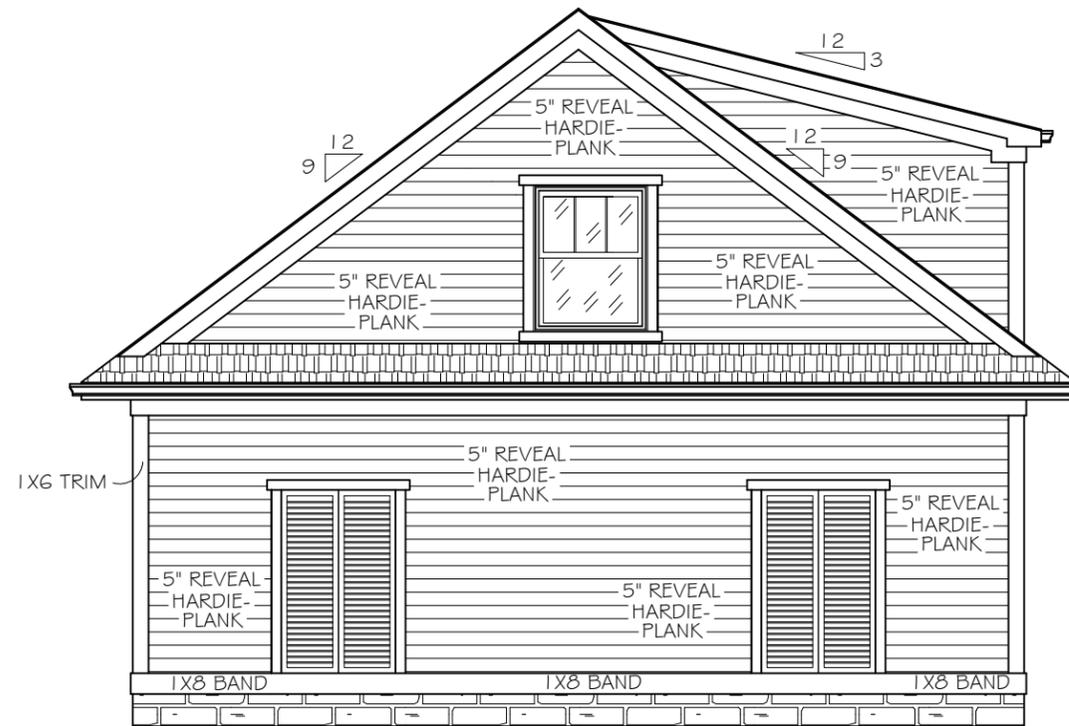
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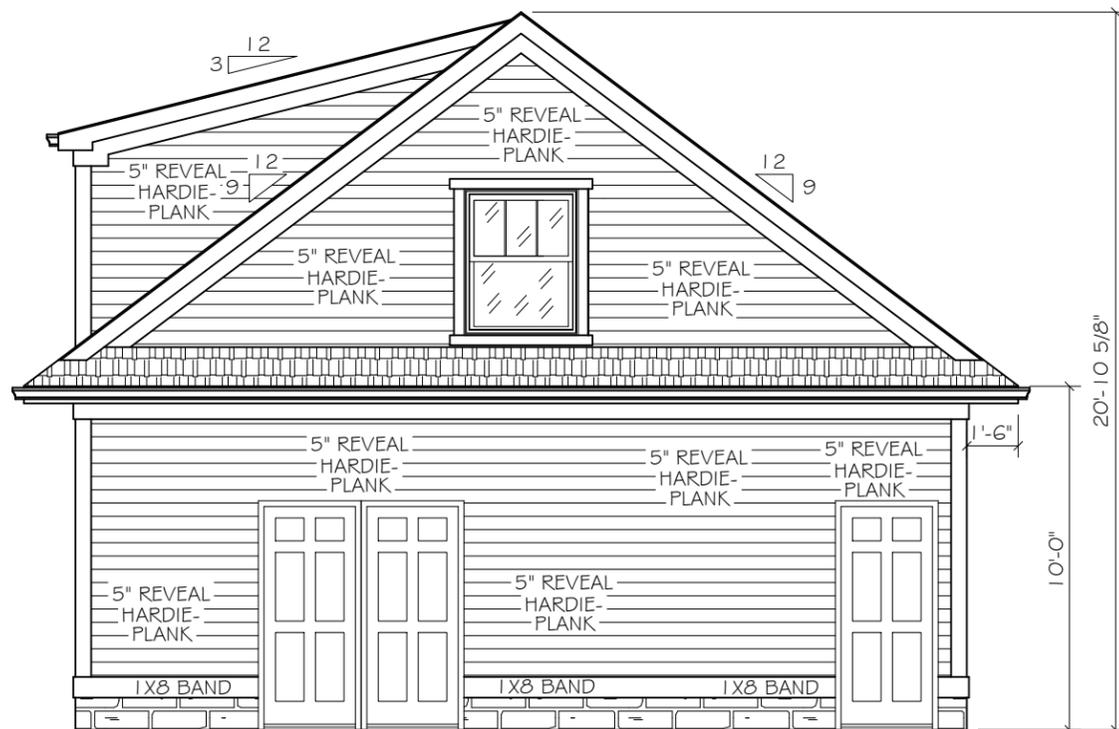
FRONT ELEVATION

3/16" = 1'-0"



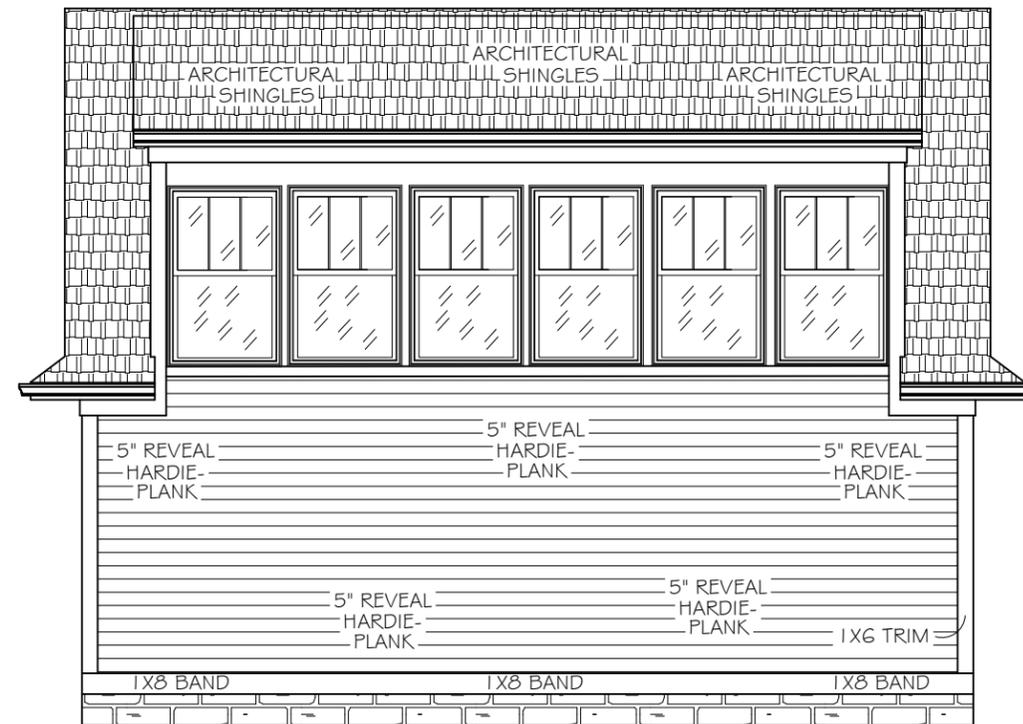
RIGHT ELEVATION

3/16" = 1'-0"



LEFT ELEVATION

3/16" = 1'-0"



REAR ELEVATION

3/16" = 1'-0"

**ProMark**  
Home Designs LLC.

P.O. Box 159144 Nashville, TN 37215

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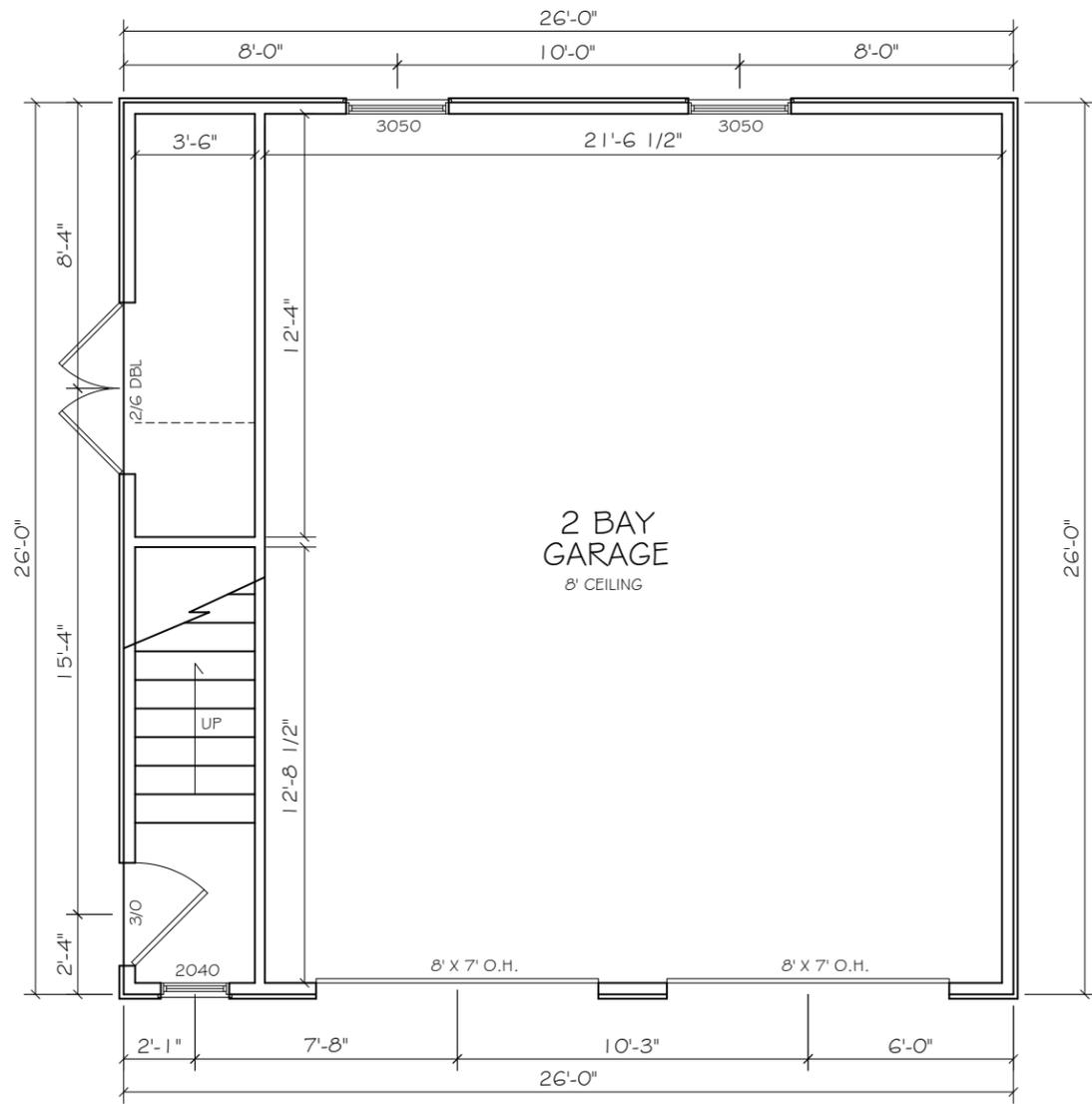
The "Cote" Residence

It is the intent of these documents to provide sufficient information to the experienced builder to construct the project shown; it is therefore his / her responsibility to verify accuracy and compliance with all regulatory agencies prior to construction; and their requirements must take precedence over those shown.

DRAWN BY:  
J.W.

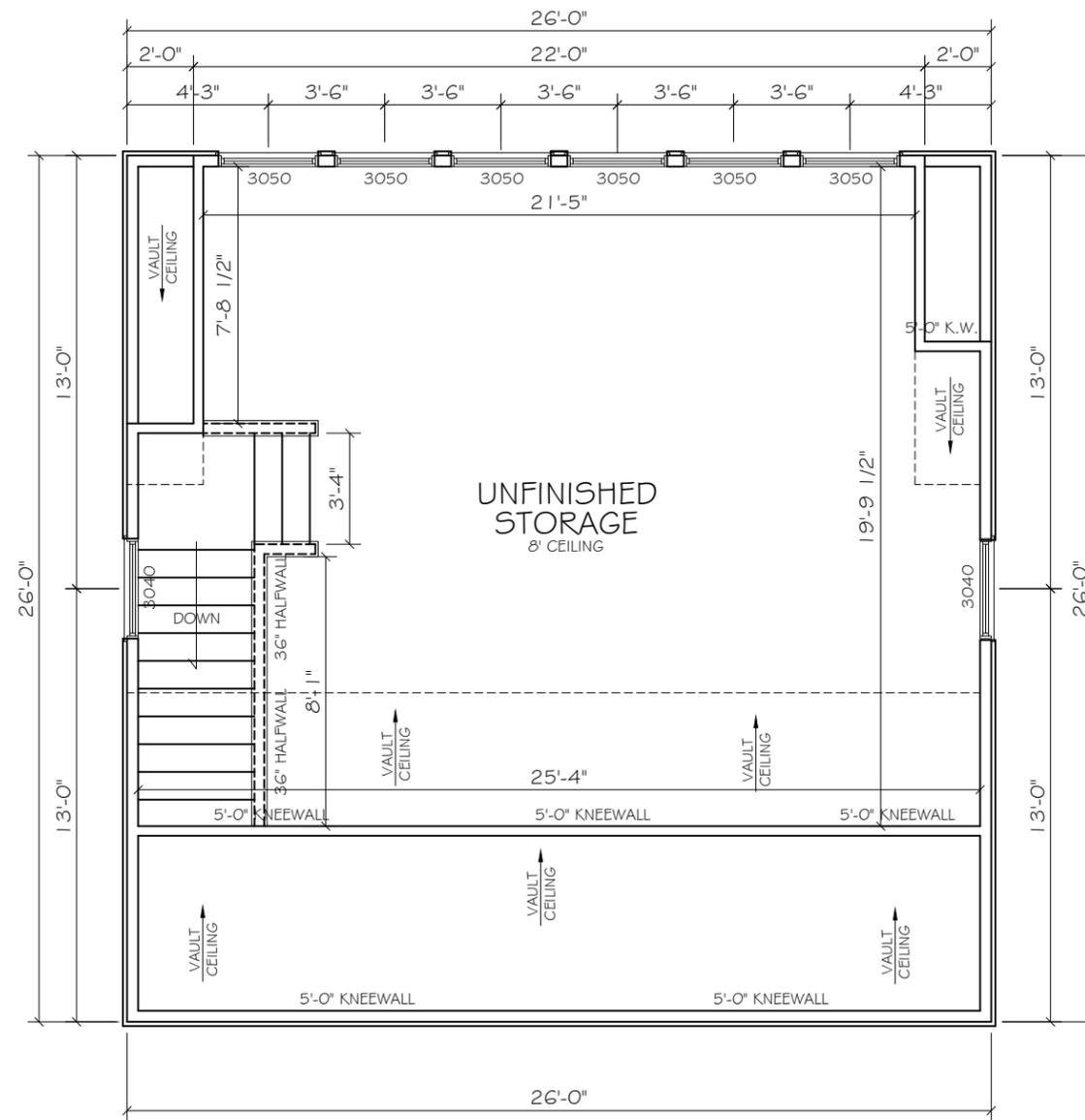
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Cote

DATE: 3/19/14



**PROPOSED FIRST FLOOR PLAN**

3/16" = 1'-0"



**PROPOSED SECOND FLOOR PLAN**

3/16" = 1'-0"

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