



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1101 Petway Avenue
June 18, 2014

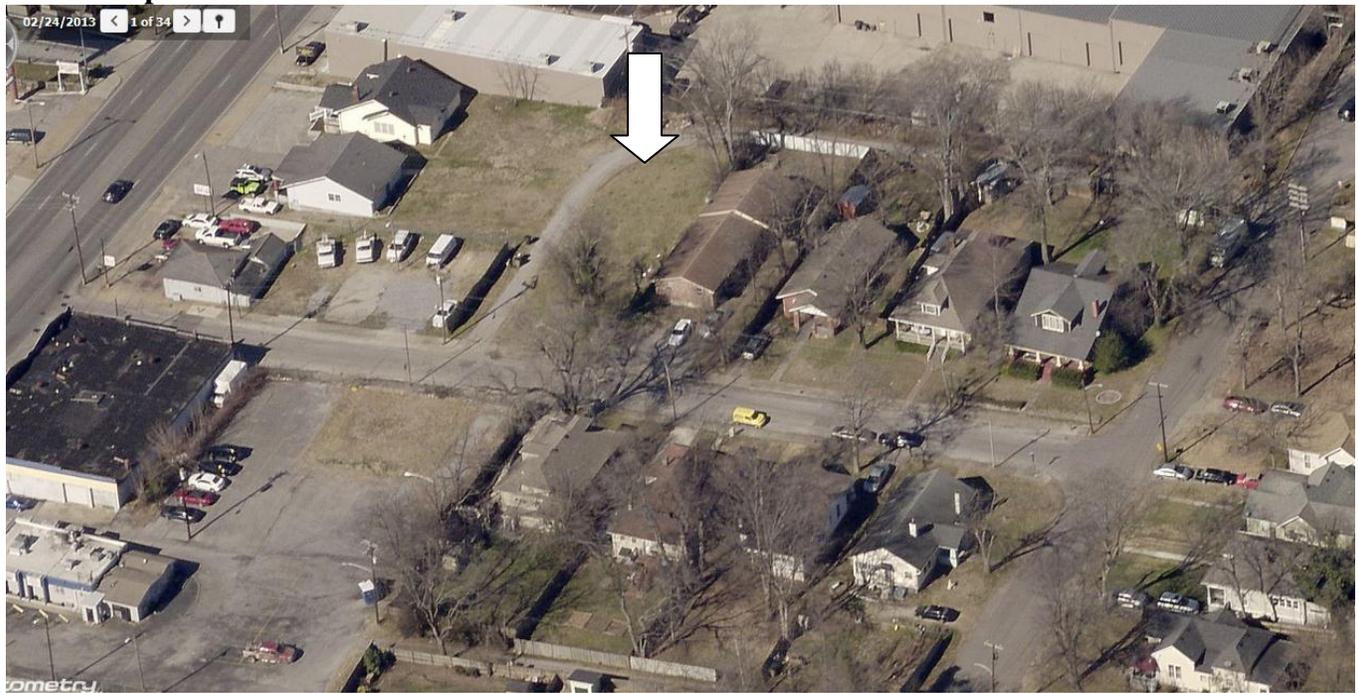
Application: New construction-infill
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08301042200
Applicant: Randall Morgan
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: This application is for construction of a two-family residence on a vacant lot.</p> <p>Recommendation Summary: Staff recommends disapproval of the proposed infill, finding that the project does not meet sections II.B.1. a for height, II.B.1.b for scale, II.B.1.c for rhythm of spacing, or II.B.1.f for orientation of the Eastwood Neighborhood Conservation Zoning Overlay Design Guidelines. Staff is not recommending approval with conditions, as the alterations necessary to meet the design guidelines will likely result in a redesign of the project.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

f. **O r i e n t a t i o n**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings shall incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utilities connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

g. **P r o p o r t i o n a n d R h y t h m o f O p e n i n g s**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

Brick molding is required around doors, windows and vents within masonry walls.

i. P u b l i c S p a c e s

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Background: 1101 Petway Avenue is a vacant lot. The contributing context on this street is one and one-and-a-half story bungalows.

Analysis and Findings: The applicant proposes a two-and-a-half story, two-family residence on the site.

Height & Scale: The new building is proposed to be two stories and thirty-six feet (36') from grade. The contributing homes in the vicinity are one and one-half stories and range in height from fifteen feet to twenty-six feet (15'-26'). Foundation height is two feet (2'), eave height is twenty-three feet (23') from grade, and porch height is eleven feet (11'). Two-story homes also are not the norm for the context. The building is proposed to be forty feet (40') wide. The houses nearby range from twenty-eight feet (28') to thirty-six feet (36') wide. The proposed eight feet (8') of porch depth is compatible with historic porches.

To the left of this lot is an alley and commercial lots (zoned MUG-A) that front Gallatin Road and are not in the overlay. Behind the lot is property zoned OR20 that is also not in the overlay. On the right side of the lot is a non-contributing building, located within the overlay. Staff finds that this context allows for a larger building than might otherwise be appropriate but is concerned that ten feet (10') taller than the tallest building in the immediate vicinity and four feet wider than the widest building results in a building that is out of scale for the district. The project does not meet sections II.B.1.a or b.

Setback & Rhythm of Spacing: The building is proposed to be centered on the lot, with setbacks of five feet (5') on the sides. The rear porch of the building would be approximately seventy feet (70') from the rear property line. The front setback is in line with the adjacent buildings.

The proposed width is several feet wider than contributing residences in the neighborhood which means that the building will not maintain the rhythm of spacing of the block. Therefore the proposal does not meet section II.B.1.c.

Materials: The house is proposed to be clad in smooth-face cement fiber siding with a five inch (5") reveal, with the dormer and bays clad in cement fiber shakes. Decorative elements will be wood. The front and rear porch columns, railing, decking will be wood or cement fiberboard. The foundation will be split-face concrete block, and the roof will be architectural fiberglass shingles. Roofing color was not indicated. The porch has a concrete slab and steps. The design of the windows and doors is indicated but not the material or manufacturer. Walkways and parking pads are concrete.

Roof form: The proposed hipped roof and dormer have 8/12 pitch that flares to 4/12. This is an appropriate roof form historically. The project meets section II.B.1.e.

Orientation: The building will address Petway Avenue with the same orientation as historic homes. Each unit has a porch addressing the street. A new concrete walkway would connect each porch to the sidewalk. Vehicular access is at the rear of the lot. A parking pad for each unit is proposed, one off the side and the other from the rear alley.

Although it isn't shown on the side elevations, the floor plan indicates a wall down the center of the porch, which staff recommends removing as it does not match the orientation of historic porches.

Proportion and Rhythm of Openings: The windows on the front facades are generally twice as tall as they are wide, meeting the historic proportions of openings. The square windows in the dormer are common in that location. The small paired windows on the side elevations are appropriate as they mimic the small square windows that are often located aside a chimney on historic homes. The largest expanse of wall space without a window or door opening is approximately eleven feet (11').

Recommendation:

Staff recommends disapproval of the application, finding that the project does not meet sections II.B.1. a for height, II.B.1.b for scale, II.B.1.c for rhythm of spacing, or II.B.1.f for orientation of the Eastwood Neighborhood Conservation Zoning Overlay Design Guidelines.



Figure 1. Vacant lot at 1101 Petway Avenue.



Figure 2. Neighboring buildings to the right of the site.



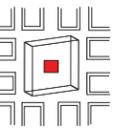
Figure 3. Vacant lot across the street.



Figure 4. Contributing historic bungalows across the street and to the left from the proposed site.



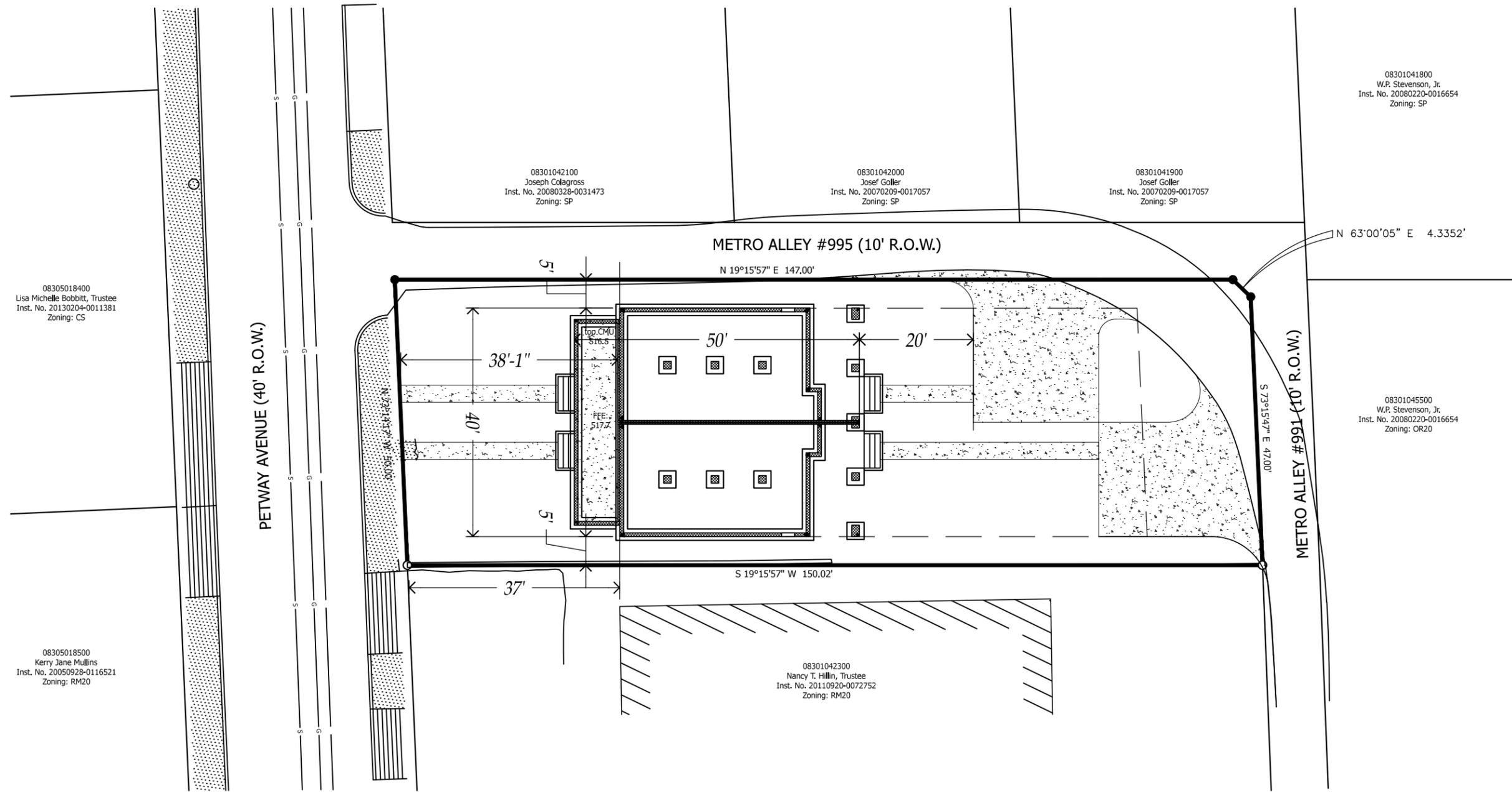
Figure 5. Looking toward Gallatin Avenue.



Farmer
Morgan

Pikeville, TN • Nashville, TN • Tusculum, AL

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1101 PETWAY TOWHOMES
1101 PETWAY AVENUE
NASHVILLE, TENNESSEE

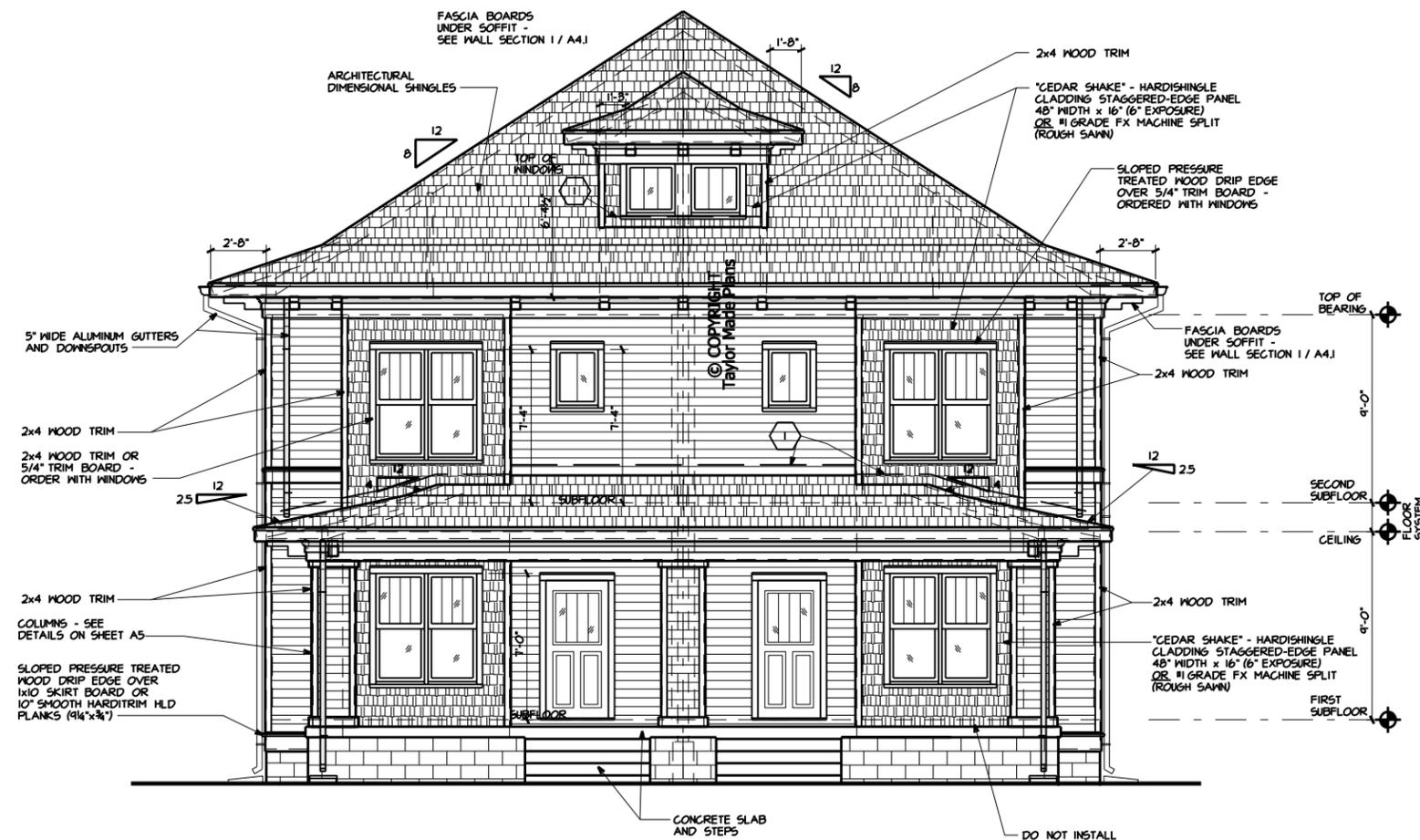
Scale: 1" = 20'
 Date: 5/30/2014
 Revisions:

HISTORIC
 COMMISSION
 Site Plan

5/24/2014

1101 Petway Ave.
Nashville, TN 37206

SCHEMATIC PLANS NOT FOR CONSTRUCTION



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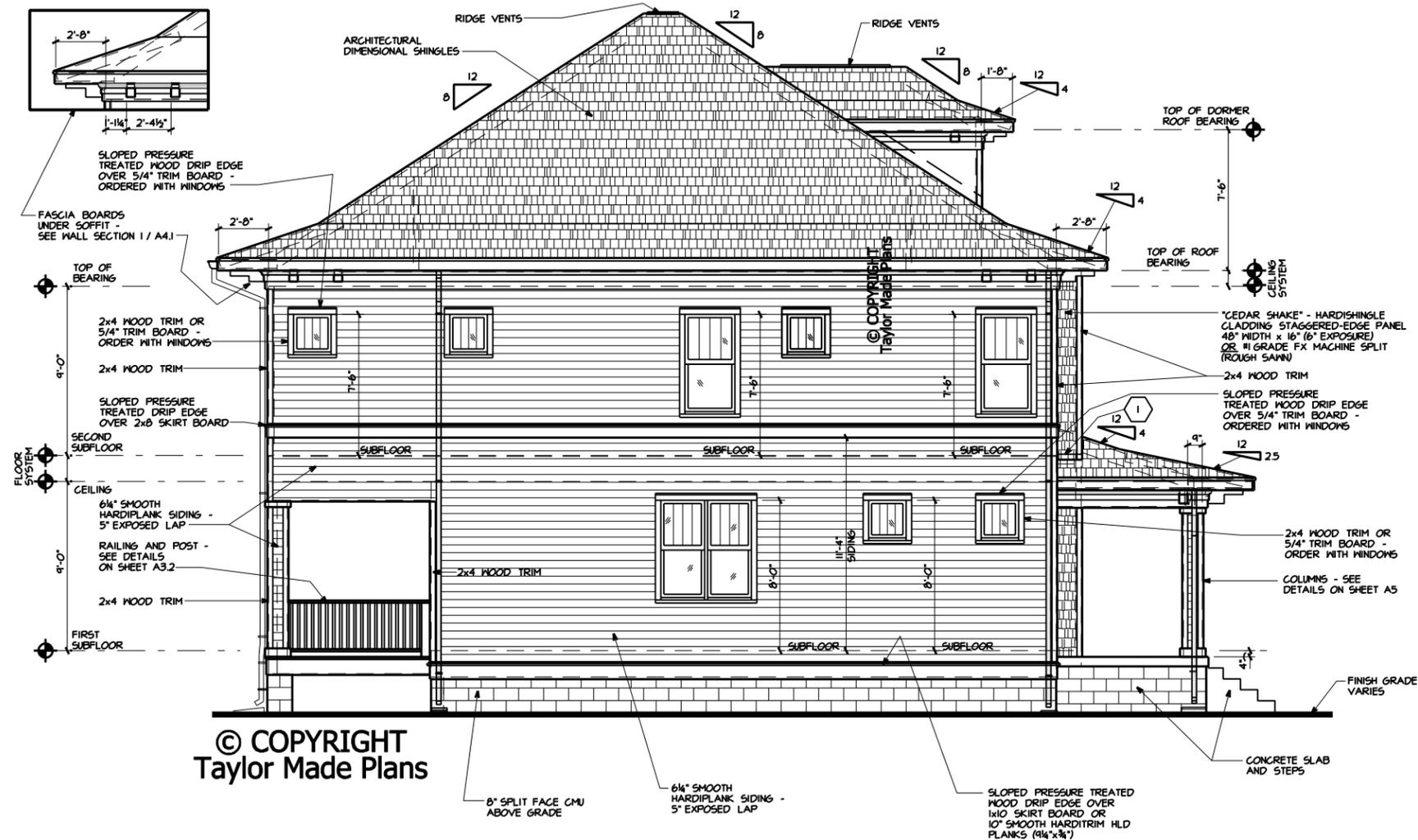
FRONT ELEVATION

SCALE: 1/8" = 1'-0"

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SCHEMATIC PLANS NOT FOR CONSTRUCTION



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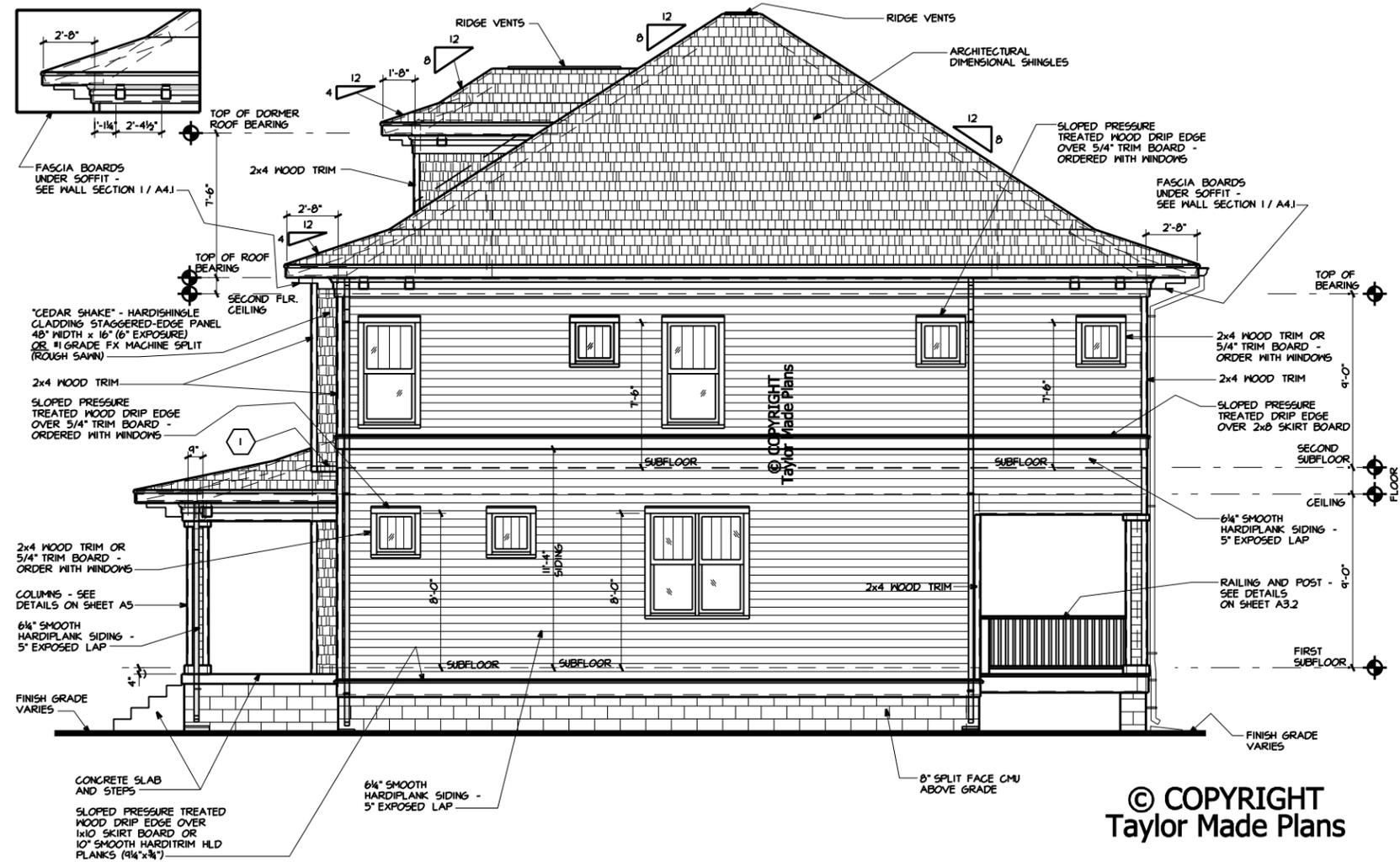
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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3

RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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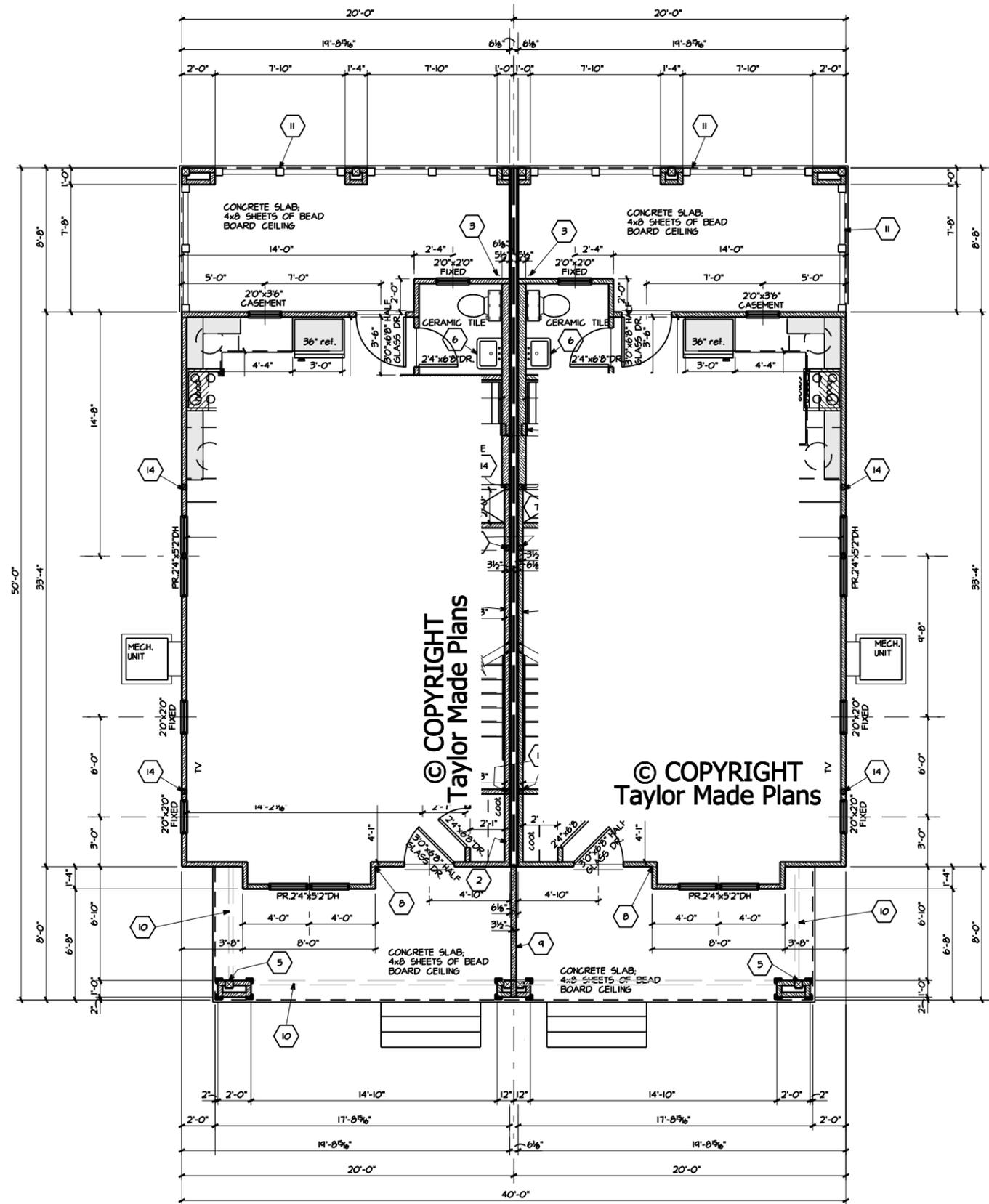
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REAR ELEVATION

SCALE: 1/8" = 1'-0"

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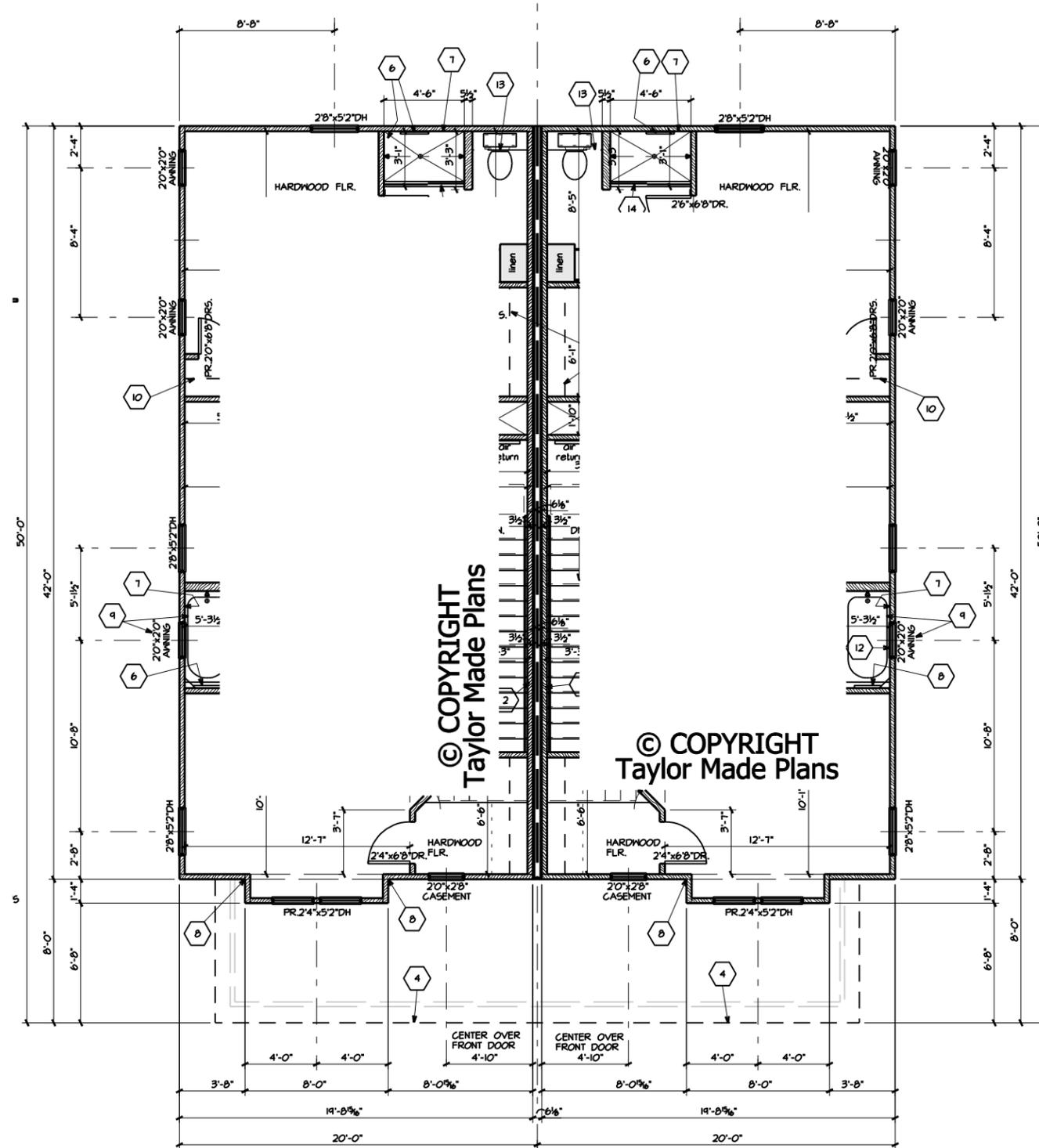
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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"