



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
116 Opry Place (116 Fifth Avenue North, Ryman Auditorium)
July 16, 2014

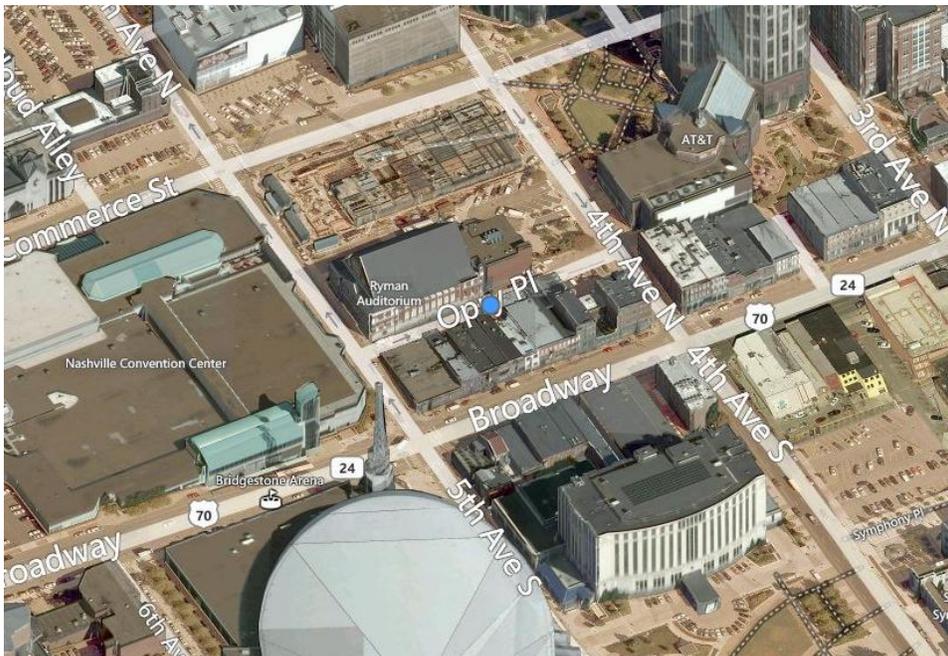
Application: Demolition, Addition, Signage
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306307100
Applicant: Brian Wagner
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: The project includes demolition of the principle façade of the existing non-historic addition, construction of a new addition and of an electronic sign.</p> <p>Recommendation Summary: Staff recommends approval of the project with condition that the electronic signage be reduced to be no more than one-hundred and fifty-four square feet (154'). With this condition, staff finds that the proposed sign meets section IV of the <i>Broadway Historic Preservation Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Plans B: Engineer's Report</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

V. Guidelines: Demolition

1. Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
2. Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.
3. Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
4. Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.120.190, as amended, of the historic zoning ordinance.

III.H: Guidelines: Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story (or 15') in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
Rooftop railings should set back from each street facing wall by 8'.
Railings should not be used to support additional elements such as speakers, lighting, plants or signage.
In locations where railings are visible from the street, the materials should minimize the impact of the railing. Materials such as butt-joint glass or horizontal steel cable, may be appropriate.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

IV. SIGNAGE

MODIFICATIONS

Sign Permit Modifications

Requests for modifications to sign standards are reviewed by the Metro Historic Zoning Commission. If the property is also within a MDHA redevelopment district, approval from the MHZC is all that is needed. Two additional types of Modifications for signage related permits may be requested and are outlined below.

Modifications for Exceptional Design

Creative signage that does not fit the specific regulations of these guidelines may be considered by the MHZC, based on its merits, as they relate to all of the following design criteria:

- Architecture
- The configuration or location of the building or property
- Building scale
- Legibility
- Technical competence and quality in design, construction and durability

Applications for this type of Modification require submittal of a common sign plan for the property in question. Approval of any related structure (i.e. canopy) will require review by all applicable agencies. Exceptional design modifications shall not permit electronic changeable copy where it is otherwise not permitted.

Allocation of Sign Area

The maximum sign area for each type of sign is established in the following tables. Specific requirements for each sign type are shown on the subsequent pages.

For each cell in the table, there is a maximum allowed sign area that may be utilized with any combination and any number of signs associated with that cell, unless otherwise noted.

The measurements for “linear feet” shall be at grade.

Building Signs

Wall, Awning, Canopy and Projecting Signs—1.5 square feet of sign area per 1 linear foot of building façade or 36 square feet, whichever is greater. When a projecting sign is used on a building, an additional .50 square feet of sign area per 1 linear foot of building façade shall be permitted, for a total 2 square feet per 1 linear feet of building façade.

Shingle Sign: 9 square feet per sign

Ground Signs

Monument Sign-24 square feet

Skyline Signs

75'-110'—480 square feet

101'-200'—600 square feet

201' and taller-720 square feet

GENERAL STANDARDS

Materials

All permanent, on-premises signs shall be constructed of a rigid, weatherable material such as hard plastic, wood, MDO plywood, aluminum, steel, PVC, glass, fiberglass and or Plexiglass. On-premises permanent signs shall not be constructed of nonrigid materials including, but not limited to, vinyl, fabric, canvas, or corrugated plastic. The provisions of this subsection shall not apply to approved, permitted canopies, awnings and porticoes.

Building Façade and Street Frontage Measurement

In determination of number of stories of a building, rooftop additions shall not be considered within the number of stories.

Building Sign: Wall Sign

Description

- A wall sign is a building sign that is attached flat to, or mounted away from but parallel to, the building façade.
- A wall sign may be painted on the building façade, in some instances, as a modification.

General Provisions

- A wall sign shall be located lower than the window sills of the top floor for multi-story buildings.
- No portion of a wall sign may extend above the roof line or above a parapet wall of a building with a flat roof.
- No portion of a wall sign may extend above the lower eave line of a building with a pitched roof.
- A wall sign cannot cover windows or architectural details.
- An exposed raceway shall be finished to match the background wall or be integrated into the overall design of the sign.
- A wall sign can be externally or internally illuminated in accordance with the section on Illumination.

Design Standards

A Overall area allocation (max)--see allocation of sign area

B Projection (max)--2 inch OR 13 inches for internally lighted or neon signage

C Exposed Raceway height--50% of the letter height, OR if the Raceway is used as the sign background, the Raceway may extend 3 inches beyond the largest part of the sign. Refer to Illumination section for additional raceway standards and permitted locations.

Building Sign: Changeable Copy Sign

Description

- Manual changeable copy sign. A sign or portion of a sign that has a readerboard for the display of text information in which each alphanumeric character, graphic or symbol is defined by objects, not consisting of an illumination device. Changeable copy is changed or re-arranged manually or mechanically without altering the face or the surface of the sign.
- Electronic changeable copy sign. A sign or portion of a sign that displays information in which each alphanumeric character, graphic, or symbol is defined by a small number of matrix elements using different combinations of light emitting diodes (LED's), fiber optics, light bulbs or other illumination devices within the sign.

Usage

- Manual and Electronic changeable copy is allowed for Tourist Oriented Businesses only when used in conjunction with a wall sign or a monument sign provided the changeable copy portion is no greater than 50% of the built sign area.
- An electronic changeable copy sign is not allowed in a Redevelopment District or on Interstate frontage.

Spacing

- The closest edge of an electronic changeable copy sign must be a minimum distance of 100 feet from any residential zoning district.
- An electronic changeable copy sign must be separated from another electronic changeable copy sign by at least 50 feet.

Duration

- Any image or message or portion of the image or message must have a static display for minimum duration of eight seconds.
- Transition time must be immediate.
- No portion of the image or message may flash, scroll, twirl, change color or in any manner imitate movement.

Brightness

- The sign must not exceed a maximum illumination of 7,500 nits during daylight hours and a maximum illumination of 750 nits between dusk to dawn as measured from the sign's face at maximum brightness.
- Electronic changeable copy signs must have an automatic dimmer control to produce a distinct illumination change from a higher illumination level to a lower level.

Analysis and Findings:

Demolition: The project includes removing the primary face of the existing non-historic addition and a portion of the non-historic plaza. The current addition and plaza were added to the rear of The Ryman, to serve as the new entrance, in 1994. Demolition meets section V, the existing addition does not contribute to the historic importance of the building or the district.

Addition: The proposed addition will extend the existing addition with a portion continuing across the current plaza, providing an additional "face" for the building along Ryman Alley and that will be more visible from Broadway.

Scale: The scale of the addition is minimal compared to the historic portion of the building in terms of square footage, height, and width. The two-story portion is approximately seven feet (7') shorter than the existing addition. The majority of the building is one-story with a basement level. The one-story portion is approximately twenty-six feet (26') shorter than the existing building, and all of

the new and existing addition is significantly smaller than the historic building. Because the new portion is so minimal, it meets section III.1 for scale.

Materials and Texture: The materials for the two-story portion will match the existing rear addition. The one-story portion will include a glass wall, a perforated metal screen, composite metal panels, aluminum-clad wood curtain wall with clear glazing, and colored cast-in-place concrete. A street-facing deck will be enclosed with a glass guard rail and cast concrete. The rooftop metal screen will not likely be visible from the street due to its location. The primary door facing the plaza will be full-light, and secondary doors on the alley side will be metal. The roof material will not be seen because of the flat roof design. All of these materials are appropriate and have been approved for new commercial construction in the past. With Staff providing final approval of the window and door designs and the color of the cast concrete, the project meets section III.1 for materials and texture.

Impact on Historic Building: The addition will not touch the historic building and is located at what was originally the rear of the building. Because it will not detract from the historic building or alter character-defining features and characteristics, the project meets section III.3.

Signage:

The project includes two signs. One will face the Fourth Avenue side and be on the wall near the steps. (Another sign appears to face Fourth Avenue. However, it is located above the entrance is within the building beyond the exterior glass feature wall and so was excluded in determining sign allocation.) The second sign will face the alley and is integral to the fascia of the one-story portion of the addition.

Signage Allotment: According to the design guidelines, a building can have one and one-half times the width (1.5 sq. ft.) of the building for signage. To determine the appropriate allotment, the width of the historic and primary portion of the building was used rather than the width of any additions. In addition, since this building spans an entire block and reads almost as different buildings on each street, staff recommends that each side of the building be allowed the maximum allotment. With this consideration, the Fourth Avenue side of the building would have an allocation of one-hundred and eighty square feet (180) square feet.

The wall sign is approximately twenty-six square feet (26') and the electronic sign on the south fascia is proposed to be approximately two-hundred and thirty-six square feet (236 sq. ft.). Together, the signs are approximately eighty-two square feet (82 sq. ft.) more than the allotment. Staff recommends reducing the fascia sign to be one-hundred and fifty-four square feet (154 sq. ft.).

Location: Although the building takes advantage of the drop in grade for a basement level on the alley side of the building, it was reviewed as a one-story building. As such, the electronic sign is in the correct location and doesn't extend

above the roofline, as required by the design guidelines. The other sign is located within the wall facing Fourth Avenue North, which is also an appropriate location.

Design, Size, Movement: The wall signs are integral to their respective elements, the fascia and the front wall, and therefore meet the requirements for being flush to the wall and having a minimal depth. When the electronic sign is not illuminated it will look like a typical building fascia.

Illumination: For the electronic sign, see “electronic changeable copy sign.” The Fourth Avenue wall sign will be stainless steel letters with backlighting. Both the material and the illumination meet the design guidelines.

Electronic Changeable Copy: The sign facing the alley is proposed to be an electronic changeable copy sign that is only allowed for “tourist oriented businesses” provided the changeable copy portion is no greater than 50% of the built sign area. The Ryman meets the definition of “tourist oriented business” as it has a minimum permanent fixed seating capacity of 500 and offers entertainment to the general public.

The proposed sign is proposed to take up the entire south side of the fascia, rather than just 50%, as required by the design guidelines. The sign also exceeds the allotment so reducing the size of the electronic sign would help it to meet both the allotment as well as this 50% requirement.

According to the design guidelines, electronic changeable copy signs are also not allowed in a Redevelopment District, which this property is in. The MHZC has the ability to allow for modifications. The Metro Development & Housing Authority design review committee, that reviews alterations in redevelopment districts, has already allowed for an electronic sign at Bridgestone. Staff for the MDHA committee has provided MHZC written confirmation that they can support whatever the MHZC decides in this matter.

The closest electronic signs are on the original entrance to the building on the Fifth Avenue side and so meet the requirement that electronic signs be at least fifty feet (50’) apart. (These signs were approved prior to the current signage design guidelines.)

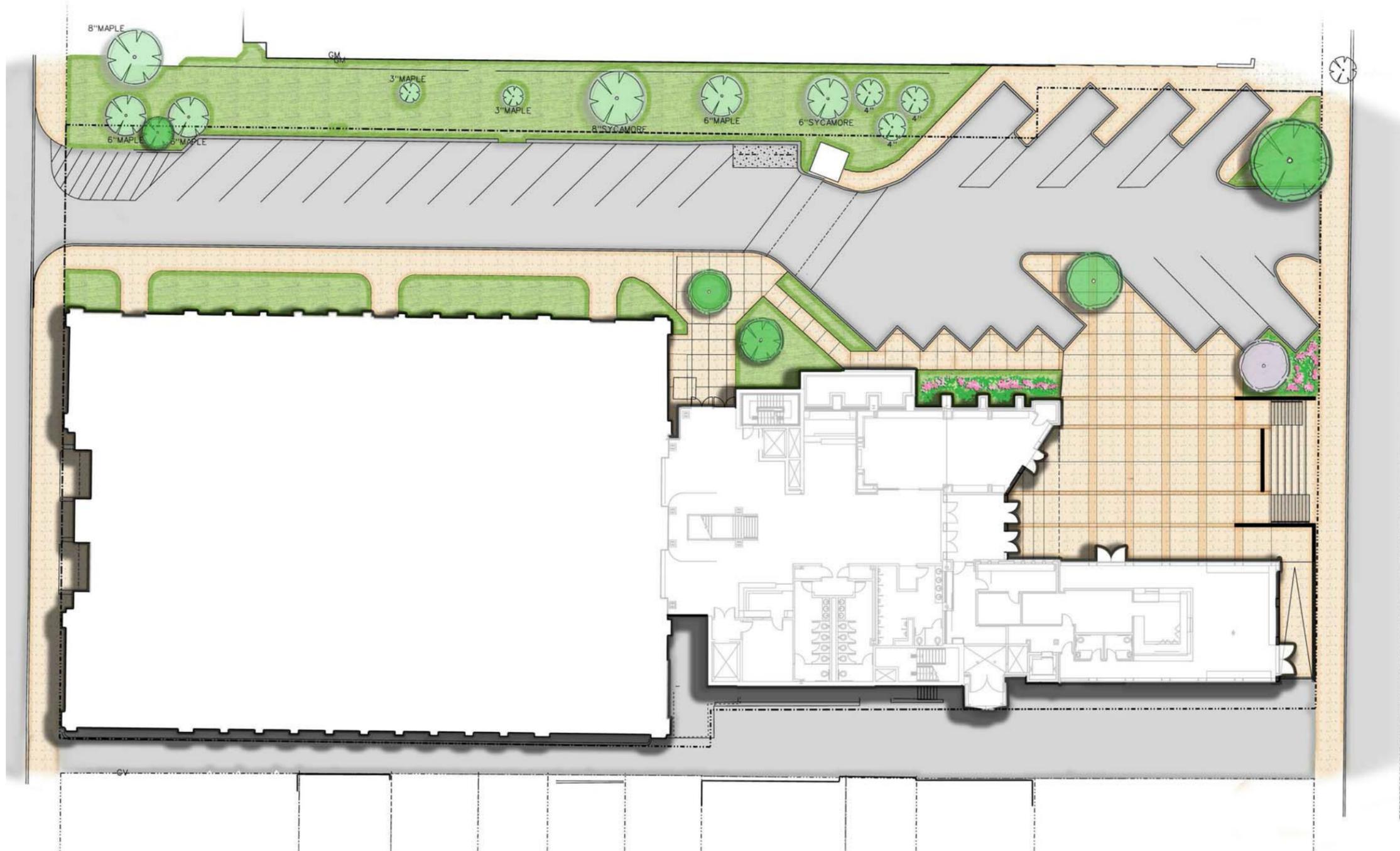
Duration: Images will not change more than eight seconds (8 sec.) at a time, as required by the design guidelines. Each image will be static during that eight seconds. Also, the transition time is proposed to be immediate without, flashing, scrolling, twirling, or changing color or in any manner imitate movement.

Brightness: The sign will not exceed a maximum illumination of 7,500 nits during daylight hours and a maximum illumination of 750 nits between dusk to dawn as measured from the sign’s face at maximum brightness. It will have an

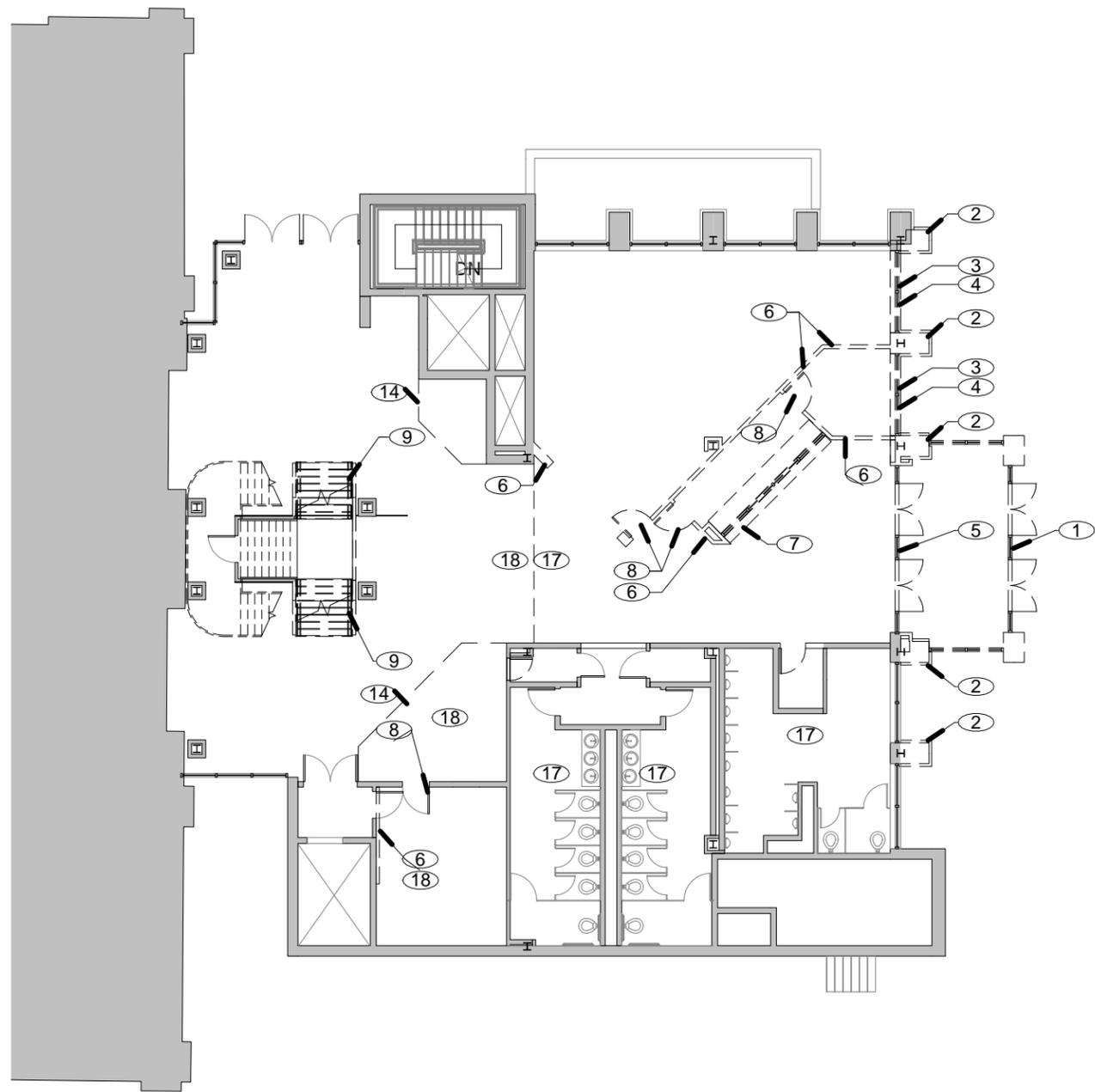
automatic dimmer control to produce a distinct illumination change from a higher illumination level to a lower level.

There are no alterations planned for the historic portion of the building.

Recommendation Summary: Staff recommends approval of the project with condition that the electronic signage be reduced to be no more than one-hundred and fifty-four square feet (154'). With this condition, staff finds that the proposed sign meets section IV of the *Broadway Historic Preservation Overlay: Handbook and Design Guidelines*.



1 SITE PLAN
 1" = 30'-0"
 0 15' 30' 60'



DEMOLITION / RENOVATION KEY NOTES

- ① DEMOLISH EXISTING ENTRY VESTIBULE IN ITS ENTIRETY.
- ② DEMOLISH EXTERIOR BRICK AND CMU WALLS TO EXTENT SHOWN. EXISTING CONCRETE BASE AND STEEL STRUCTURE TO REMAIN. SAVE BRICK FOR REUSE.
- ③ DEMOLISH EXTERIOR BRICK AND STUD WALLS TO EXTENT SHOWN. EXISTING CONCRETE BASE AND STEEL STRUCTURE TO REMAIN. SAVE BRICK FOR REUSE.
- ④ DEMOLISH EXISTING WINDOWS. SAVE FOR REUSE.
- ⑤ DEMOLISH EXISTING STOREFRONT DOORS AND WINDOWS.
- ⑥ DEMOLISH INTERIOR STUD WALLS TO EXTENT SHOWN.
- ⑦ DEMOLISH EXISTING CASE WORK.
- ⑧ DEMOLISH DOOR AND DOOR FRAME.
- ⑨ DEMOLISH STAIR AND RAILING TO EXTENT SHOWN.
- ⑩ DEMOLISH EXISTING SITE RETAINING WALL TO EXTENT SHOWN.
- ⑪ DEMOLISH EXISTING FIXTURE AND ASSOCIATED PARTS.
- ⑫ DEMOLISH ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT
- ⑬ DEMOLISH EXISTING CORNICE.
- ⑭ DEMOLISH CEILINGS ABOVE FOOD AND BEVERAGE AREAS.
- ⑮ REMOVE EXISTING CARPET. RUNNER @ ORNAMENTAL STAIR
- ⑯ DEMOLISH EXISTING FLOORING. PREP SURFACE FOR NEW CONSTRUCTION.
- ⑰ DEMOLISH EXISTING CEILING.
- ⑱ EXISTING CEILING TO REMAIN

1 FIRST FLOOR DEMOLITION PLAN

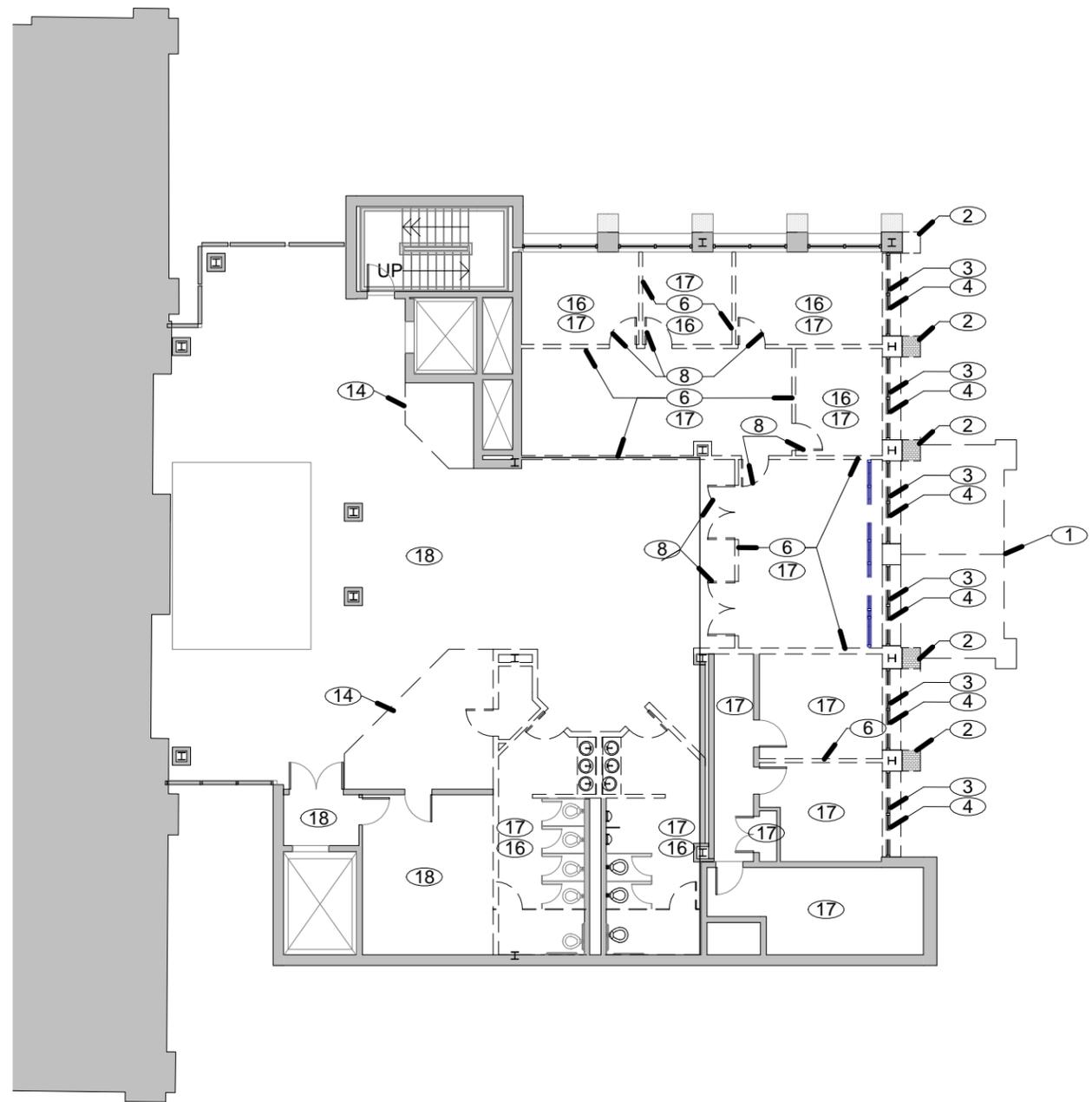
1/16" = 1'-0"
 0 8' 16' 32'



HASTINGS
 ARCHITECTURE ASSOCIATES, LLC
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THE RYMAN AUDITORIUM - PROPOSED ADDITION

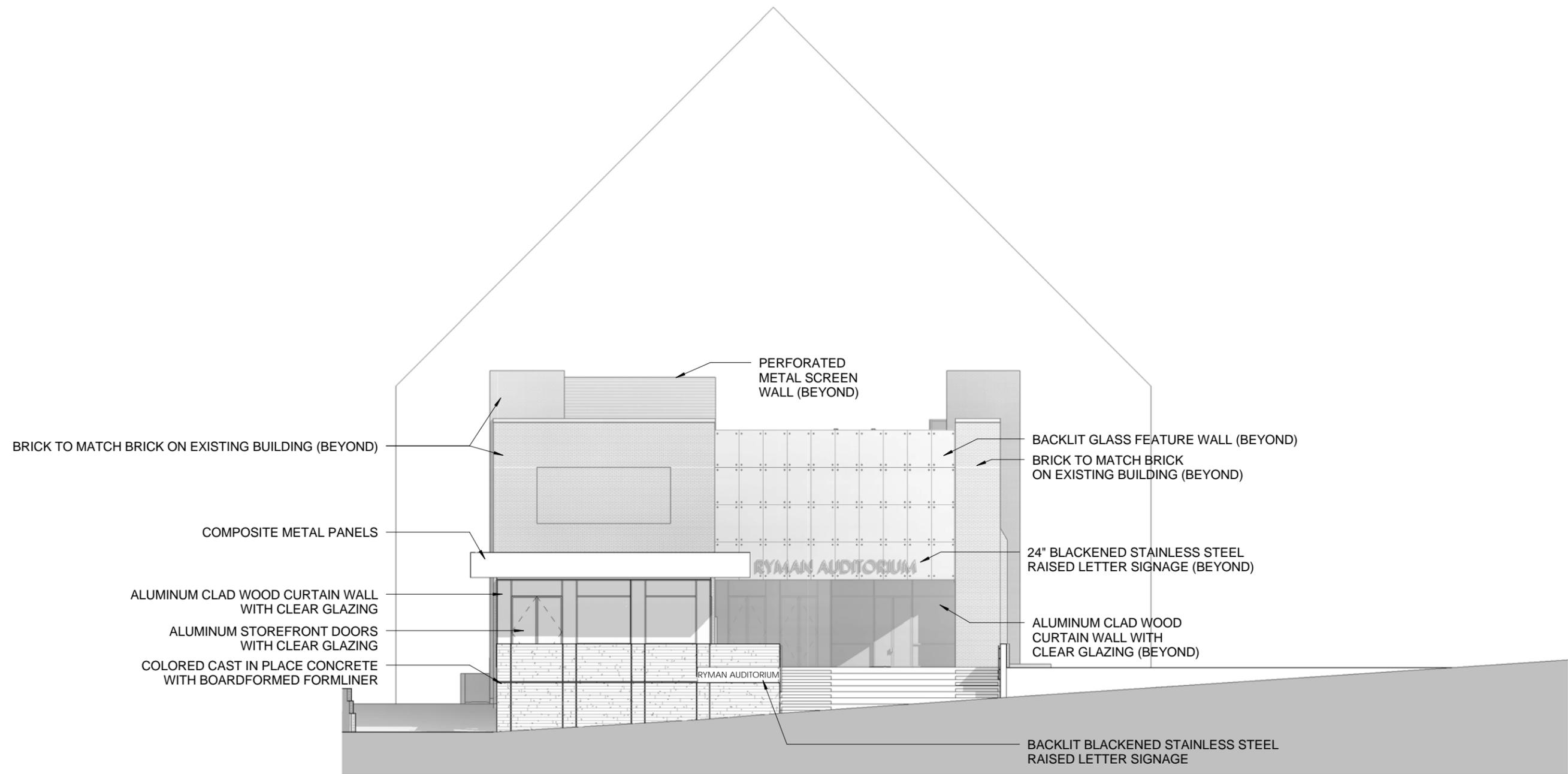
SCALE: As indicated | 06.30.14



DEMOLITION / RENOVATION KEY NOTES

- ① DEMOLISH EXISTING ENTRY VESTIBULE IN ITS ENTIRETY.
- ② DEMOLISH EXTERIOR BRICK AND CMU WALLS TO EXTENT SHOWN. EXISTING CONCRETE BASE AND STEEL STRUCTURE TO REMAIN. SAVE BRICK FOR REUSE.
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- ⑯ DEMOLISH EXISTING FLOORING. PREP SURFACE FOR NEW CONSTRUCTION.
- ⑰ DEMOLISH EXISTING CEILING.
- ⑱ EXISTING CEILING TO REMAIN

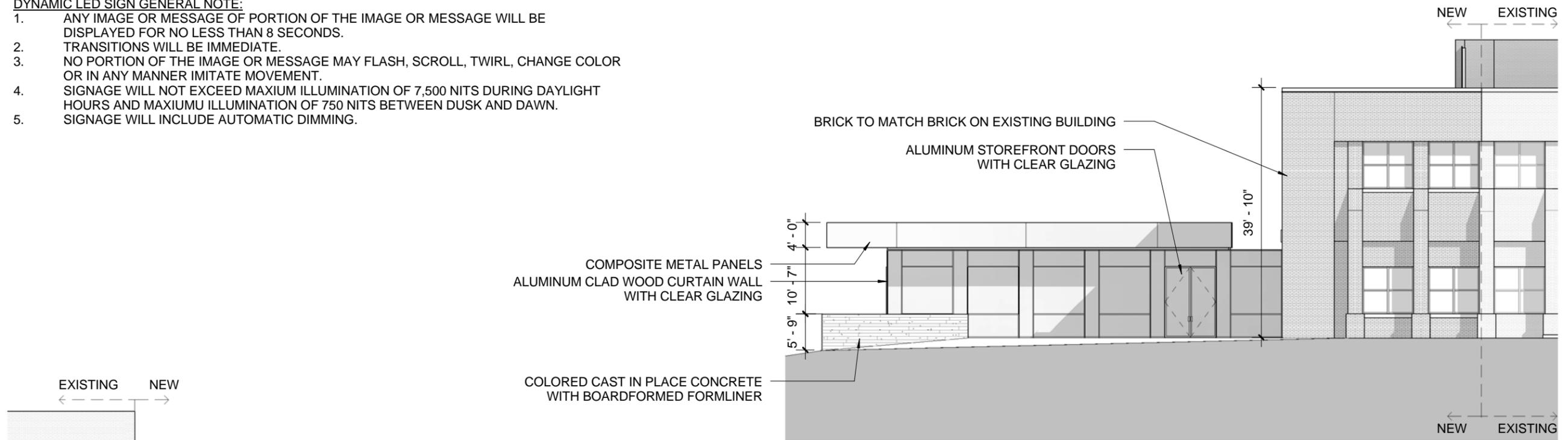
1 SECOND FLOOR DEMOLITION PLAN
 1/16" = 1'-0"
 0 8' 16' 32'



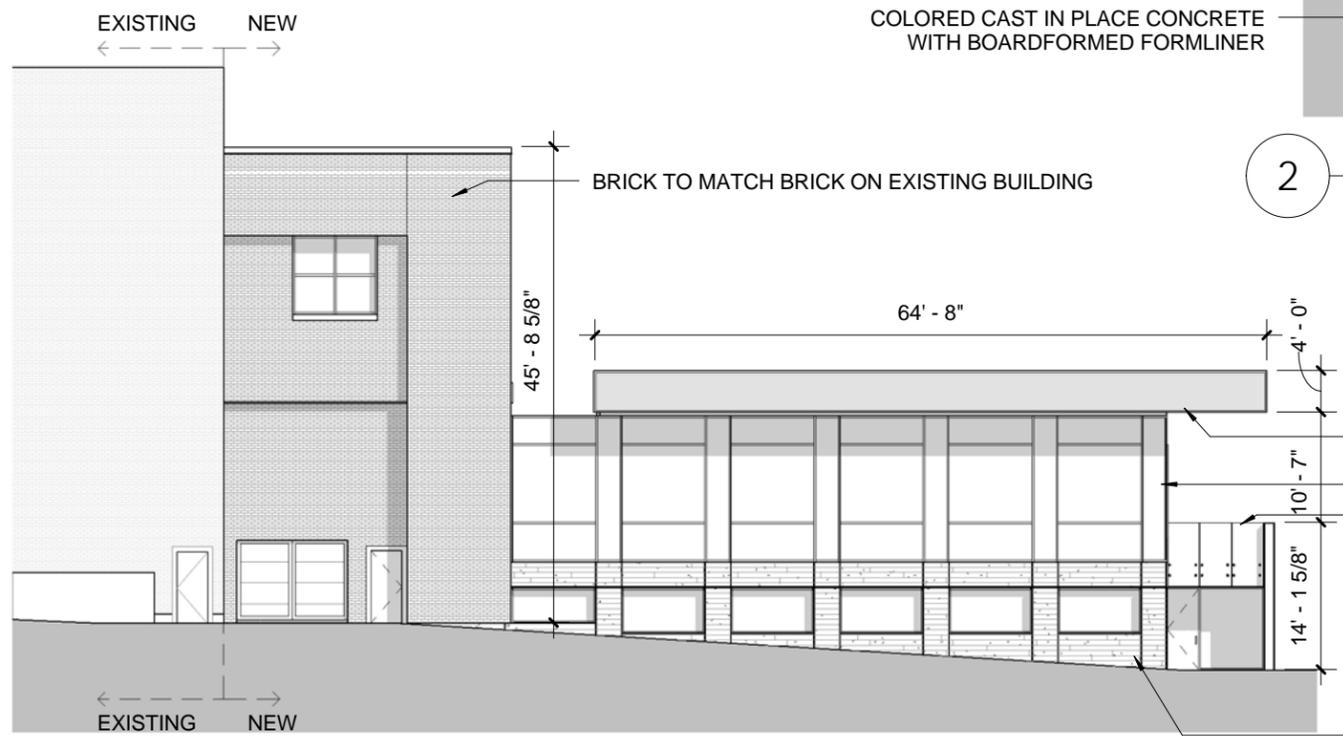
1 EAST ELEVATION
 1/16" = 1'-0"
 0 8' 16' 32'

DYNAMIC LED SIGN GENERAL NOTE:

1. ANY IMAGE OR MESSAGE OF PORTION OF THE IMAGE OR MESSAGE WILL BE DISPLAYED FOR NO LESS THAN 8 SECONDS.
2. TRANSITIONS WILL BE IMMEDIATE.
3. NO PORTION OF THE IMAGE OR MESSAGE MAY FLASH, SCROLL, TWIRL, CHANGE COLOR OR IN ANY MANNER IMITATE MOVEMENT.
4. SIGNAGE WILL NOT EXCEED MAXIMUM ILLUMINATION OF 7,500 NITS DURING DAYLIGHT HOURS AND MAXIMUM ILLUMINATION OF 750 NITS BETWEEN DUSK AND DAWN.
5. SIGNAGE WILL INCLUDE AUTOMATIC DIMMING.



2 NORTH ELEVATION
 1/16" = 1'-0"
 0 8' 16' 32'



1 SOUTH ELEVATION
 1/16" = 1'-0"
 0 8' 16' 32'