



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

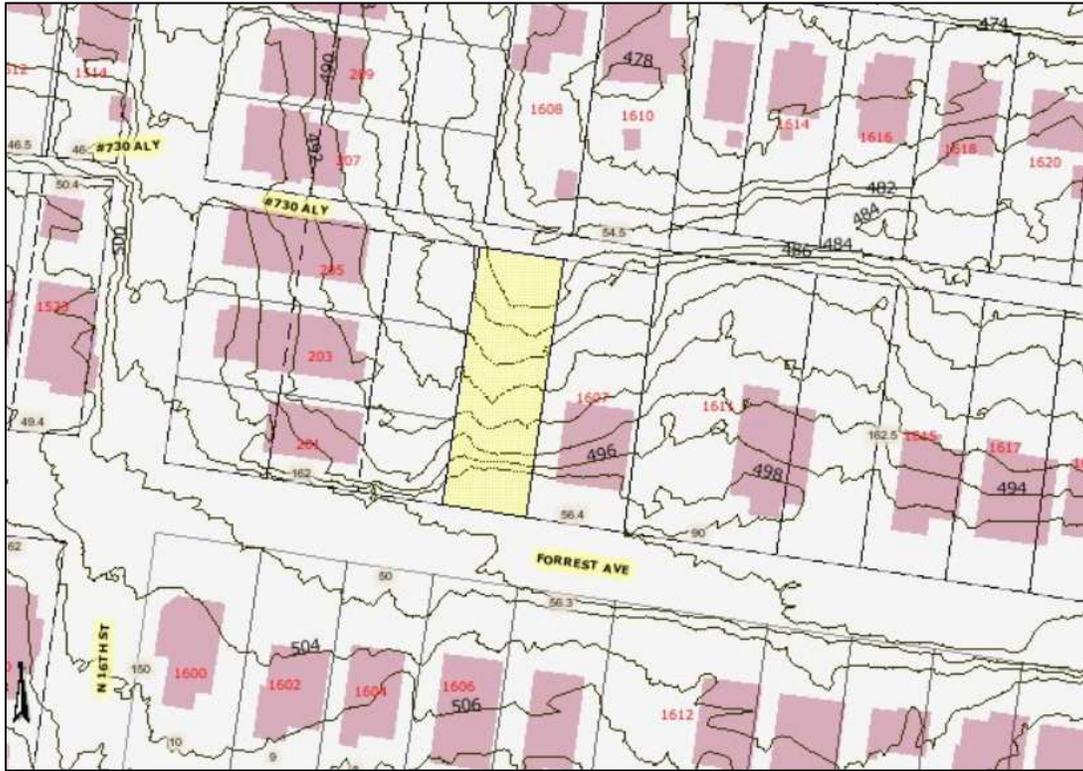
Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**1605 Forrest Avenue**  
**July 16, 2014**

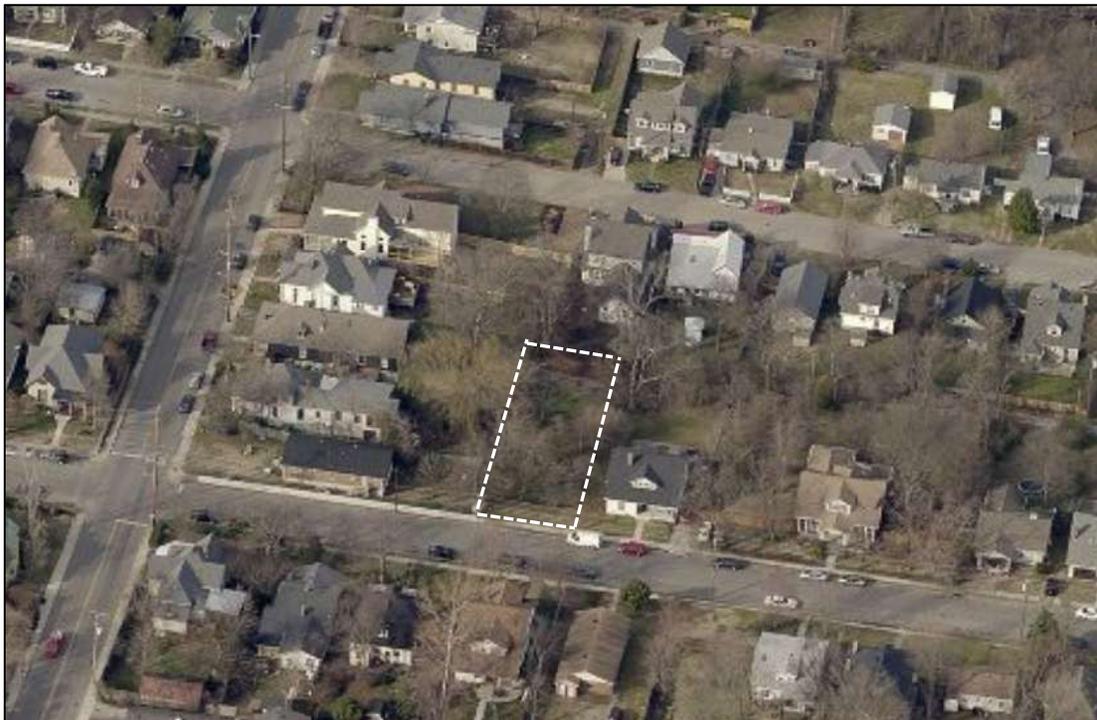
**Application:** Setback determination (Infill approved 5/21/2014)  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08310017000  
**Applicant:** John Root, Architect  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

<p><b>Description of Project:</b> In May 2014, the MHZC approved infill on a vacant lot at 1605 Forrest Avenue. Subsequent to that approval, the applicant discovered the presence of a sewer line and easement along the western (left) edge of the property. To accommodate the previously approved design, the applicant proposes to shift the placement of the new structure two feet (2') to the east. The new location would be three feet (3') from the right property line, whereas the standard minimum setback is five feet (5').</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
<p><b>Recommendation Summary:</b> Staff recommends approval of the three foot (3') right side setback for the previously approved design, finding that the house will meet the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.</p>	

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. New Construction

#### 2. Scale

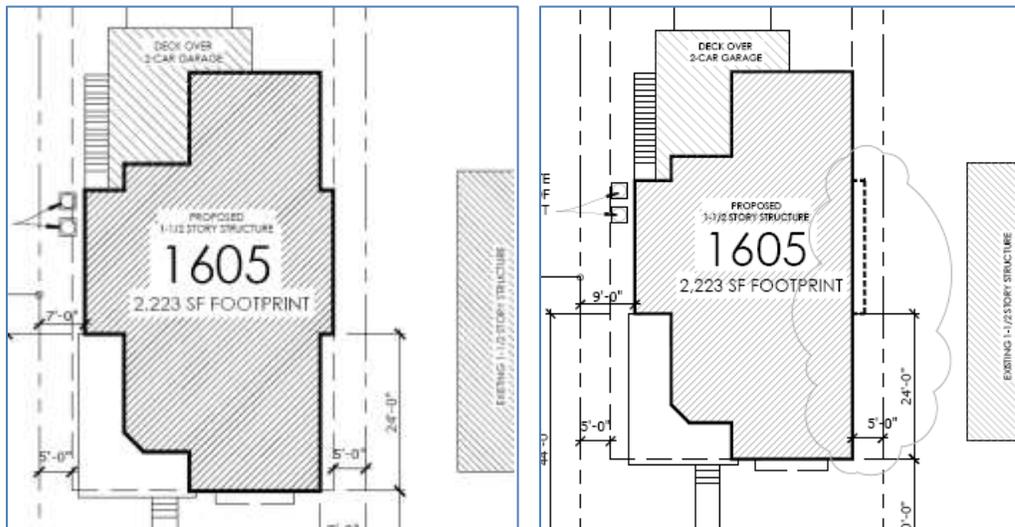
The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

#### 3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

**Background:** 1605 Forrest Avenue is currently a vacant lot. In May 2014, the Commission approved infill construction on the property. The applicant subsequently discovered that a sewer easement runs along the western (left) edge of the property.

**Analysis and Findings:** The applicant is requesting to shift the location of the new building two feet (2') to the right. A portion of the right elevation that projects two feet (2') would then project into the side yard setback. The majority of the right side will still meet the five foot (5') setback requirement, but the projection would have a setback of three feet (3'). The adjacent structure is on a wider than average lot, and the resulting distance between structures will be seventeen feet (17'). Staff finds that this shorter setback would not disrupt the established rhythm of open space between houses along the street, and would meet guidelines II.B.2 and II.B.3.



The originally requested setback is shown on the left and the new setback on the right.

The new construction will otherwise be as approved in May.

### Recommendation:

Staff recommends approval of the requested three foot (3') right side setback, finding that the setback will meet the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

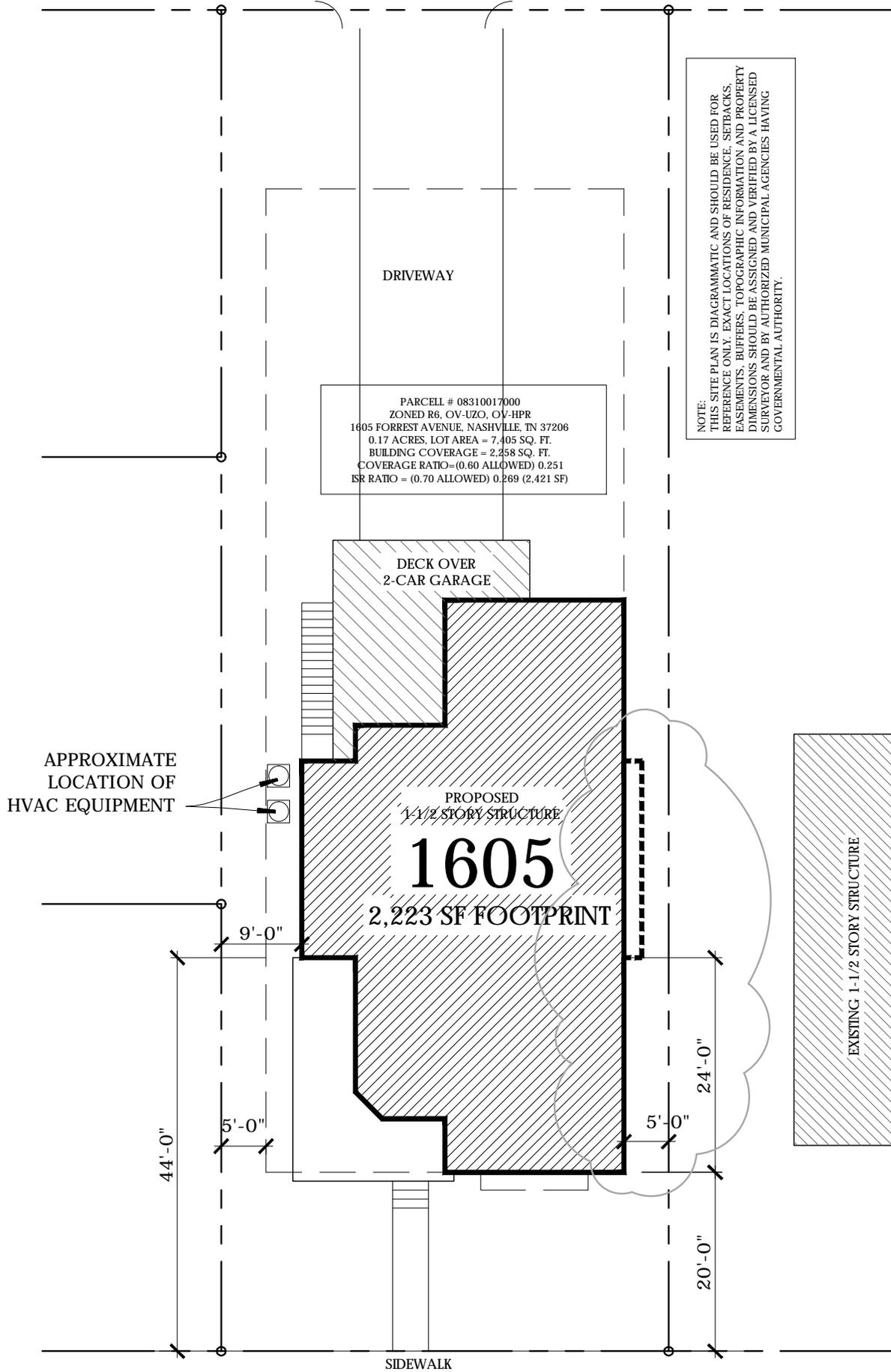


1605 Forrest Avenue, currently a vacant lot.



1607 and 1609 Forrest Avenue

SERVICE ALLEY



FORREST AVENUE

ARCHITECTURAL SITE PLAN

1/16" = 1'-0"



NOTE:  
THIS SITE PLAN IS DIAGRAMMATIC AND SHOULD BE USED FOR  
REFERENCE ONLY. EXACT LOCATIONS OF RESIDENCE, SETBACKS,  
EASEMENTS, BUFFERS, TOPOGRAPHIC INFORMATION AND PROPERTY  
DIMENSIONS SHOULD BE ASSIGNED AND VERIFIED BY A LICENSED  
SURVEYOR AND BY AUTHORIZED MUNICIPAL AGENCIES HAVING  
GOVERNMENTAL AUTHORITY.