



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
2012 Twentieth Avenue South
July 16, 2014

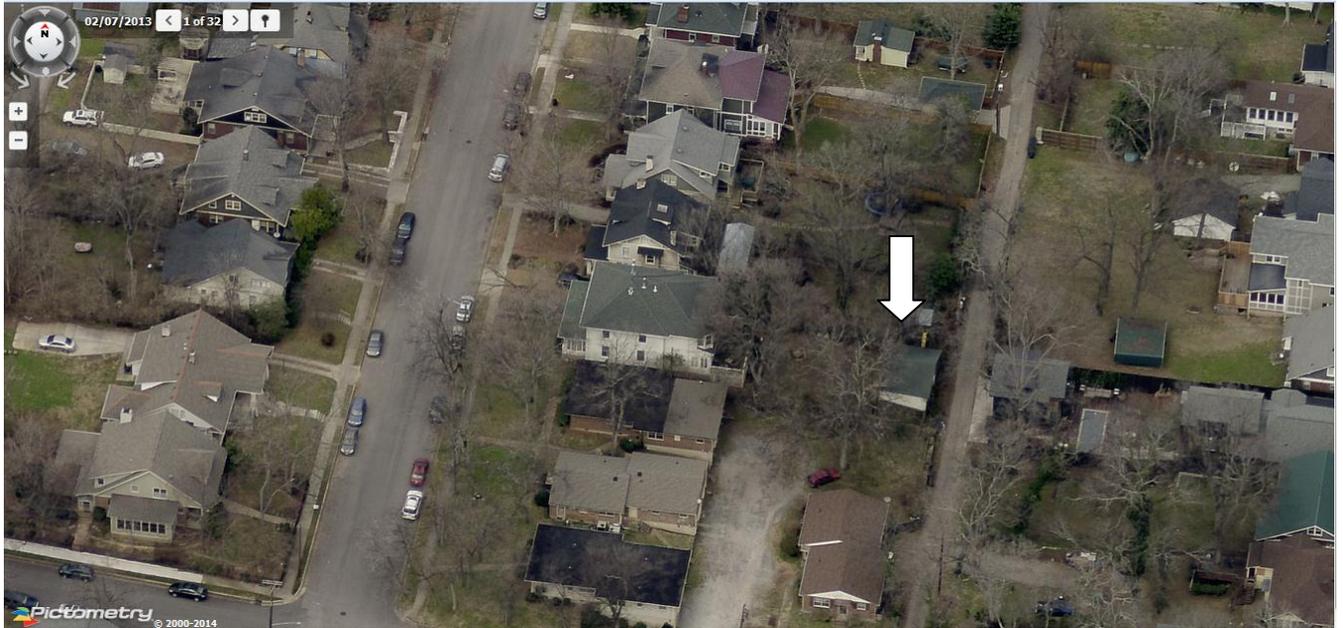
Application: New construction-detached accessory dwelling unit (DADU)
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10412014700
Applicant: Jason Feller, designer
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: The applicant proposes construction of a detached accessory dwelling unit (DADU) behind the historic home.</p> <p>Recommendation Summary: Staff recommends approval with the conditions:</p> <ul style="list-style-type: none">• That the eave height be reduced to ten feet (10') or less from grade;• The owners file a restrictive covenant for the detached accessory dwelling unit, according to the Standards; and,• Staff have final review of windows, doors and roofing color. <p>With these conditions, Staff finds that the project meets the design guidelines for outbuildings, and the Standards for Detached Accessory Dwelling Units.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. 1. GUIDELINES

i. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details. *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.*

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

III. DEMOLITION

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or

- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 D of the historic zoning ordinance.

17.16.030. F. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
2. Density. A detached accessory dwelling is not allowed if the maximum number of dwelling units permitted for the lot has been met.
3. Ownership. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.

The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.

The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.

4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for Accessory buildings.

5. Site Requirements.

A detached accessory dwelling may only be located in the established rear yard. The detached accessory dwelling is to be subordinate to the principal structure and therefore shall be placed to the rear of the lot.

There shall be a minimum separation of ten (10) feet between the principal structure and the detached accessory dwelling.

6. Driveway Access.

On lots with no alley access, the lot shall have no more than one curb-cut from a public street for driveway access to the principal structure as well as the detached accessory dwelling.

Parking accessed from a public street shall be limited to one driveway for the lot with a maximum width of 12 feet.

If the detached accessory dwelling is part of a garage and an alley exists to the rear of the lot, the garage shall be alley loaded and no curb-cut provided from the front of the lot.

7. Bulk and Massing.

No accessory structure shall exceed 200 square feet when there is a detached accessory dwelling on the lot.

The living space of a detached accessory dwelling shall not exceed 700 square feet.

The footprint single-story detached accessory dwelling shall not exceed 700 square feet or 50% of the first floor area of the principal structure, whichever is less.

The footprint of a two-story detached accessory dwelling shall not exceed 550 square feet or 40% of the first floor area of the principal structure, whichever is less.

One partial-width, open porch, that is six feet deep or less, is not included in the footprint calculation.

The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of 10 feet for single-story and 17 feet for two-story detached accessory dwellings.

The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed 25 feet in height.

8. Design Standards.

Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rated per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.

The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roof slope by covering no more than 50% of the roof.

Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

Background: 2012 Twentieth Avenue South is a four-square home built circa 1915, and is a contributing structure to the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



Figure 1. 2012 20th Avenue South

Analysis and Findings: The applicant proposes construction of a one-story detached accessory dwelling unit (DADU) at the rear of the lot, on the site of an existing outbuilding.

Lot Area: 2012 Twentieth Avenue South is zoned R8 with a lot of approximately nine thousand and five hundred square feet (9,500 sq. ft.) The footprint of the house is

approximately one thousand, nine hundred and eighty-four square feet (1,984 sq. ft.) The proposed DADU has a footprint of six hundred and forty-four square feet (644 sq. ft.) The total lot coverage of twenty-seven percent (27%) is less than the maximum allowable lot coverage of forty-five percent (45%). The lot area meets Standard 1 for Detached Accessory Dwelling Units.

Density: The R8 zoning allows for two dwelling units. Currently the house is the only dwelling unit on the site. Adding the outbuilding as a dwelling unit would meet zoning requirements, and would meet Standard 2 for density.

Ownership: Staff has asked the owners of the property to file a restrictive covenant stating that they live in the principal building or plan to live in the detached accessory dwelling unit, and acknowledging that they cannot separate ownership of the primary structure and the detached accessory dwelling unit. At the current time, staff has not received a copy of this document; Staff requests that a condition of approval be that the owner file the restrictive covenant and forward a copy to the MHZC staff prior to the issuance of the permit.

Setbacks: The proposed building meets all base zoning requirements for setbacks. Base zoning requires that the building be three feet from the rear and side property lines. The proposed DADU will be five feet four inches (5'4") from the rear property line and three feet, three inches (3'3") and eighteen feet (18') from the sides. The structure therefore meets Standard 4 for Detached Accessory Dwelling Units.

Site Requirements: The proposed building is located in the rear yard with approximately sixty-six feet (66') between it and the principal structure. The footprint of six hundred forty-four square feet (644 sq. ft.) is appropriately subordinate to the house's one thousand, nine hundred and eighty-four square feet (1,984 sq. ft.) The proposal meets Standard 5 for Detached Accessory Dwelling Units and section II.B.1.i.2 of the design guidelines.

Driveway Access: The proposed building does not contain a garage or vehicular parking, so driveway access is not a concern. Staff finds that the proposal meets Standard 6 for Detached Accessory Dwelling Units.

Bulk and Massing: The proposed DADU is twenty-three feet by twenty-eight feet (23'x28') for a footprint of six hundred forty-four square feet (644 sq. ft.), not including the six foot by eighteen foot (6'x18') porch. This is less than the maximum allowable seven hundred square feet (700 sq. ft.) and is less than fifty percent (50%) of the primary building's footprint.

A structure may be twenty-five feet (25') tall with an eave height no more than ten feet (10') from grade. The proposed building will have a ridge height of twenty feet, ten inches (20'10"). By comparison, the house is approximately thirty-four feet (34') in height.

The proposed eave height is approximately ten feet six inches (10'6") in the drawings submitted. Staff requests the eave height be brought down to ten feet (10') or less. With this condition, the project will meet Standard 7 for Detached Accessory Dwelling Units.

Design Standards: The proposed design is compatible with the style of the historic house.

The proposed structure is a one-story building and does not include a stairway. Its roof and overall form do not contrast greatly with the primary structure. The roof form is a side-oriented gable with a pitch of 9/12. The projecting gable over the porch is 6/12. The dormer has 10/12 pitch. These roofs are compatible with other roofs in the district and meet section II.B.1.i.1.

The dormer is five feet four inches (5'4") wide, covering only eighteen percent (18%) of the roof length of twenty-eight feet (28') and is subordinate to the roof slope. The proposal therefore meets Standard 8 for Detached Accessory Dwelling Units, and section II.B.1.i.1 of the design guidelines.

Materials: The outbuilding will be clad in smooth face cement fiberboard with a five inch (5") reveal. The trim will be wood. The foundation will be split face concrete block, and the roof will be architectural fiberglass shingles. The windows and doors were not specified; staff requests to approve the final window and door selections prior to purchase and installation. With the staff's final approval of the roofing color, windows and doors, staff finds that the project meets sections II.B.1.d and II.B.1.i.1.



Figure 2. Existing outbuilding to be demolished.

Demolition: The existing garage building is proposed for demolition. This structure is not of architectural or historical interest and does not contribute to the historic house or the district. The project meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

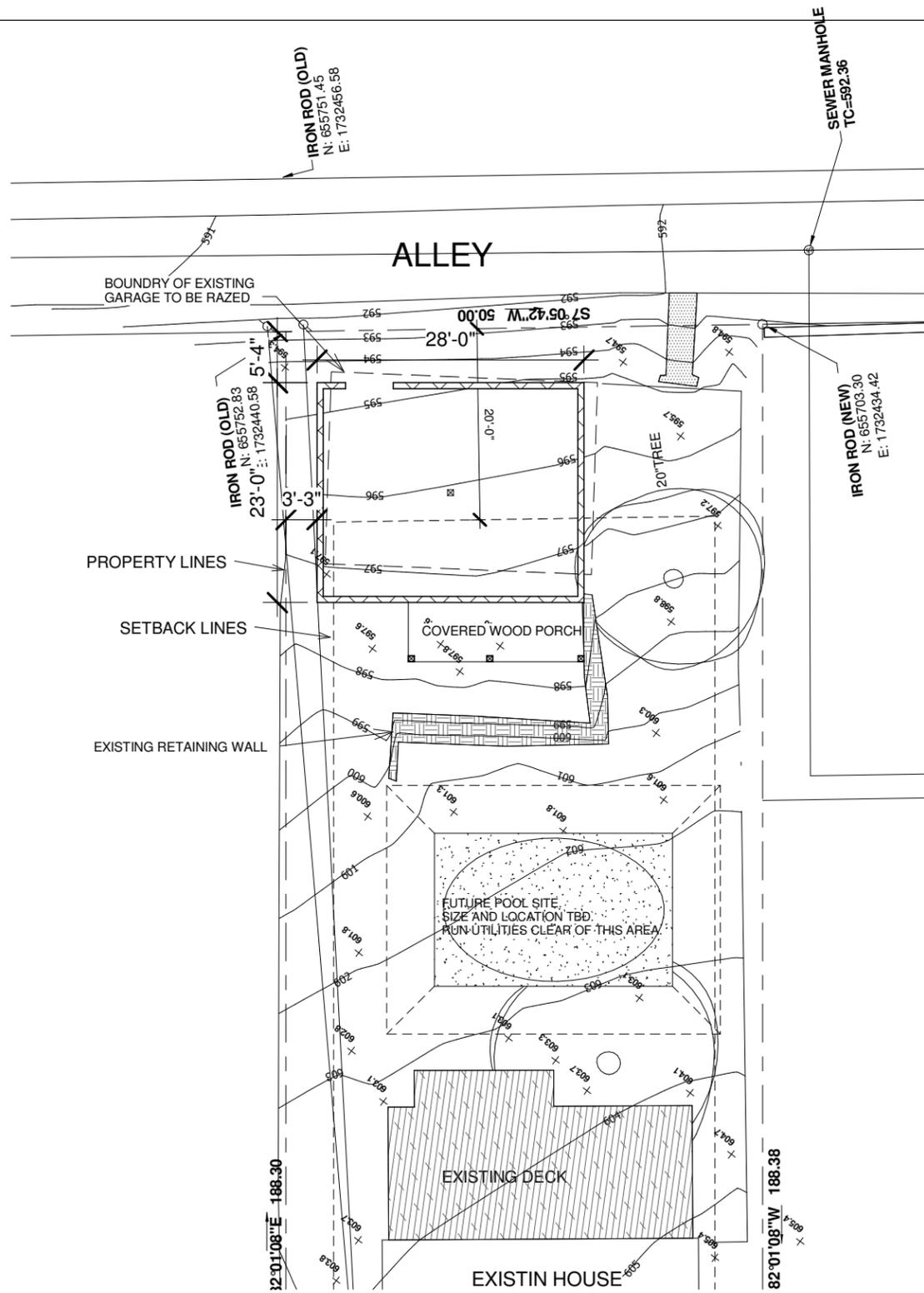
Recommendation:

Staff recommends approval with the conditions:

- That the eave height be reduced to ten feet (10') or less from grade;
- The owners file a restrictive covenant for the detached accessory dwelling unit, according to the Standards; and,

- Staff have final review of windows, doors and roofing color.

With these conditions, Staff finds that the project meets the design guidelines for outbuildings, and the Standards for Detached Accessory Dwelling Units.



2 Copy of 3D View 3

PROJECT INFORMATION

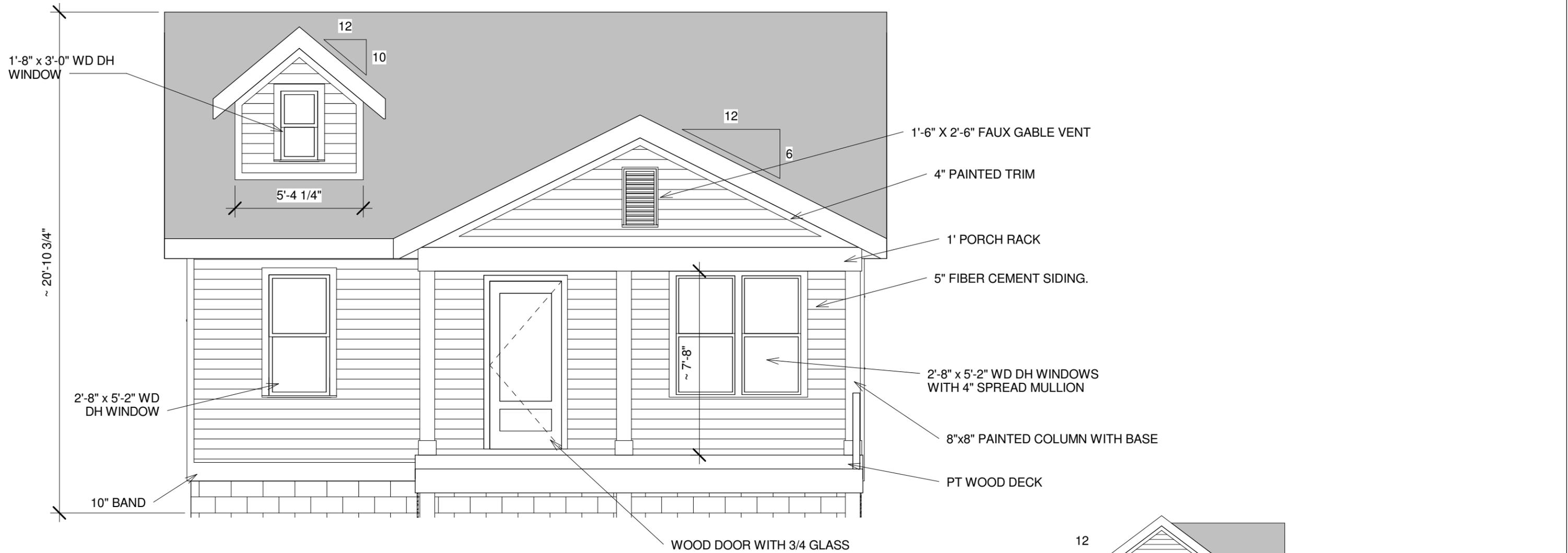
STYLE	LIVING	FOOTAGE		DETAILS
HOUSE STYLE: Farm/Cottage	BEDROOMS: 1	Heated & Cooled 610 SQ FT	Gross 655 SQ FT	OVERALL WIDTH: 28'
STORIES: 1	BATH: 1			FIRST FLOOR:
	HALF BATH: 0	SECOND FLOOR:	OVERALL HEIGHT: 18'	
MASTER LOCATION: ---	FEATURES: Open floor plan. Loft.	THIRD FLOOR:	CEILING HEIGHT (FIRST): 9'-0"	
GARAGE: ---		TOTAL (STORIES): 610 SQ FT 655 SQ FT	CEILING HEIGHT (SECOND):	
		ADDITIONAL FOOTAGES:	CEILING HEIGHT (THIRD):	
		GARAGE:	DOOR HEIGHT (FIRST): 6'-8"	
		ROOF DECK:	DOOR HEIGHT (SECOND):	
			DOOR HEIGHT (THIRD):	



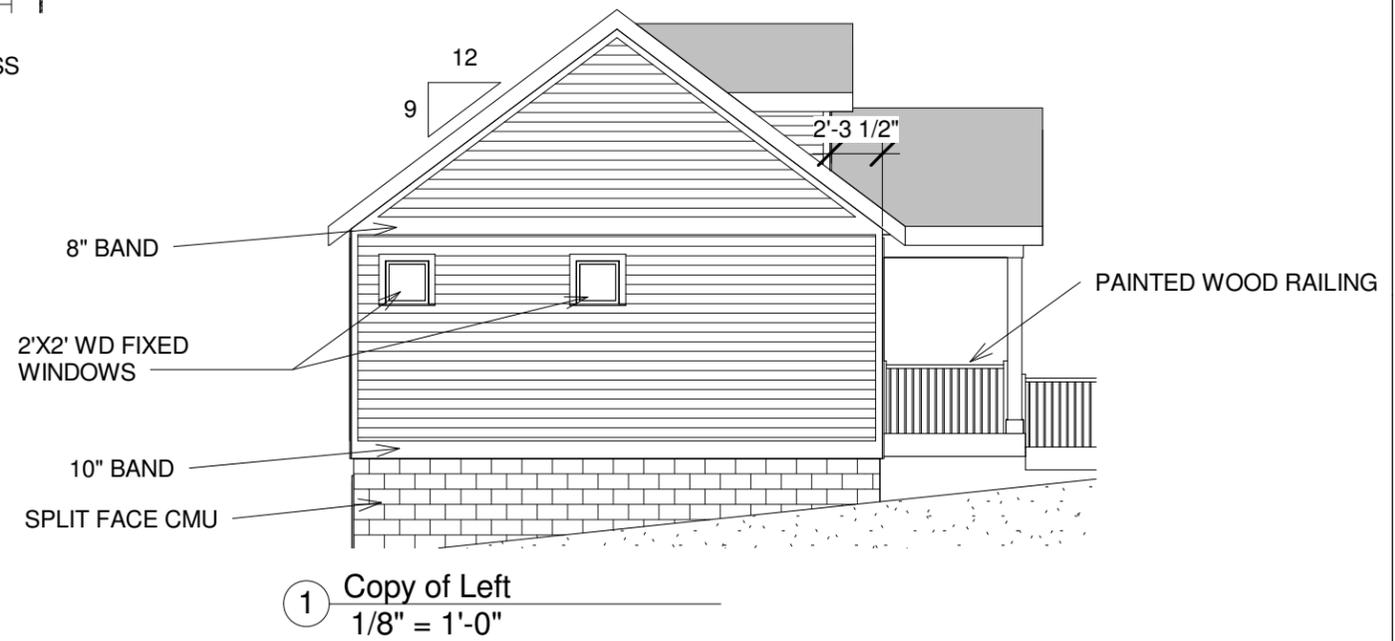
Proposal

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2012 20th Ave S.
NASHVILLE, TN



3 Sales - Front
1/4" = 1'-0"



1 Copy of Left
1/8" = 1'-0"



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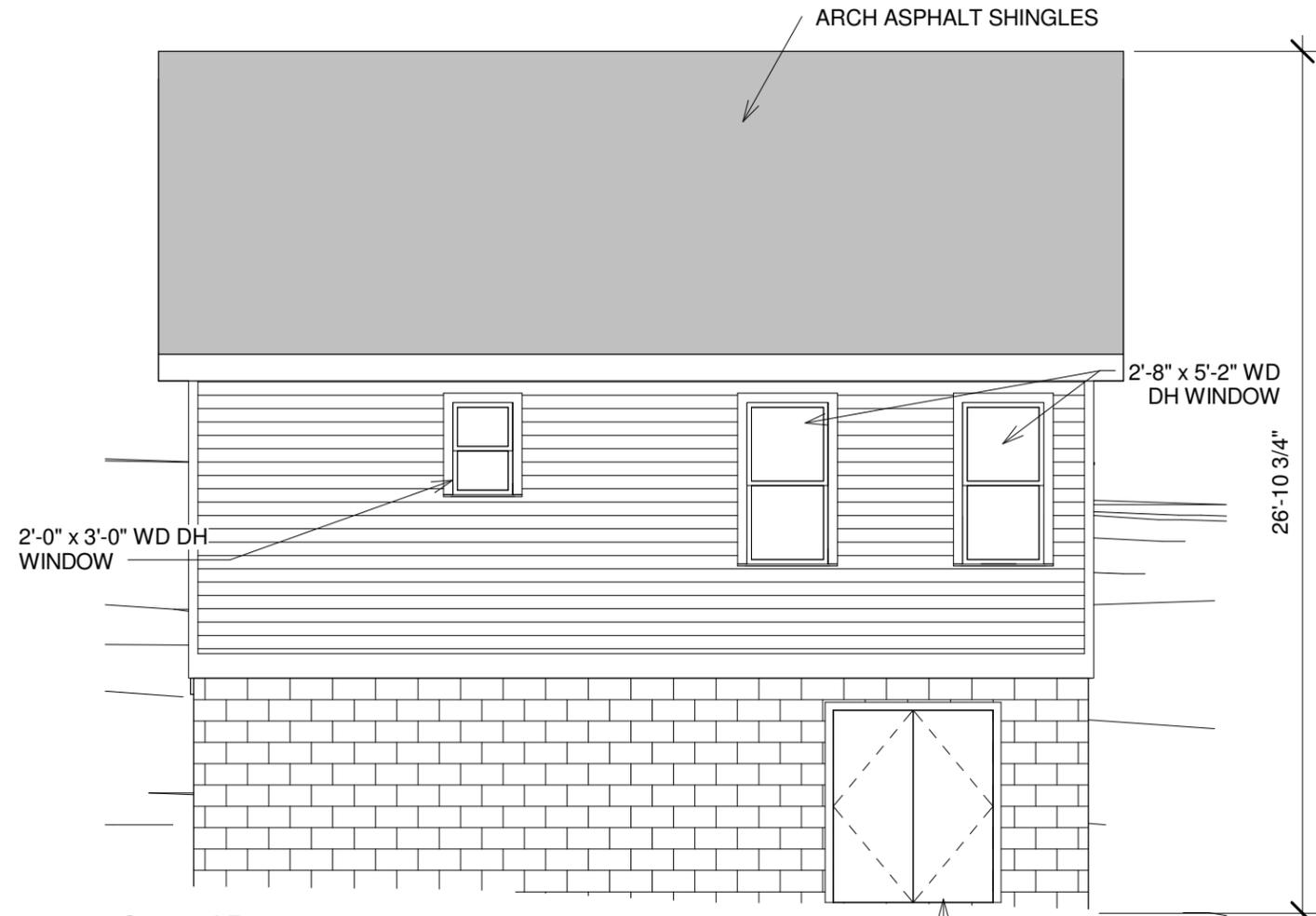
2012 20th Ave S.
NASHVILLE, TN

ELEVATIONS

Date 6/26/14
Drawn by J. Feller

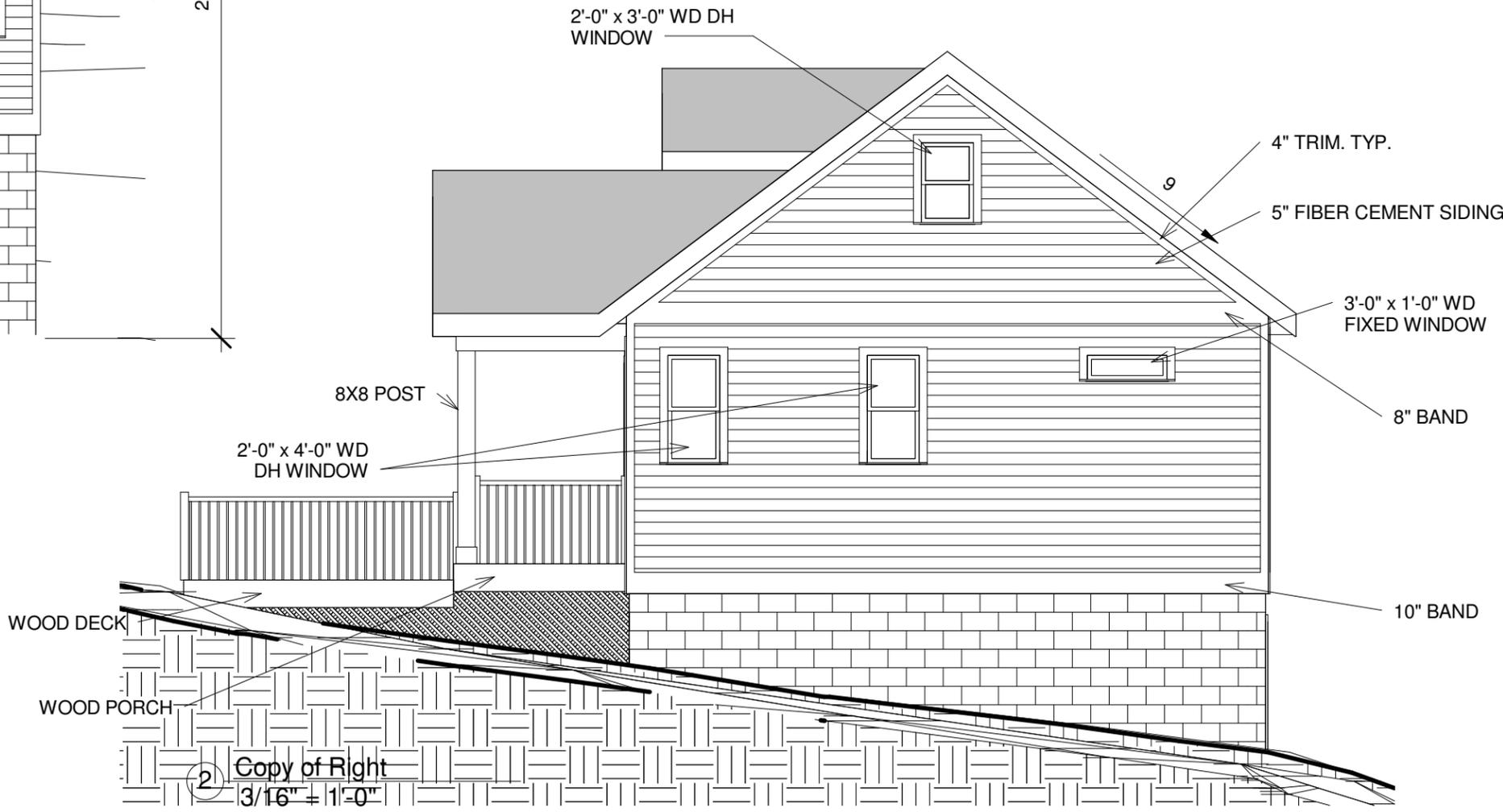
H2

Scale As indicated



① Copy of Rear
3/16" = 1'-0"

5' x 6' FIBERGLASS OR WOOD
DOUBLE STORAGE ACCESS
DOORS.



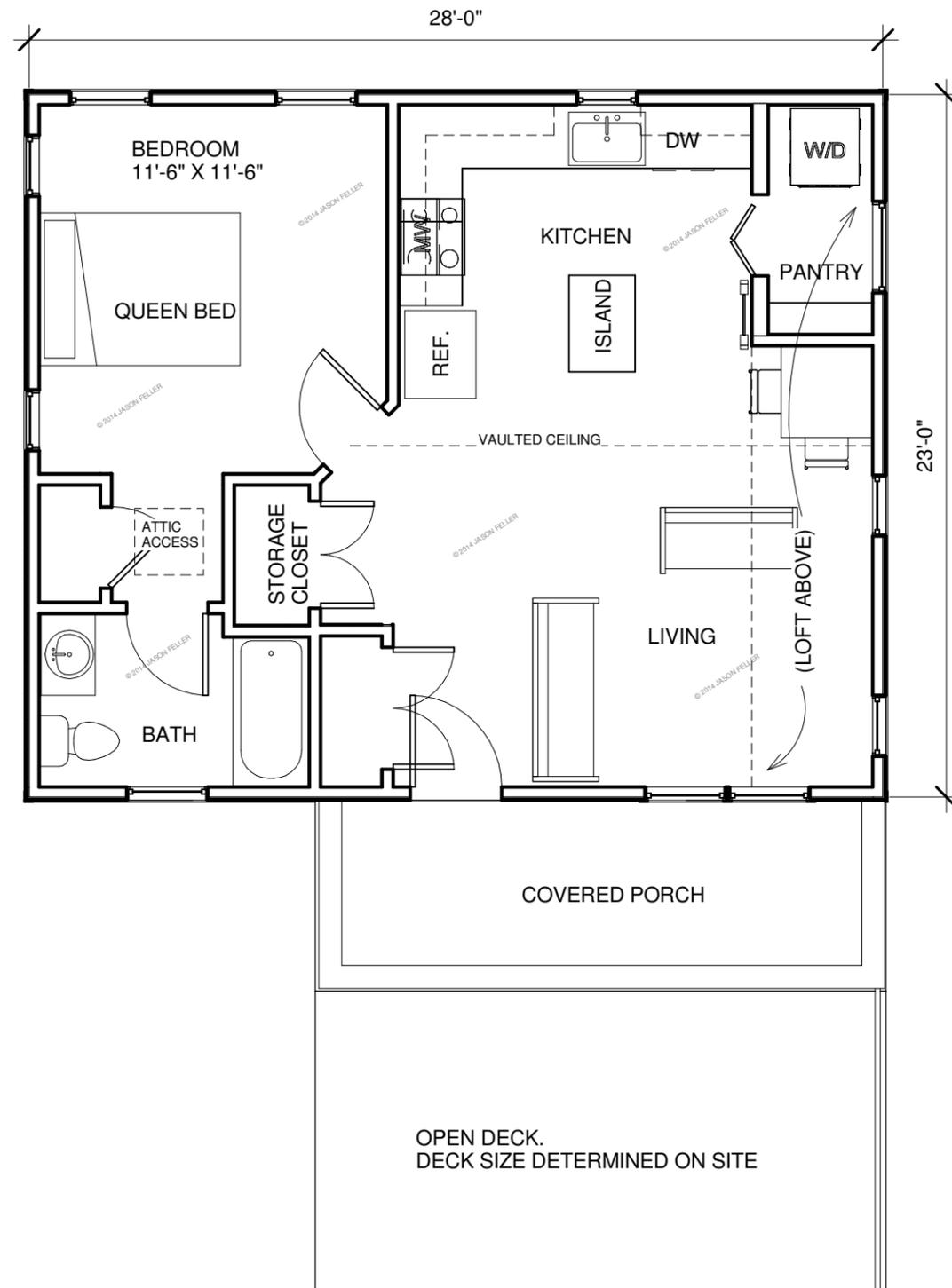
② Copy of Right
3/16" = 1'-0"



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2012 20th Ave S.
NASHVILLE, TN

ELEVATIONS		H3
Date	6/26/14	
Drawn by	J. Feller	Scale 3/16" = 1'-0"



1 Copy of Proposal - First Floor
 3/16" = 1'-0"

2012 20th Ave S.
 NASHVILLE, TN



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Floor Plan		H4
Date	6/26/14	
Drawn by	J. Feller	Scale 3/16" = 1'-0"