



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
404 Taylor Street
July 16, 2014

Application: New construction – addition; Setback determination
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209009300
Applicant: Jeff Zeitlin, Developer
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant is proposing to partially demolish a non-contributing addition to the historic house and to construct a new rear addition. The addition will align with the existing wall of the house on the left side, and the right side will be set in from the side of the original wall of the house before stepping out six feet (6') wider. The wider component of the addition will be two-stories tall, but will match the height of the original house by dropping the floor level and having a flat roof.</p> <p>Recommendation Summary: Staff Recommends approval of the partial demolition and addition with the proposed setbacks, with conditions that:</p> <ul style="list-style-type: none"> • The original siding, doors, and windows to be assessed by Staff and approved for repair or replacement as necessary. • The new roof shall be more clearly separated from the ridge of the pre-1897 rear wing. <p>Meeting those conditions, Staff finds that the proposal meets the applicable design guidelines for the Germantown Historic Preservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Sanborn Maps C: Site Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

1.0 Alteration & Renovation of Existing Historic Buildings

1.1 General Principles

- 1.1.1 Guidelines apply only to the exteriors of structures. Exterior alteration / renovation / construction / repair to be done on public facades shall be more carefully reviewed than that done on non-public facades. *Public facades are those that are visible from the public right of way, street or streets.*
Generally facades facing the alley are not considered public facades.
Non-public facades are those not visible from the public right of way, street or streets.
- 1.1.2 The painting, including paint color, of wood and metal surfaces is not reviewed by the MHZC.
- 1.1.3 Painting of masonry materials is reviewed by the MHZC.
- 1.1.4 The distinguishing qualities or character of a building, structure, or site and its environment should not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided.
- 1.1.5 Deteriorated architectural features should be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on historic, physical, or pictorial evidence.
- 1.1.6 Renovations shall be consistent with the existing building in terms of height, scale, setback, and rhythm; relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 1.1.7 Changes which may have taken place over the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected.
Conversely, the removal of inappropriate additions is encouraged.
- 1.1.8 Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site should be treated with sensitivity.
- 1.1.9 The surface cleaning of structures should be undertaken with the gentlest means possible. Sandblasting, high-pressure water cleaning, and other highly abrasive cleaning methods that damage historic building materials should not be used.

1.2 Foundations

- 1.2.1 Original foundation materials should be retained whenever possible.
- 1.2.2 Original form, pattern, color and texture of historic foundations including decorative bents, grilles, lattice work, water tables, banding, etc., should be retained and preserved.

- 1.2.3 Front porches should utilize solid masonry or masonry pier foundations, constructed of brick, limestone, or split-face CMU. Spaces between masonry piers may be filled with open lattice.
- 1.2.4 Main building foundations may be of the pier or solid perimeter form, utilizing brick, limestone or split-face CMU.
- 1.2.5 Painting of stone, brick and other masonry is generally not appropriate. The painting or staining of brick may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A brick color approximating the original color of the building's brick should be used.

1.3 Walls/ Exterior Materials

- 1.3.1 Original building materials should be retained whenever possible.
- 1.3.2 Appropriate wall materials include brick and wood clapboard with stone, terra cotta, and stucco being used for decoration/trim.
- 1.3.3 If material replacement is necessary, it should be with original materials or close visual approximations of the original.
- 1.3.4 Wood Siding: Original wood siding should be retained and should not be replaced with a material or texture not original to the building. Coverings or replacements over wood siding including aluminum, vinyl siding, or a brick veneer are specifically prohibited.
 1. Replacement wood siding should be consistent with the original in terms of size, profile, lap direction, and lap exposure. Typical material lap is between 3 and 5 inches.
 2. Street façade(s) shall match original wood materials for repairs/replacement.

Original materials from other facades should be salvaged for use on the street façade(s).
- 1.3.5 Masonry: Original masonry including brick, stone, and terra cotta should be retained and shall remain visible. Concealing or obscuring historic masonry is not permitted.
 1. Deteriorated or damaged brick, stone or other masonry should be repaired with materials that match the original.
 2. Re-pointing should be done with care to match the original mortar color and joint profile.

Portland cement can damage historic brick and should not be used. Soft, lime based mortars are more appropriate for use with historic brick. Original tooling configuration and joint width and depth should be maintained. Extreme care should be taken when cutting out joints for repointing.
 3. Painting of stone and brick is generally not appropriate. The painting or staining of masonry may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A paint color approximating the original color of the building's brick should be used.

4. Silicone-based water sealants are not recommended for use on historic masonry. Brick sealers are not recommended for exterior brick as it may cause damage to the brick face over time. Building owners are encouraged to remove paint from masonry. Gentle, nonabrasive chemical cleaning is an appropriate way to remove paint. The use of detergent cleaners and chemical stain and paint removers to clean masonry or remove paint is appropriate under most conditions. Abrasive or high-pressure cleaning methods are destructive and should not be used.

1.4 Doors and Doorways

(Features may include panels, trim, transoms, sidelights, and number and configuration of lights.)

- 1.4.1 The original size and shape of door openings should be maintained.
- 1.4.2 Original transoms, sidelights, and doors should be maintained.
- 1.4.3 Replacement doors should be compatible with original doors in terms of style and materials.
- 1.4.4 Original door openings should not be filled in.
- 1.4.5 Deteriorated or damaged doors or entryways should be repaired using historically appropriate materials.
- 1.4.6 Storm Doors: Full glass storm doors are permitted where their dimensions match existing door dimensions in order to help conceal their presence. Frames should be set within the existing door frame. Raw aluminum storm doors are not appropriate.
- 1.4.7 Exterior Security Doors: These will be reviewed for their appropriateness and should be compatible with respect to size, style and material.

1.5 Windows

(Features may include sash, trim, number and configuration of lights, frames, hoods and lintels)

- 1.5.1 The original size and shape of window openings, windows and window surrounds should be maintained.
- 1.5.2 The original number and arrangement of panes (*lights*) should be maintained.
- 1.5.3 Generally, existing openings should not be altered and new window openings should not be introduced. Where required for building safety or accessibility, new or altered openings should match the existing proportion and rhythm of the existing openings.
- 1.5.4 Storm windows are permitted where their dimensions match window dimensions in order to conceal their presence. Frames should be set within the window opening (*blind-stop*) and attach to the exterior sash stop. Raw aluminum storm sash, screens, and windows are not appropriate.
- 1.5.5 Deteriorated or damaged window openings, windows, and window surrounds should be repaired using historically appropriate materials.
- 1.5.6 Replacement Windows: If replacement of windows or window surrounds are necessary due to extensive deterioration, replacements should replicate

original designs (see 1.5.1 and 1.5.2).. If the original windows no longer exist, replacements should be appropriate for the building's style and period. Replacement windows should be wood with clear glass and a muntin pattern that is typical of the building's style.

- 1.5.7 Snap, clip, glue, or interior type muntins on windows are not permitted.
- 1.5.8 Window openings, surrounds, or other elements not original to a building should not be introduced to the public facades of the building. The installation of new (not original to the building) window openings on the non public/rear of the building may be appropriate.
- 1.5.9 Shutters, where pictorial or other convincing historical evidence support their previous existence, should be appropriate to the building style, should be operable, and should fit the opening with respect to height and width so that, if they were closed, the opening would be covered.
- 1.5.10 Window grilles and balcony rails are not appropriate window treatments.

1.6 Porches

(Features may include foundations, columns, railings, balustrades, brackets, cornices, ceilings, floors and steps.)

- 1.6.1 Original configuration, roof height, and roof pitch should be maintained.
- 1.6.2 Original porch materials and architectural features should be maintained. If replacement materials are necessary, they should be a close visual approximation of the original.
- 1.6.3 Enclosing front porches is not permitted.
- 1.6.4 Enclosing side porches may be appropriate where the visual openness and character of the porch are maintained.
- 1.6.5 Balconies should not be added to public facades unless historical documentation of their use can be provided.

1.7 Architectural Details

(Features may include brackets, finials, decorative trim and bargeboards, attic vents, etc.)

- 1.7.1 Original architectural features should not be removed or obscured.
- 1.7.2 Irreparable features should be replaced with close visual approximations of the original using historically appropriate materials.
- 1.7.3 Architectural features of any period or style not original to the building should not be introduced.
- 1.7.4 Original decorative elements such as cornices, brick corbelling, arches, brackets, detailing should be retained without alteration.
- 1.7.5 Decorative or ornamental detailing should not be added to buildings unless there is physical or photographic evidence that shows the detailing was original to the building. New designs should be appropriate to the style and period of the building.

1.8 Roof

(Features may include, but are not limited to overhands, cornices, rafters, cresting, gutter systems, brackets, finials, pendants, vents and chimneys. In

planning any renovation work, original features should be retained and consideration should be given to the following:)

- 1.8.1 The original pitch and configuration should be maintained.
- 1.8.2 The original size and shape of dormers should be maintained.
- 1.8.3 The original roof materials and color should be maintained.
- 1.8.4 Skylights should be located on the non-public sides of the roof behind the midpoint of the historic structure.
- 1.8.5 Appropriate roofing materials include metal, slate, and asphalt/fiberglass shingles.
- 1.8.6 Historic roofs, chimneys, and related elements should be retained.
- 1.8.7 Guidelines for masonry should be followed for chimney maintenance.
- 1.8.8 Deteriorated or damaged roofs and chimneys should be repaired using historically appropriate materials and methods.
- 1.8.9 If replacement of a roof or chimney is necessary, the replacement should be appropriate for the building's style and period.
- 1.8.10 The installation of gutters and downspouts should not result in the removal or obstruction of historic building elements. Locate gutters and downspouts on non-public facades of buildings where possible.

1.9 Utilities/Mechanical

- 1.9.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, and HVAC condenser units should be located at the rear of a building so as to minimize their visibility from the street. If the rear yard is not a viable location, then the rear half of the side yard would be appropriate for their placement. Utilities or mechanical equipment shall be screened from view with no deciduous plantings or low walls/fencing. New utilities and mechanical equipment shall not be installed on the primary façades of buildings.
- 1.9.2 The installation of mechanical systems should not result in the removal or obstruction of historic building elements.

2.0 New Construction within historic context

2.1 General Principles

- 2.1.1 Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*
- 2.1.2 Construction in Historic Germantown has taken place continuously from the mid-19th through the early 20th centuries and a variety of building styles and types have resulted. New buildings should continue this tradition while remaining compatible with the existing historic context. Because a great variety of historic building forms exist within Germantown, more flexibility in design is possible than might be the case for more architecturally homogenous historic neighborhoods.

- 2.1.3 Because new buildings should relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of the street, a dominance of the pattern and rhythm should be respected and should not be disrupted.
- 2.1.4 New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.
- 2.1.5 Reconstruction of a historic building which no longer exists may be appropriate if it meets these criteria: it was formerly located on the site on which the reconstruction is proposed; it contributed to the historic and architectural integrity of the area; it was compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the site; and pictorial documentation supports its accuracy.
- 2.1.7 The MHZC does not review paint colors on wood or metal surfaces.
- 2.1.8 Painting of masonry materials is reviewed by the MHZC.

2.2 Site and Building Planning

2.2.1 Setbacks

1. Maintain the prevailing setbacks from the street within a block.
2. When a definite rhythm of spacing along a street is established by existing lot and building width, infill construction shall maintain that rhythm.
3. Wings, porches, and secondary building elements should be at similar setbacks to existing context.
4. Corner Lots: New construction should appropriately address setbacks on both streets.
5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain the historic urban street character.
6. Corner Commercial: Historic corner commercial buildings within the NR historic district were typically built to the property line/sidewalk. Setbacks for the construction of new corner commercial structures shall be compatible with this historic precedent.

2.2.2 Orientation: The orientation of a structure's primary facade shall be consistent with that of adjacent historic buildings.

2.2.3 Massing and Scale

1. In new construction, the size of a building, its mass in relation to open spaces and its windows, door openings and porches should be visually compatible with the surrounding buildings.
2. The visual mass of the building shall be at or near the same setback as buildings on adjacent sites.
3. When multiple lots or parcels are assembled within the district, buildings shall be designed to be compatible with the adjacent structures. New structures shall employ design techniques that break the facades into multiple vertical elevations.

2.2.4 Height

1. New buildings shall be constructed to a height which is compatible with the height of adjacent buildings.

Characteristics of the following shall be considered in determining compatibility of height; adjacent properties, historical precedent, height of existing historic structures within the District, location within the District, topography and view corridor.

Generally, historic single-family residential structures are one or two stories in height.

Special features of limited height such as towers or turrets may be acceptable.

Greater height may be appropriate for commercial and multi-family structures, where there is a lack of historic context along a block.

Consideration may be given to the physical characteristics of a property in determining compatible heights (e.g. exceptional topographic condition, lot size and/or lot shape) In such cases, where height may be greater, height is guided by the Germantown Detailed Neighborhood Design Plan, a component of the General Plan of the Government of Nashville and Davidson County, while ensuring an appropriate transition to smaller historically significant buildings that abut or are across the street or alley from a proposed new building.

2.3 Foundations

- 2.3.1 The foundation height shall be visually compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.3.2 For new structures, brick, limestone or split-face concrete block may be used for either pier or solid perimeter foundations. Intervening spaces may be filled with an open lattice work.
- 2.3.3 Foundation access doors shall be located on the side or rear of the building. Slab-on-grade foundations may be appropriate for commercial buildings. Slab-on-grade foundations are generally not appropriate for residential infill buildings.

2.4 Walls/Exterior Materials

- 2.4.1 Masonry materials and wood siding were primarily used in the district and should continue to be predominant. Other materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary of the Interior's Standards*.
- 2.4.2 The relationship and use of materials, texture, details and material color of a new building's public facades shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- 2.4.3 Large expanses of featureless wall surface are not appropriate. It is most appropriate for materials to change between the foundation to the first floor.

- 2.4.4 Exterior Insulation Finish Systems (E.I.F.S) and vinyl siding are not appropriate exterior materials.
- 2.4.5 Traditional brick colors range from dark red-orange to dark red. The use of “antique” reproduction or multi-colored brick is not permitted.
- 2.4.6 Clapboard siding should exhibit an exposure of 3 to 5”. Wood or composite siding and trim (ex. Hardi-plank) are appropriate. Composite materials must match the visual and durability characteristics of wood.

2.5 Doors

- 2.5.1 The relationship of width to height of doors and the rhythm of solids (*walls*) to voids should be compatible with surrounding buildings. (*Exterior doors often have transoms, giving them a tall, narrow proportion.*)
- 2.5.2 Primary entrances shall be in locations similar to those used historically for primary entrances.
- 2.5.3 Door openings should be recessed (2” minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.5.4 Front doors shall be wood and at least half-glass.

2.6 Windows

- 2.6.1 The relationship of width to height of windows and the rhythm of solids (*walls*) to voids should be visually compatible with surrounding buildings. (*Exterior windows are generally tall and narrow in proportion*)
- 2.6.2 Tinted, reflective, or colored glass are generally not appropriate.
- 2.6.3 Window openings should be recessed (2” minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- 2.6.4 For new commercial structures a significant portion of the street level façade shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian.
- 2.6.5 On corner commercial buildings, glazing shall address both streets.

2.6 Porches / Entrance/ Recessed Entries

- 2.6.1 Primary building entrances should be oriented towards the street.
- 2.6.2 Within the district front porches and recessed entries are common on residential and commercial buildings. New construction (specifically of single and multi family homes) shall provide an entry that utilizes elements of a porch to create a transition from the outside (*public domain*) to the inside (*private domain*).
- 2.6.3 The height of porch roofs shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- 2.6.4 Entrances to commercial buildings should be recessed.

2.7 Roof

- 2.7.1 The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of

surrounding buildings. (*Predominant roof shapes are gables and hips with slopes ranging from 35 to 50 degrees, 7/12 to 14/12*).

2.7.2 Roof-top equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*

2.7.3 Within the district are surviving examples and/or pictorial evidence of commercial, multi-family, and institutional buildings having a low slope roof behind a parapet wall. Therefore, low slope roofs may be appropriate for buildings of similar use within the district.

2.8 Utilities / Mechanical

2.8.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and/or screened when visible from the street.

2.8.2 Appurtenances related to new buildings and additions, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located.

4.0 Additions

4.1 General Principles

4.1.1 Guidelines apply only to the exteriors of new additions. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets – Generally facades facing the alley are not considered public facades. Non-public facades are those not visible from the public right of way, street or streets.*

4.1.2 The guidelines for Section 2 New Construction shall apply to all additions.

4.2 Additions to Historic Buildings

4.2.1 Additions should not obscure or contribute to the loss of historic character-defining features or materials.

4.2.2. Additions to existing historic buildings shall be compatible in scale, materials and texture; additions shall be visually compatible by not contrasting greatly with the existing historic building. Additions to historic buildings should be done in such a manner that, if such additions were to be removed in the future, the essential form and integrity of the original structure would not be impaired.

4.2.3 Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the

addition in from the building side wall or for the addition to have a different exterior cladding.

- 4.2.4 The creation of an addition through enclosure of a front porch is not permitted. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.
- 4.2.5 contemporary designs for additions to existing historic properties may be permitted when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.

7.0 Demolition

7.2 Guidelines

- 7.2.1 Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
- 7.2.2 Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.
- 7.2.3 Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
- 7.2.4 Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.
- 7.2.5 Where demolition has been allowed, MHZC may require historic structures to be documented through photographs, a site plan and floor plans, and those significant architectural components of a building are salvaged.

Background: The house at 404 Taylor Street is a one story frame-built side-gabled house with brick chimneys on both gable ends. Although the house has had some exterior alterations, the form of a typical hall-and-parlor house is evident and intact. The structure was most likely constructed prior to 1895, but appears to have been enlarged with a rear gabled-wing addition very early on. The house is shown with most of its current proportions in the 1897 Sanborn Map, with the exception of another small rear addition and a front porch that was constructed sometime after 1957.

The lot is smaller than most nearby at only forty-five feet (45') wide and eighty-one feet (81') deep, with a thirty-five foot (35') deep portion having been divided off of the rear since the lot was originally platted.



Analysis and Findings: The applicant proposes to reconstruct a portion of the existing rear additions and to construct a new addition at the rear of the historic structure.

Demolition

The more recent rear addition will be partially demolished and reconstructed. (See “post-1957 addition” in the image on page 13.) Because this portion of the structure does not contribute significantly to the historic character of the house and the neighborhood, its demolition meets guideline 7.2.2.

Height, Scale

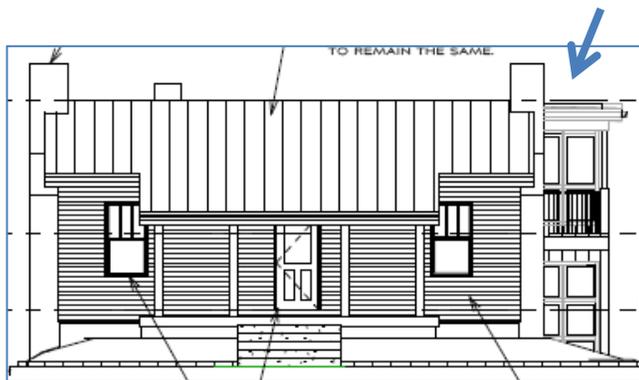
The left side wall of the proposed addition will be aligned with the wall of the pre-1897 addition, and the rear wall will be pushed back fourteen feet (14'). Generally, additions are required to set in from the side walls of a building in order to distinguish the addition from the historic structure, however in this case the



rear corner of the house has already been altered by a non-contributing addition. For this reason, staff finds the location of the new addition on the left side of the house to be appropriate. On the right side of the house, the addition will set in by nine feet (9') and will extend toward the rear before stepping back out wider than the house by six feet (6'). Staff finds that the walls of the addition will set in sufficiently and will meet guideline 4.2.2.

At the ridge of the pre-1897 rear wing, the roof of the addition will start out flat toward the center of the structure, then pitch up and flatten out again at the height of the original side-gabled ridge. By having a flat roof, and by lowering the floor level inside the rear wing down nearly to grade-level, the interior of the addition will gain a second story without going taller than the roof of the original house. Staff finds that the height of the flat roof of the addition, matching the height of the historic house, is appropriate. Although the pitched portion of new roof connecting the pre-1897 rear wing to the flat roof would not alter the historic eave and ridge heights, it is not sufficiently separated from the existing structure and will read as an inappropriate change to the appearance of the historic structure. It will have the perception of increasing the height of the house which is typically only allowed when the additional height takes place far back from the street facing façade. The project does not meet section 4.2.3.

The addition will extend across the width of the structure and out six feet (6') wider than the historic house on the right side. This wider portion will be two stories tall, but the first story will be separated from the rear corner of the historic house by seven feet (7') and the upperstory will sit back an additional ten feet (10'). By setting the addition back in this way, the visual impact of the addition will be reduced and it will not obscure or destroy historical or architectural features.



Staff finds the height and scale of the addition will meet guidelines 2.1.4., 2.2.3., and 4.2.2.

With the flat roof and use of different exterior materials, the addition will be distinct but not incompatible with the historic house. Staff finds that the proposed addition meets guideline 4.2.5., which states that contemporary designs are permitted as long as they do not destroy historical material and do not contrast greatly with the historic character of the house and neighborhood.

Setbacks

The addition will be flush with the left side of the existing house, which has a three foot (3') side setback. In going wider on the right side, the edge of the addition will sit four feet (4') from the right side property line. The rear setback of the addition will be ten feet (10'), whereas the standard minimum rear setback is twenty feet (20'). However, Staff finds that the proposed setbacks are appropriate because the lot is unusually shallow, and it will be in keeping with the historic character of the area. Staff finds the proposal to meet guidelines 2.1.3. and 2.2.1.

Materials

The siding on the existing structure is currently vinyl, which the applicant plans to remove. Upon removal of the vinyl, staff recommends that the condition of the original siding underneath be assessed to determine if repairing is feasible or if replacement is needed. Staff also recommends an assessment of windows and doors for repair or appropriate replacement as necessary. With the repair or replacement of original siding, doors, and windows to be assessed and approved by Staff, the proposal will meet guideline 1.0.

The addition will have wood clapboard siding on the side and rear of the left wing, matching the profile and exposure on the original structure. The two-story component will have vertical cement-fiberboard siding. The existing asphalt shingle roof will be replaced with metal 5v-crimped roofing, which is an appropriate material for a house of this age and character. The color of the roof is not known, and would need to be approved by Staff. The flat roof of the two-story component will have an EPDM roof. The windows and doors on the addition will be wood, Marvin Integrity windows, matching the material and design of the existing windows. The trim and materials of the front and rear porch columns and railings will be wood. Staff asks that the porch columns have caps and bases, as these were typical of historic houses. Staff finds these materials to be appropriate and to meet guideline 2.4.

Window Proportion and Rhythm

The proportion and rhythm of windows and doors on the original structure and the pre-1897 addition appear to have been altered. Upon removal of the vinyl siding, staff recommends that the structure should be inspected to see if the original fenestration pattern is evident underneath. The existing location and proportions could be retained, or it would also be appropriate to restore original fenestration. The windows on the left side and rear of the new addition will be wood to match the existing windows, and will match the proportions as well. The rhythm and proportion of doors and windows on the two-story component will be more contemporary, in keeping with the character of that part of

the addition, but will not contrast greatly with the historic house because it is at the rear. These windows and doors will also be wood. Staff finds that the addition will meet guideline 2.6

Recommendation:

Staff Recommends approval of the partial demolition and addition with the proposed setbacks, with conditions that:

- The original siding, doors, and windows to be assessed by Staff and approved for repair or replacement as necessary.
- The porch columns have caps and bases.
- The color of the roof is approved by Staff.
- The new roof be more clearly separated from the ridge of the pre-1897 rear wing.

Meeting those conditions, Staff finds that the proposal meets the applicable design guidelines for the Germantown Historic Preservation Zoning Overlay.



404 Taylor Street, c. 1979.



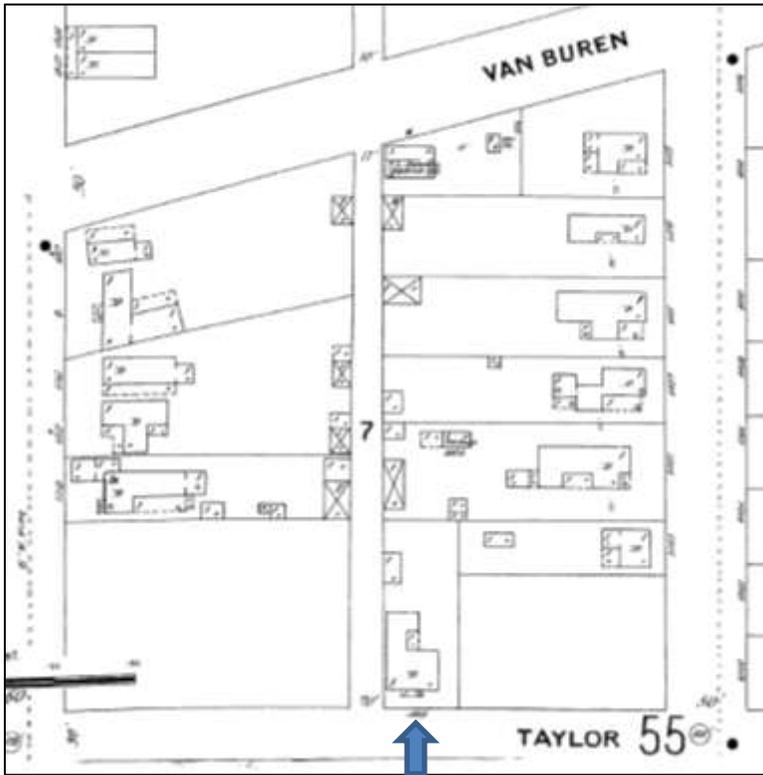
404 Taylor Street, c. 1985.



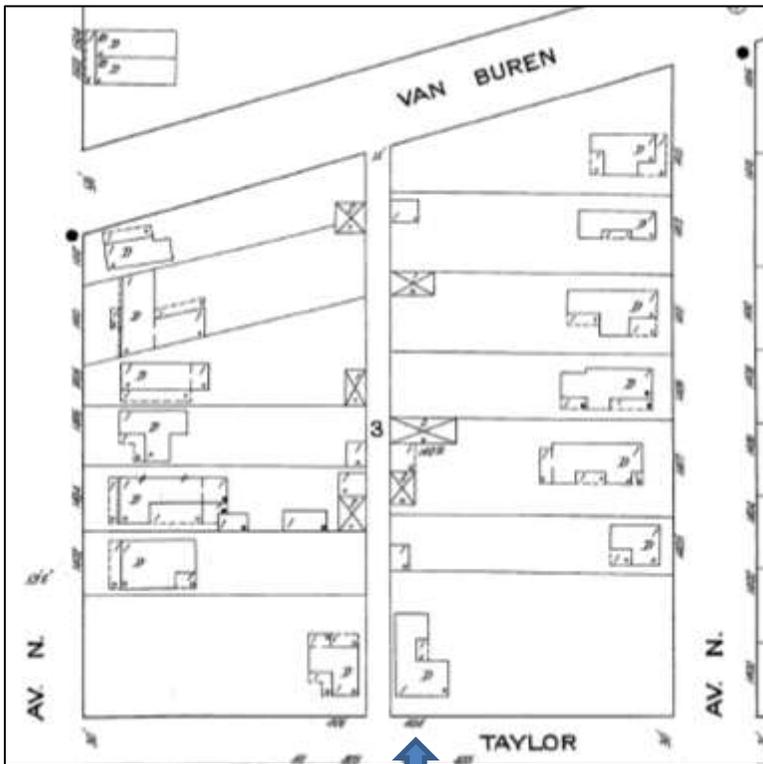
404 Taylor Street, current photo.



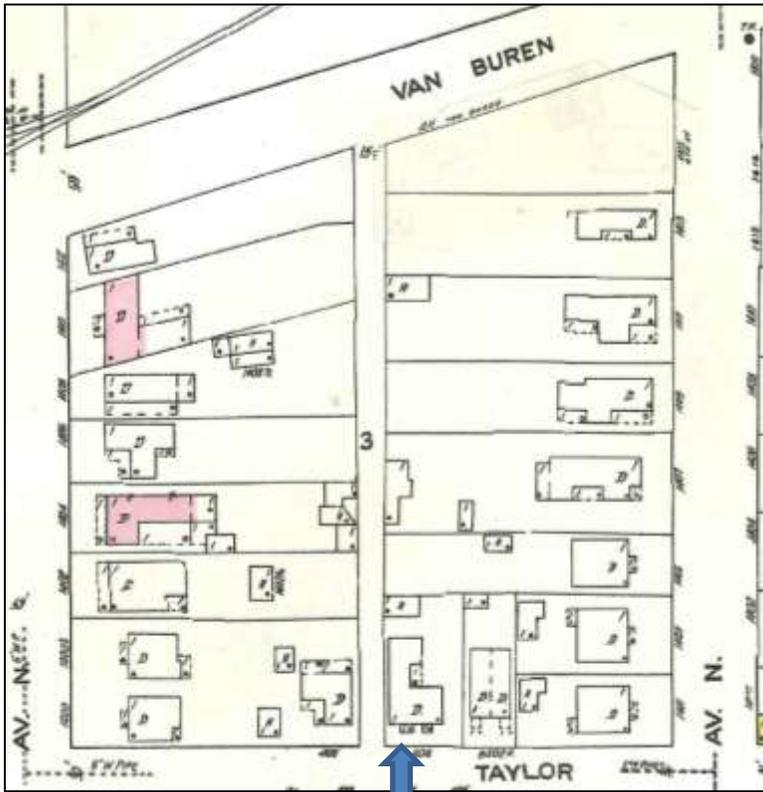
404 Taylor Street, current photo from right.



1897 Sanborn Map detail.



1914 Sanborn Map detail.

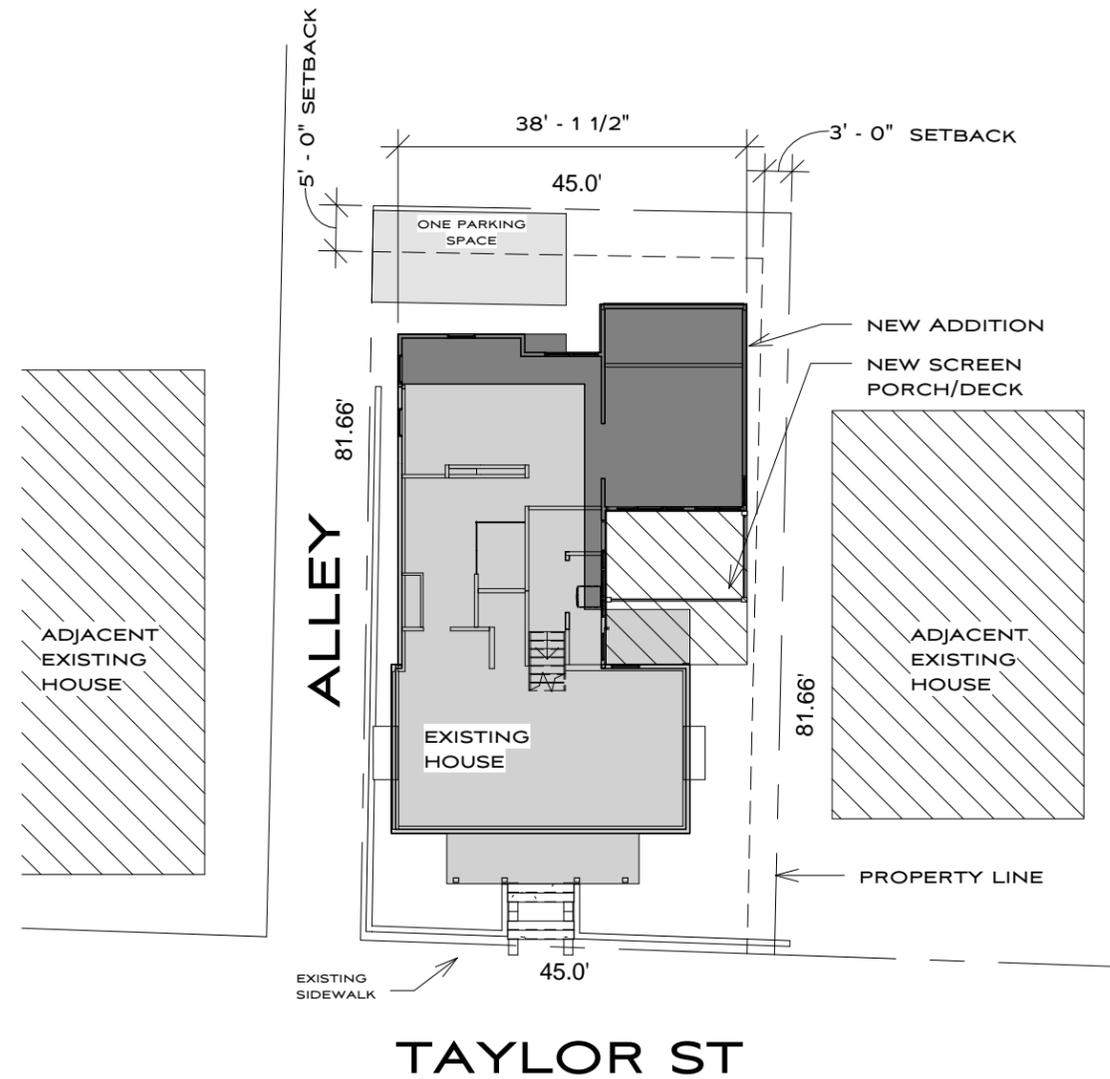


1957 Sanborn Map detail.

404 TAYLOR STREET NASHVILLE, TN 37208

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A10	SECTION THRU ADDITION
A11	DETAILS



① Site
1" = 20'-0"



② View

CONTACT/OWNER :

JEFF ZEITLIN
4301 HILLSBORO RD.
SUITE 100
NASHVILLE, TN 37215

(615) 300-3228
JEFF@ZEITLIN.COM

ARCHITECT:

MANUEL ZEITLIN
MANUEL ZEITLIN ARCHITECTS
516 HAGAN ST., STE. 100
NASHVILLE, TN 37203

(615) 256-2880
MANUEL@MZARCH.COM

404 TAYLOR ST

SITE PLAN

A1

7-09-14

1457

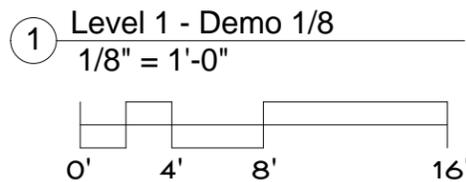
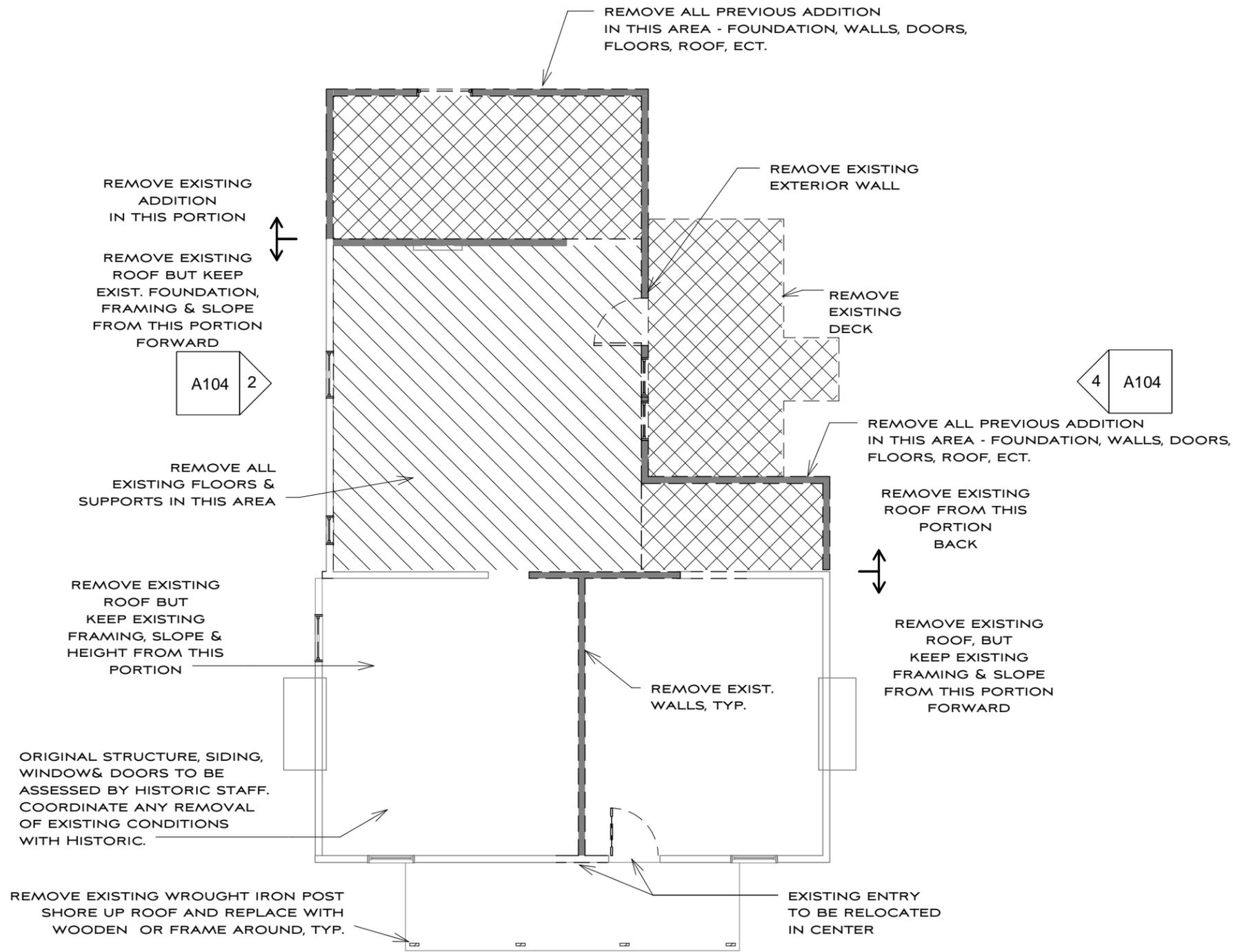
MANUEL ZEITLIN ARCHITECTS



TEL 615 256.2880
FAX 615 256.4839

516 HAGAN STREET SUITE 100 NASHVILLE, TN 37203

A104
3



1
A104

DEMO NOTES:

1. REMOVE EXISTING CONSTRUCTION AS NOTED. TYPICAL WALL REMOVAL INCLUDES FINISHES, DOORS, DOOR FRAMES, WINDOWS AND WINDOW FRAMES, CASEWORK AND FIXTURES AS REQUIRED.
2. REPAIR DAMAGE AND REPLACE REMOVED SURFACE MATERIALS TO MATCH ADJACENT SURFACES IN FLOORS, WALLS AND CEILINGS, ETC. TO REMAIN. PATCH ADJOINING WALLS, FLOOR AND DECK, AND PREPARE FOR NEW FINISH PER FINISH SCHEDULE OR PATCH TO MATCH EXISTING CONDITIONS.
3. DURING DEMOLITION, CONTRACTOR SHALL BRACE AND SUPPORT ALL EXISTING STRUCTURES AS NEEDED. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN ANY MANNER WHICH RESULTS IN A REDUCTION OF LOAD CARRYING CAPACITY. NOTIFY ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION.
5. DEMOLISHED MATERIAL, NOT OTHERWISE DESIGNATED BY THE DRAWINGS OR OWNER'S REPRESENTATIVE, SHALL BE CONSIDERED PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE AND DISPOSED OF IN A LAWFUL MANNER.
6. IN THE EVENT OF DEMOLITION OF ITEMS NOT SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
7. WHEN REMOVING EXISTING FLOOR MATERIALS, CLEAN FLOOR TO SLAB, REMOVE ALL GLUE ETC. TO SLAB OR SUBFLOOR, EXCEPT AS NOTED. FULFILL MANUFACTURER'S SPECIFICATIONS FOR FLOOR PREP FOR INSTALLATION OF THEIR PRODUCT WHERE NEW MATERIALS ARE BEING INSTALLED.
8. NOTIFY THE ARCHITECT OF ANY UNFORSEEN CONDITIONS THAT ARE EXPOSED OR DISCOVERED AS EXISTING CONDITIONS ARE EXPOSED.

404 TAYLOR ST

DEMOLITION PLAN

7-09-14

A2

1457

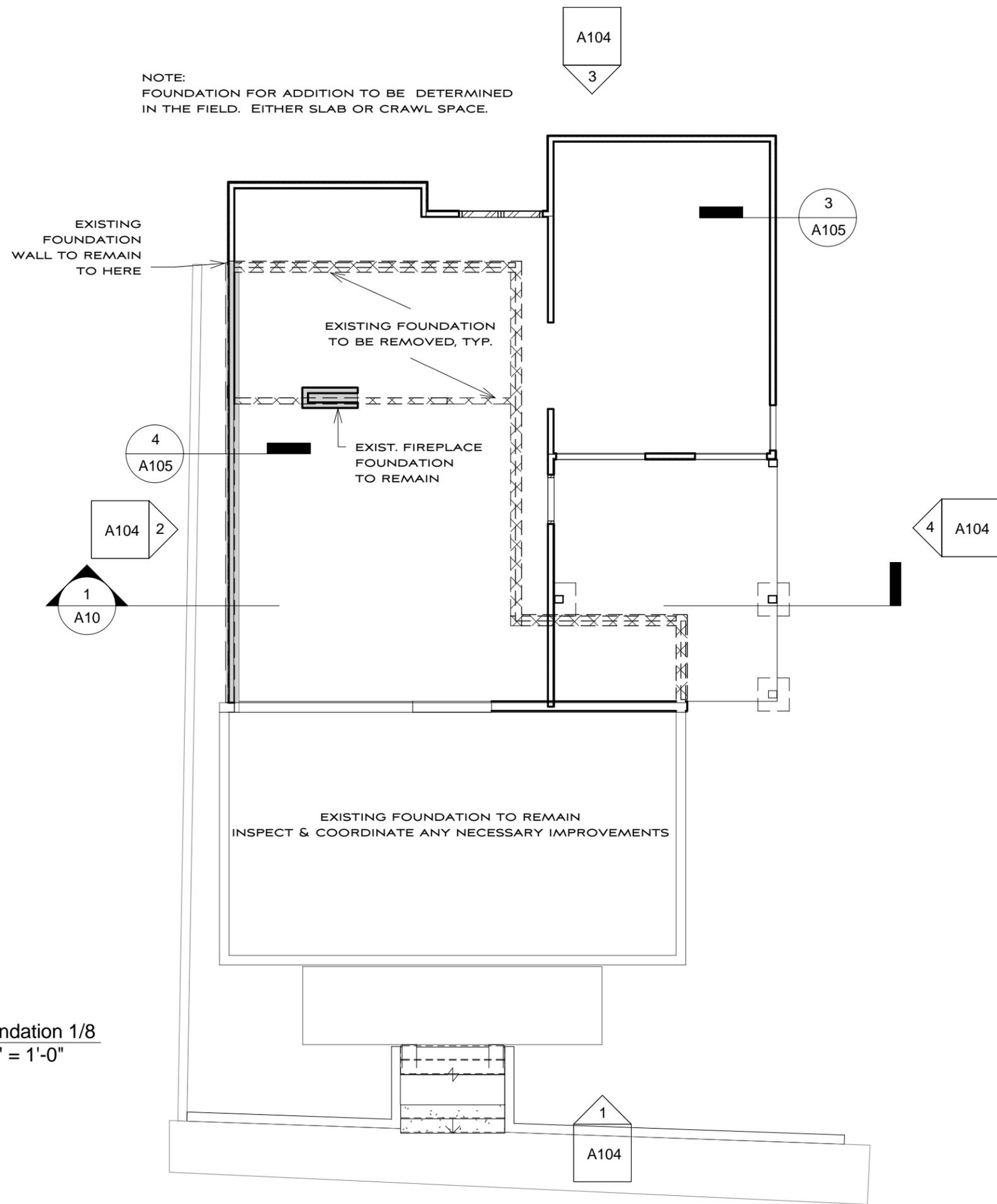
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FAX 615 256.4839

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NOTE:
 FOUNDATION FOR ADDITION TO BE DETERMINED
 IN THE FIELD. EITHER SLAB OR CRAWL SPACE.



① Foundation 1/8
 1/8" = 1'-0"

404 TAYLOR ST

FOUNDATION

7-09-14

A3

1457

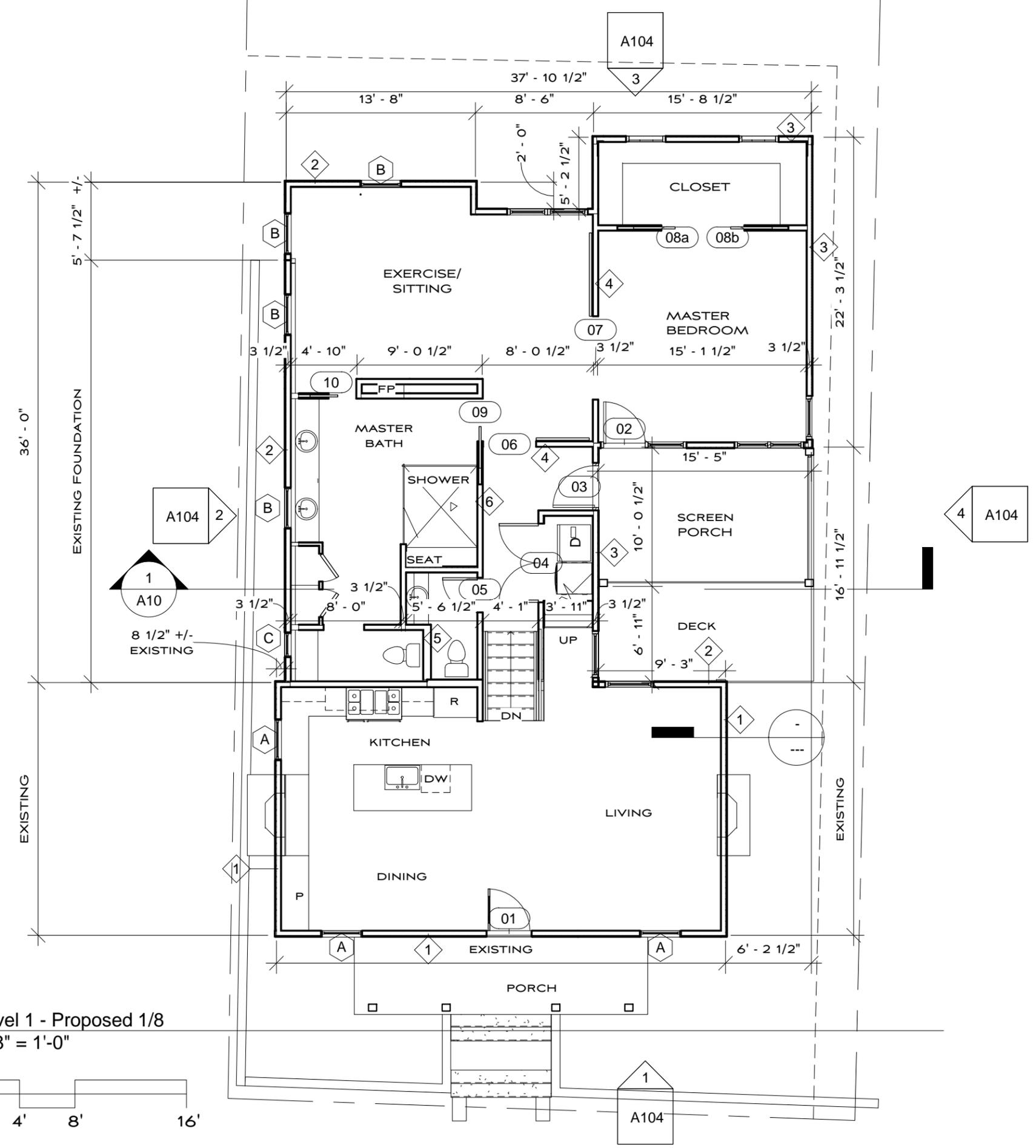
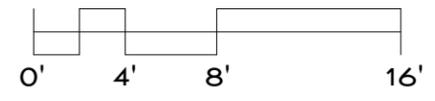
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 FAX 615 256.4839

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① Level 1 - Proposed 1/8
 1/8" = 1'-0"



404 TAYLOR ST
 MAIN LEVEL
 -
 7-09-14

A4

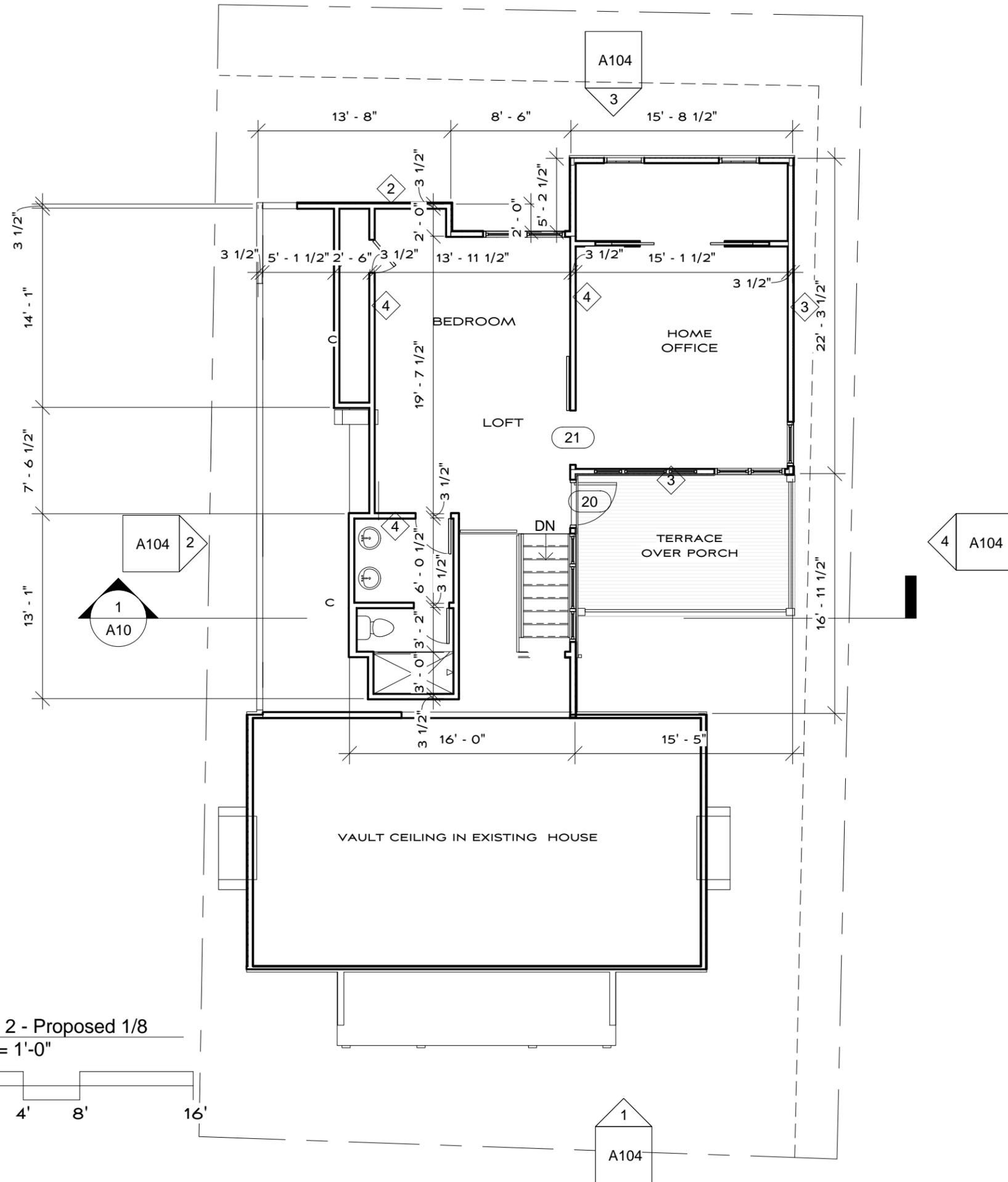
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MANUEL ZEITLIN ARCHITECTS

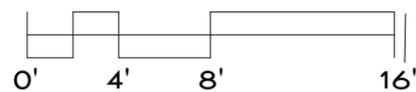


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 FAX 615 256.4839

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1 Level 2 - Proposed 1/8
 1/8" = 1'-0"



404 TAYLOR ST

UPPER LEVEL

7-09-14

A5

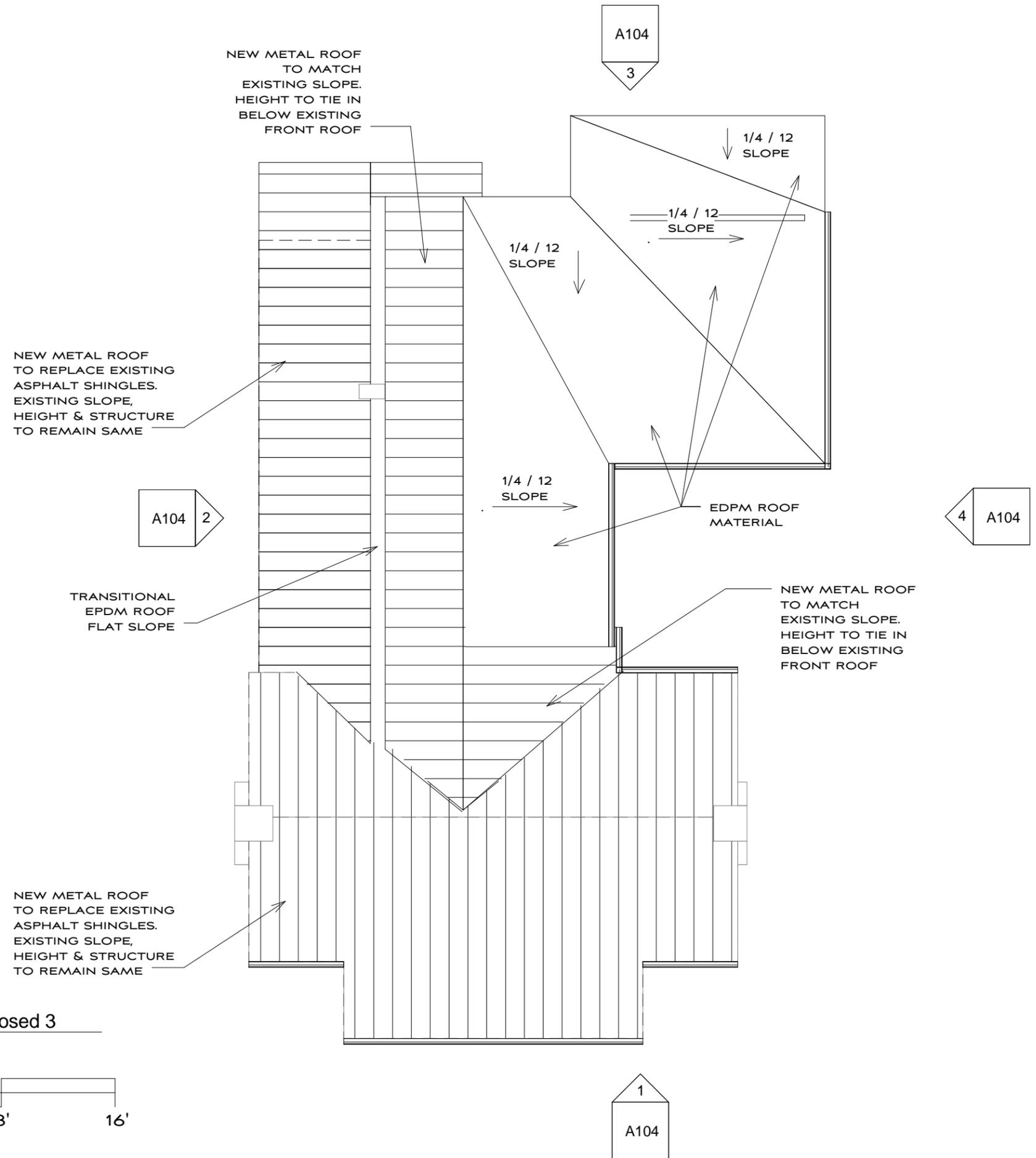
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MANUEL ZEITLIN ARCHITECTS

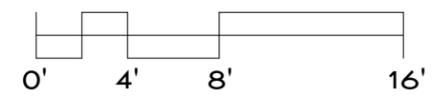


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1 Roof - Proposed 3
1/8" = 1'-0"



404 TAYLOR ST
ROOF
-
7-09-14

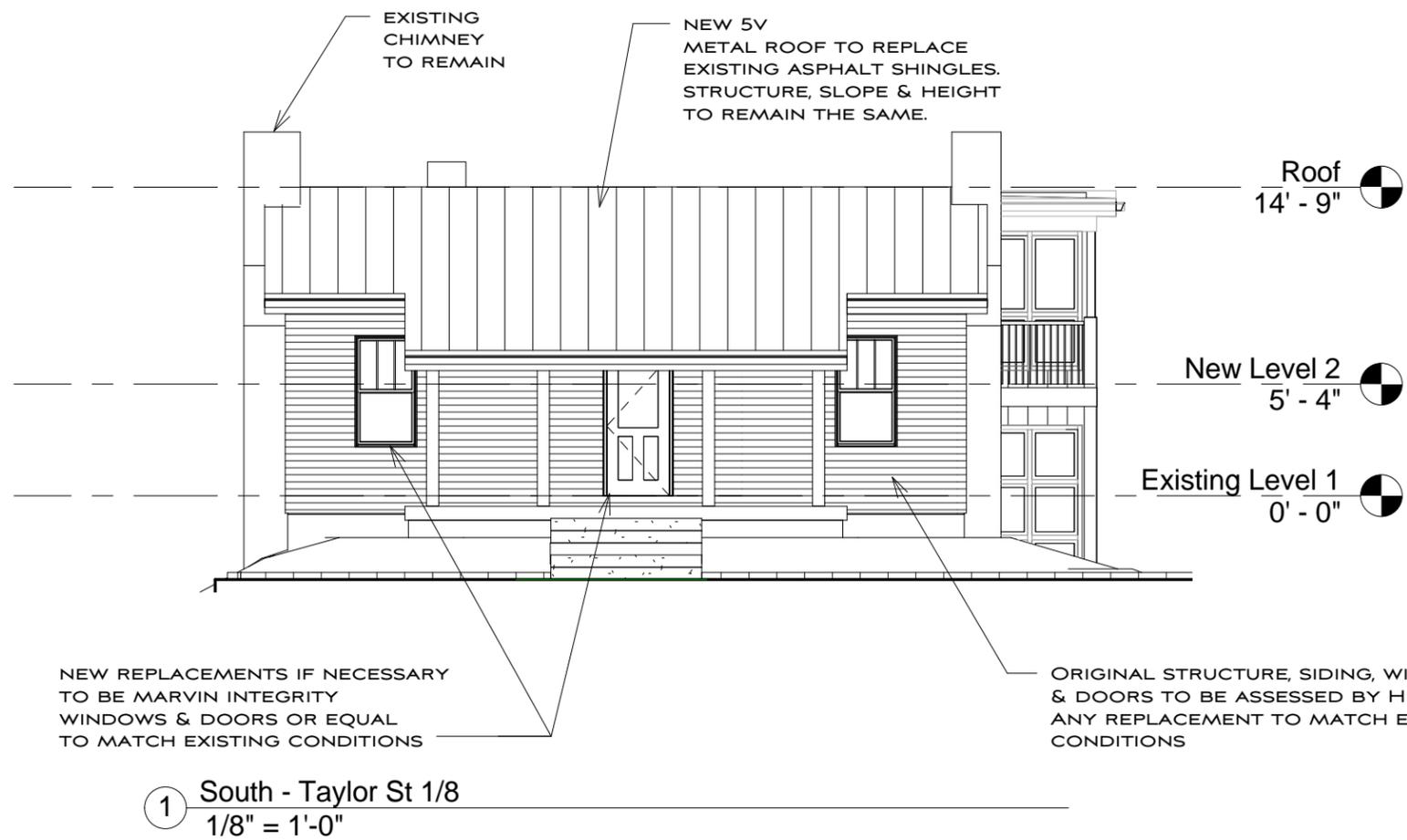
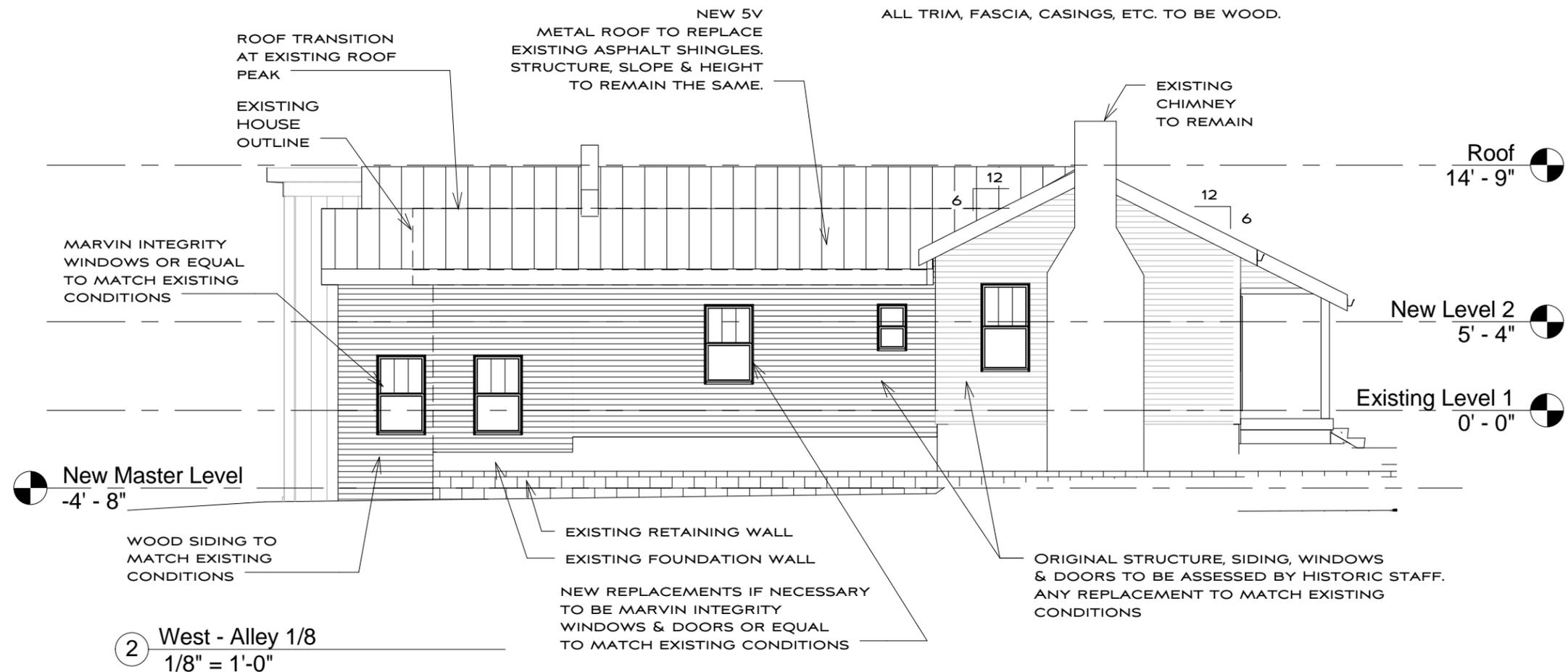
A6
1457

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TEL 615 256.2880
FAX 615 256.4839

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404 TAYLOR ST

ELEVATIONS

7-09-14

A7

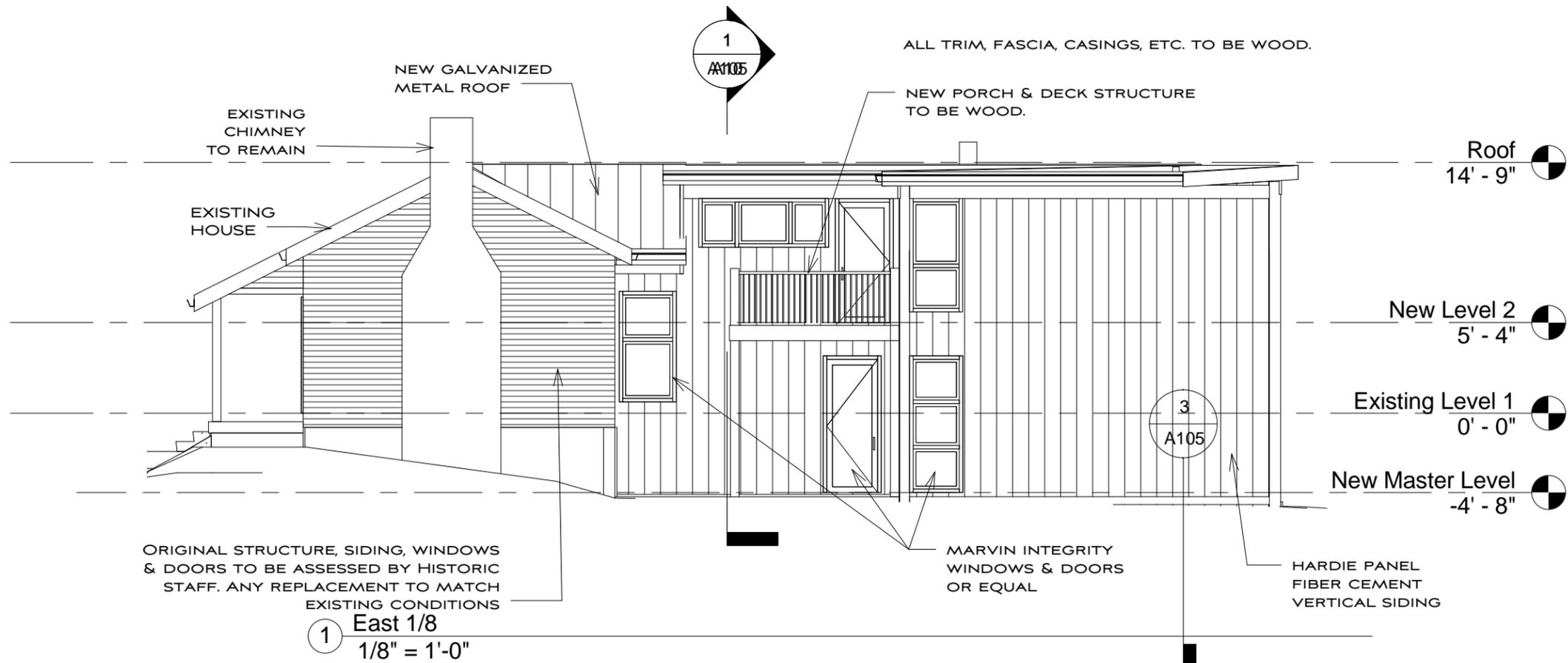
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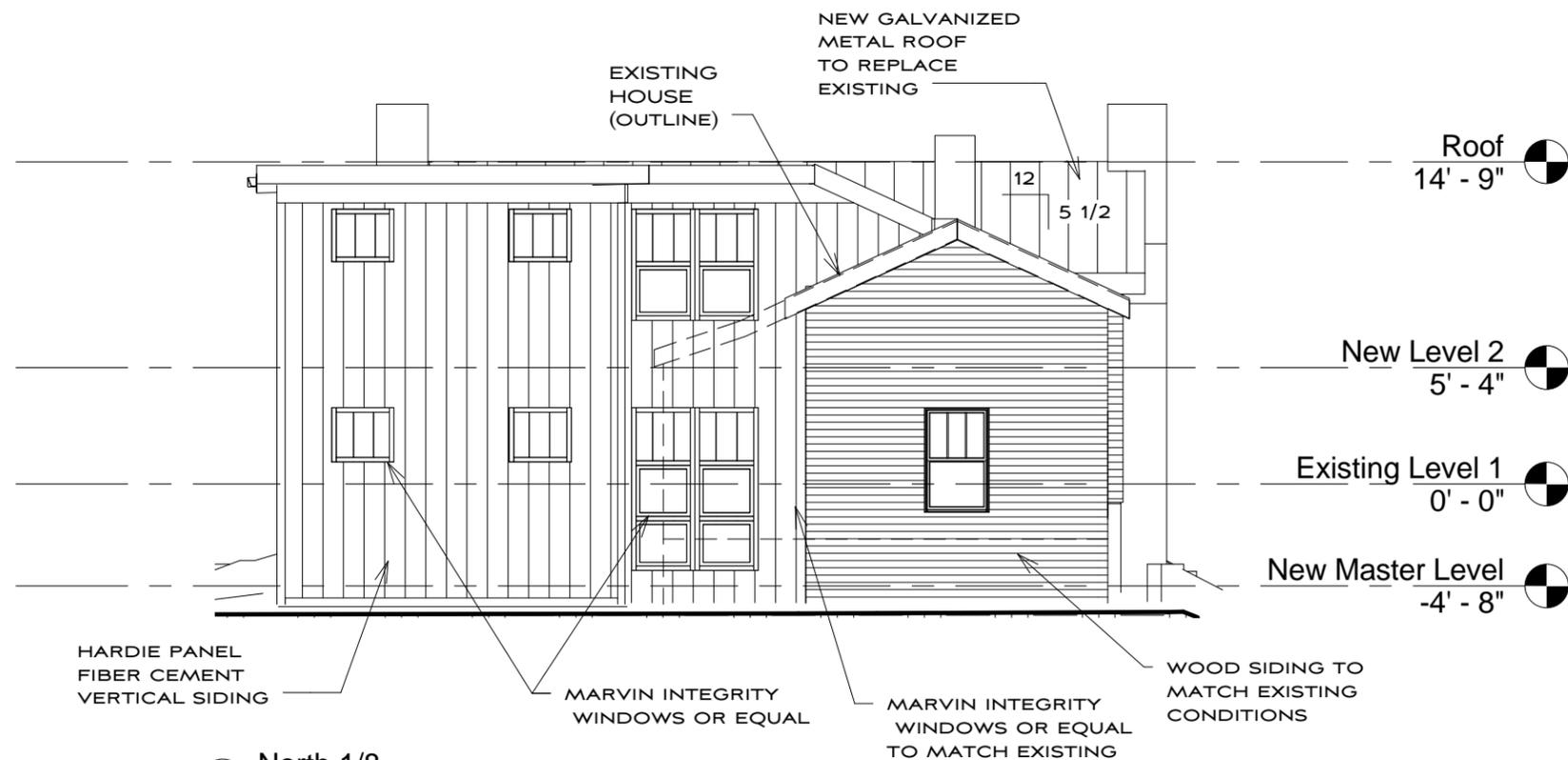


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FAX 615 256.4839

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① East 1/8
1/8" = 1'-0"



② North 1/8
1/8" = 1'-0"

404 TAYLOR ST

ELEVATIONS

7-09-14

A8

1457

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TEL 615 256.2880
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③ Back Alley View



② Front Alley View

404 TAYLOR ST

ROOF TRANSITION
VIEW

7-09-14

A9

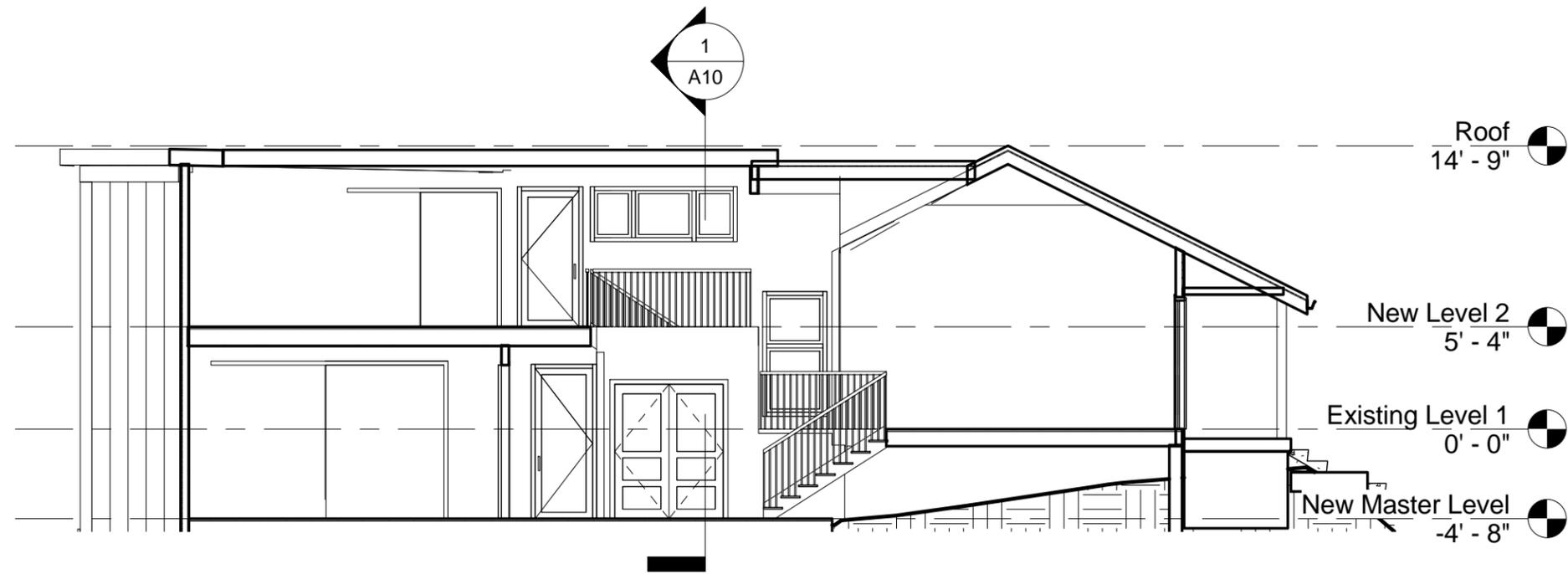
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FAX 615 256.4839

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② Section Thru Existing/New 1/8
1/8" = 1'-0"



① Section Thru Addition 1/8
1/8" = 1'-0"

404 TAYLOR ST

SECTION THRU NEW
ADDITION

7-09-14

A10

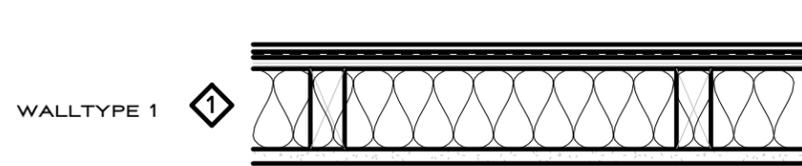
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FAX 615 256.4839

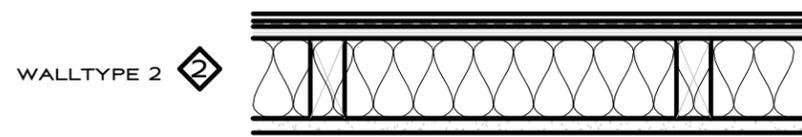
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WALLTYPE 1

①

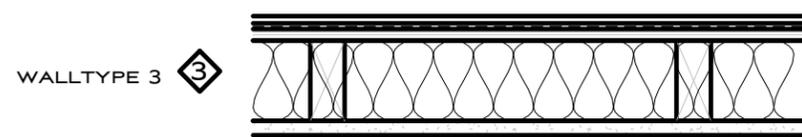
EXTERIOR
 HORIZONTAL HARDIE PANEL SIDING OR EQUAL - MATCH TO REPLACE EXISTING
 2 LAYERS 15# BUILDING PAPER
 1/2" APA RATED SHEATHING
 EXISTING STUDS - CAVITY FILLED WITH R-19 BATT INSULATION
 5/8" SHEETROCK



WALLTYPE 2

②

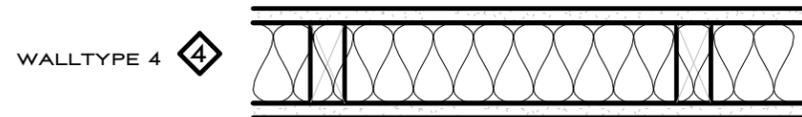
EXTERIOR
 HORIZONTAL HARDIE PANEL SIDING OR EQUAL - MATCH EXISTING
 2 LAYERS 15# BUILDING PAPER
 1/2" APA RATED SHEATHING
 2X4 STUDS @ 16" O.C. - CAVITY FILLED WITH R-19 BATT INSULATION
 5/8" SHEETROCK



WALLTYPE 3

③

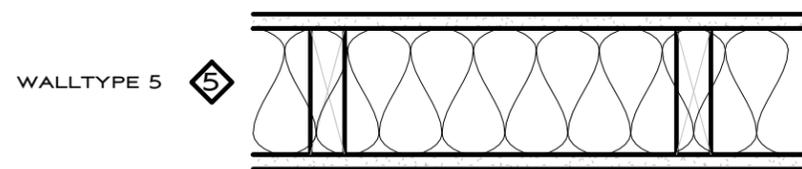
EXTERIOR
 VERTICAL HARDIE PANEL SIDING OR EQUAL - MATCH EXISTING
 2 LAYERS 15# BUILDING PAPER
 1/2" APA RATED SHEATHING
 2X4 STUDS @ 16" O.C. - CAVITY FILLED WITH R-19 BATT INSULATION
 5/8" SHEETROCK



WALLTYPE 4

④

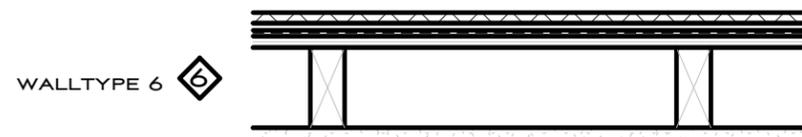
INTERIOR
 5/8" SHEETROCK
 2X4 STUDS @ 16" O.C. - (CAVITY FILLED WITH R:13 BATT INSULATION AT BEDROOMS, BATHS & LAUNDRY)
 5/8" SHEETROCK



WALLTYPE 5

⑤

INTERIOR
 5/8" SHEETROCK
 2X6 STUDS @ 16" O.C. - PLUMBING WALL
 5/8" SHEETROCK



WALLTYPE 6

⑥

INTERIOR
 CERAMIC/STONE TILE
 BOND COAT
 MORTAR BED
 MEMBRANE
 SOLID BACKING
 2X4 STUDS @ 16" O.C. -
 5/8" SHEETROCK

Copy of Door Schedule

Mark	Elevation	Width	Height	Finish	Hardware	Comments
01		3' - 0"	6' - 8"			Match Existing
02		3' - 0"	7' - 10"			Exterior
03		3' - 0"	7' - 10"			Exterior
04		5' - 8"	7' - 0"			
05		2' - 6"	7' - 0"			
06		3' - 10"	7' - 0"			
07		6' - 0"	7' - 0"			
08a		3' - 0"	7' - 0"			
08b		3' - 0"	7' - 0"			
08c		2' - 6"	7' - 0"			
08d		2' - 6"	7' - 0"			
08f		2' - 4"	5' - 0"			
08h		3' - 0"	7' - 0"			
08i		3' - 0"	7' - 0"			
09		3' - 0"	8' - 0"			
10		2' - 0"	8' - 0"			
20		3' - 0"	7' - 1"			
21		3' - 10"	7' - 0"			

① Copy of Wall Types
 1 1/2" = 1'-0"

404 TAYLOR ST

DETAILS

7-09-14

A11

1457

MANUEL ZEITLIN ARCHITECTS



TEL 615 256.2880
 FAX 615 256.4839

516 HAGAN STREET SUITE 100 NASHVILLE, TN 37203